



## REPLACEMENT AGENDA

### COMMITTEE OF THE WHOLE WORKSHOP BOARD OF COUNTY COMMISSIONERS

Board Chambers  
Suite 100  
Ernie Lee Magaha Government Building - First Floor  
221 Palafox Place

December 13, 2018  
9:00 a.m.

Notice: This meeting is televised live on ECTV and recorded for rebroadcast on the same channel. Refer to your cable provider's channel lineup to find ECTV.

1. Call to Order  
  
(PLEASE TURN YOUR CELL PHONE TO THE SILENCE OR OFF SETTING.)
2. Was the meeting properly advertised?
3. Lease Fees/Property Taxes on Pensacola Beach  
(Commissioner Bergosh - 15 min)
  - A. Board Discussion
  - B. Board Direction
4. Escambia-Pensacola Human Relations Commission  
(Rebecca Hale, Executive Director of the Escambia-Pensacola Human Relations Commission - 20 min)
  - A. Board Discussion
  - B. Board Direction
5. New Escambia County Correctional Facility Progress Report  
(Steve Jernigan, Bay Design/Bob Dye, Facilities Management - 15 min)
  - A. Board Discussion
  - B. Board Direction

6. Alcohol Sales Measurement  
(Horace Jones and Andrew Holmer - 15 min)
  - A. Board Discussion
  - B. Board Direction
  
7. Protected Tree Ordinance Review  
(Timothy Day and Jimmie Jarratt -30 min)
  - A. Board Discussion
  - B. Board Direction
  
8. Design Standards Manual/Land Development Code (DSM/LDC) Modifications  
(Colby Brown - 30 min)
  - A. Board Discussion
  - B. Board Direction
  
9. Ordinance Amending Structure Setbacks and Minimum Lot Widths (Referred from 11/1/18 - 5:47 p.m. Public Hearing)  
(John Fisher and Horace Jones - 15 min)
  - A. Board Discussion
  - B. Board Direction
  
10. Discussion on CSX  
(Commissioner Barry - 15 min)
  - A. Board Discussion
  - B. Board Direction
  
11. Tent Pop-Up Auto Sales  
(Commissioner Barry and Alison Rogers - 10 min)
  - A. Board Discussion
  - B. Board Direction
  
12. Wheelchair Ramp Partnership Pilot Project  
(Meredith Reeves - 10 min)
  - A. Board Discussion
  - B. Board Direction
  
13. Mobility Enhancement Grant Pilot Project Start Date  
(Mike Crittenden and Tonya Ellis - 10 min)
  - A. Board Discussion
  - B. Board Direction
  
14. Adjourn

**Committee of the Whole**

**3.**

**Meeting Date:** 12/13/2018

**Issue:** Lease Fees/Property Taxes on Pensacola Beach

**From:** Jack Brown, County Administrator

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**Information**

**Recommendation:**

Lease Fees/Property Taxes on Pensacola Beach

(Commissioner Bergosh - 15 min)

A. Board Discussion

B. Board Direction

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**Attachments**

SRIA Beach Leases

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# Potential BCC Policy Re: Pensacola Beach Leases



## Provisions to include in the policy:

- A. To be totally assured that any new lease, renewal or extension results in taxable land, the lease should include three provisions:
- The lease is for 100 years (§ 196.199(7), Fla. Stat.);
  - The lease is automatically renewable; and
  - The lease requires no lease fees (§ 196.199(2)(b), Fla. Stat.).



## Sample language that could be used:

- In the event lessee shall fully perform all the terms, provisions, and conditions on his part to be performed for the full term of this lease, lessee shall have the right and privilege at his election to renew this lease for a further term of 100 years, including further 100-year automatic renewals, by giving the Authority written notice of such election to renew not later than six (6) months prior to the expiration of the original term. Such renewal shall be on the like covenants, provisions and conditions as are in this lease contained, including an option for further renewals.



## Option to allow market rent

- B. Should we wish to offer an opportunity for someone to decline the terms set forth in A., an option could be made for a ground lease that requires market rent with some sort of escalator clause.
- The BCC could allow a leaseholder to elect to pay market lease fees, which would be rent payments on the land;
  - Issues include:
    - How to determine market rate; and
    - What escalator provision is appropriate.



## Master lease renewal

- C. The policy should include a provision prohibiting the renewal of any master lease where the master leaseholder benefits by subleasing to an end user.
- Issues include how to determine who are the equitable leaseholders; and
  - Whether any such master leases are perpetual.





## Recording of leases

D. The policy should include a provision that any and all leases, subleases, renewals, extensions or other lease actions must be recorded in the official records by the SRIA.



## No non-perpetual leases

- E. The policy should include a provision that there will be no amendments, extensions or new leases that change the language or include language that makes a lease non-perpetual. (This would potentially exempt the land from taxation.)

**Committee of the Whole**

4.

**Meeting Date:** 12/13/2018

**Issue:** Escambia-Pensacola Human Relations Commission

**From:** Amy Lovoy, Assistant County Administrator

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**Information**

**Recommendation:**

Escambia-Pensacola Human Relations Commission

(Rebecca Hale, Executive Director of the Escambia-Pensacola Human Relations Commission - 20 min)

A. Board Discussion

B. Board Direction

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**Attachments**

*No file(s) attached.*

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**Committee of the Whole**

**5.**

**Meeting Date:** 12/13/2018

**Issue:** Progress report on new Correctional Facility

**From:** Robert Dye, Division Manager

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**Information**

**Recommendation:**

New Escambia County Correctional Facility Progress Report  
(Steve Jernigan, Bay Design/Bob Dye, Facilities Management - 15 min)

- A. Board Discussion
  - B. Board Direction
- 

**Attachments**

presentation

DBE progress report

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# New Escambia County Correctional Facility

Progress update

Steve Jernigan – Bay Design

Bob Dye – Facilities Management















## Key Points

- Construction Progress
  - Foundation and Backfilling
    - Area B completed.
    - Vehicle Sally Port foundation in work.
    - Area C Structural backfilling complete.
    - Areas A, B & D backfilled for crane paths.
  - Juvenile Justice parking lot renovation
    - Sidewalks, curb, and gutter completed.
    - Aggregate base installed.
    - Curb and Inlet formed, poured and finished.
    - Light pole bases and light poles installed.
  - Vertical construction
    - Central corridor erected to elevation 115.
    - Erection of area C precast begun
    - Installation of structural steel in area D started.

## Ongoing activity

1. Continuing:
  - Backfilling
  - Precast wall panels
  - Structural Steel
  
2. Permit submissions
  - Underground permit documents - issued 10-2-18.
  - Permitting submittal drawings and specs for Architectural, Structural, and Life Safety - issued 10-10-18.
  - Permitting submittal for Plumbing, HVAC, Electrical, Food Service, Security Electronics & Fire Alarm - issued 11-07-18.

Next progress update – January Committee of the Whole



**New Escambia County Correctional Facility**

**PD 16-17.004**

**Monthly Project Report  
November 2018**

## Table of Contents

<b>1.0 Progress Summary .....</b>	<b>3</b>
<b>2.0 Construction Progress.....</b>	<b>4</b>
<b>3.0 Design Build Entity Schedule .....</b>	<b>4</b>
<b>4.0 Design Status .....</b>	<b>4</b>
<b>5.0 Subcontractor Procurement.....</b>	<b>5</b>
<b>6.0 Design-Build Entity's Safety Program .....</b>	<b>5</b>
<b>7.0 Disputes and Claims.....</b>	<b>5</b>
<b>8.0 Look Ahead Task List.....</b>	<b>5</b>
<b>9.0 Daily Log.....</b>	<b>5</b>

## 1.0 Progress Summary

<b>ITEM</b>	<b>Description</b>	<b>COMMENTS</b>
<b>Original Contract Sum</b>	<b>\$132,445,243.00</b>	
<b>Change Order 1:</b>	<b>(-\$455,530.50)</b>	<b>ODP Change Order deduct for auger cast pile grout.</b>
<b>Change Order 2:</b>	<b>(-\$360.00)</b>	<b>Mathematical error with Alternate Number 5.</b>
<b>Change Order 3:</b>	<b>(-\$147,455.28)</b>	<b>ODP Change Order deduct for auger cast pile rebar.</b>
<b>Change Order 4:</b>	<b>(-\$28,769.30)</b>	<b>ODP Change Order deduct for additional auger cast pile rebar.</b>
<b>Change Order 5:</b>	<b>(-\$2,092,095.52)</b>	<b>ODP Change Order deduct for CIP Concrete and Rebar, Laundry Equipment, and Bi-Folding Doors.</b>
<b>Change Order 6:</b>	<b>(-\$463,697.91)</b>	<b>ODP Change Order deduct for Site Utility Piping and Structures.</b>
<b>Change Order 7:</b>	<b>(-\$32,731.48)</b>	<b>ODP Change Order deduct for Underground Electrical Raceways.</b>
<b>Change Order 8:</b>	<b>(-\$48,746.02)</b>	<b>ODP Change Order deduct for additional auger cast pile grout.</b>
<b>Change Order 9:</b>	<b>(-\$169,908.74)</b>	<b>ODP Change Order deduct for asphalt paving and corrections to existing POs.</b>
<b>Adjusted Contract Sum</b>	<b>\$129,005,948.25</b>	
<b>Pending Change Order Request/Claims</b>	<b>(-\$9,005,200.12)</b>	<b>CO 10: ODP Change Order deduct for structural steel, cell walls, hollow metal doors, door hardware and plumbing materials.</b>
<b>Original Date of Substantial Completion</b>	<b>May 28, 2020</b>	
<b>Forecast Date of Substantial Completion</b>	<b>May 28, 2020</b>	



## 2.0 Construction Progress

Bayside Structures completed foundations in Area B on November 28, 2018 and began installation of the foundations at the vehicle sally port area.

EAA Site Contractors completed backfilling structural fill in Area C, and they backfilled in Areas A, B and D for the crane paths. EAA Site Contractors also completed installation of sidewalks and curb and gutter at the JJC parking lot on November 29, 2018. They are continuing to install aggregate base for the JJC parking lot.

Chavers Construction formed, poured and finished the curb inlet at the JJC Parking Lot.

A&B Electric poured light pole bases and installed light poles at the JJC Parking lot.

Tindall Corporation began erection of precast along the Corridor on November 5, 2018. They completed erection of the corridor to elevation 115 and began erection of Area C precast on November 21, 2018.

Ed Emmons Steel Erectors began installation of structural steel in Area D on November 28, 2018.

## 3.0 Design Build Entity Schedule

See attached Progress Schedule.

## 4.0 Design Status

### Summary:

The document submittal set for permitting is scheduled as follows:

- Underground Permit Documents were issued on October 2, 2018.
- Permitting Submittal Drawings and Specs for Architectural, Structural, and Life Safety were issued on October 10, 2018.
- Permitting Submittal for Plumbing, HVAC, Electrical, Food Service, Security Electronics & Fire Alarm were issued on November 7, 2018.

### Contract Deliverables:

- Permitting Submittal for Plumbing, HVAC, Electrical, Food Service, Security Electronics & Fire Alarm were issued on November 7, 2018.

### Areas of Concern:

- NONE

**Actions and Approvals Needed:**

- ECUA Utility Easement Issue needs to be resolved between the County and ECUA. WGI/Caddell provided ECUA with documentation of all known utility crossings that may cross the easement.
- A partial FDOT permit has been issued for curb access closures, and WGI/Caddell has drafted a letter acknowledging future lighting work along Fairfield Blvd. A separate FDOT permit may be required for future work that may fall within 10 LF of the FDOT right-of-way. FDOT has several comments regarding curb closures that they would like to have addressed in the documents before they issue the complete FDOT permit.
- WGI/Caddell is currently waiting on review of Underground and Underslab Utilities, Architectural, Structural, Life Safety Plumbing, HVAC, Electrical, Food Service, Security Electronics and Fire Alarm permit documents.

**Recommendations: NONE****5.0 Subcontractor Procurement**

No Subcontractors procured in the month of November 2018.

**6.0 Design-Build Entity's Safety Program**

No incidents were recorded for the month of November 2018.

**7.0 Disputes and Claims**

No disputes or claims were filed in the month of November 2018.

**8.0 Look Ahead Task List**

See attached 90-day Look Ahead Schedule.

**9.0 Daily Log**

See attached Daily Logs for the month of November 2018.

Activity ID	Activity Name	Prev Pct%	RESP	Orig Dur	Rem Dur	Pct %	Actual Start	Actual Finish	Total Float	Early Start	Early Finish	Previous Budgeted Cost	Budgeted Cost	This Period Cost	Cost to Complete
ECCF13 ECCF13 30Nov18 Detailed Baseline Schedule Update				910	578		02-Jan-18		-32	02-Jan-18 A	29-Jun-20	\$1,168,587.12	\$9,758,548.61	\$1,271,702.09	\$7,919,924.84
<b>Progress this Period</b>				808	232		02-Jan-18		23	02-Jan-18 A	19-Jul-19	\$1,120,997.12	\$8,174,299.62	\$4,291,362.10	\$3,316,015.84
<b>PRECONSTRUCTION</b>				808	150		02-Jan-18		-30	02-Jan-18 A	28-Apr-19	\$268,000.00	\$6,553,564.00	\$3,489,526.00	\$3,055,838.00
<b>WEATHER</b>				4	0		01-Nov-18	30-Nov-18		01-Nov-18 A	30-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
890007	ANTICIPATED ADVERSE WEATHER - NOV18		GC	4	0	100%	01-Nov-18	30-Nov-18		01-Nov-18 A	30-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
<b>DESIGN</b>				1	0		07-Nov-18	07-Nov-18		07-Nov-18 A	07-Nov-18 A	\$258,000.00	\$258,000.00	\$258,000.00	\$0.00
001412	FF&E DESIGN SUBMITTAL - MECHANICAL ENGINEERING (95%)	0%	DESN	1	0	100%	07-Nov-18	07-Nov-18		07-Nov-18 A	07-Nov-18 A	\$103,000.00	\$103,000.00	\$103,000.00	\$0.00
001413	FF&E DESIGN SUBMITTAL - ELECTRICAL ENGINEERING (95%)	0%	DESN	1	0	100%	07-Nov-18	07-Nov-18		07-Nov-18 A	07-Nov-18 A	\$110,000.00	\$110,000.00	\$110,000.00	\$0.00
001415	FF&E DESIGN SUBMITTAL - SECURITY ELECTRONICS (95%)	0%	DESN	1	0	100%	07-Nov-18	07-Nov-18		07-Nov-18 A	07-Nov-18 A	\$45,000.00	\$45,000.00	\$45,000.00	\$0.00
<b>PERMITS</b>				177	20		13-Mar-18		133	13-Mar-18 A	19-Dec-18	\$10,000.00	\$10,000.00	\$0.00	\$1,800.00
009004	PERMITS - SITE/CIVIL - ECUA ACCEPTANCE	95%	OWNR	46	20	95%	14-Mar-18		133	14-Mar-18 A	19-Dec-18	\$0.00	\$0.00	\$0.00	\$0.00
009020	PERMITS - BUILDING	82%	GC	60	8	82%	13-Mar-18		136	13-Mar-18 A	07-Dec-18	\$10,000.00	\$10,000.00	\$0.00	\$1,800.00
<b>PRECONSTRUCTION SUBMITTALS</b>				90	63		30-Jan-18		74	30-Jan-18 A	31-Jan-19	\$0.00	\$0.00	\$0.00	\$0.00
000620	SUBMIT FINAL BASELINE DESIGN/CONSTRUCTION SCHEDULE	0%	GC	90	63	0%	30-Jan-18		74	30-Jan-18 A	31-Jan-19	\$0.00	\$0.00	\$0.00	\$0.00
<b>PROCUREMENT</b>				527	150		02-Jan-18		58	02-Jan-18 A	28-Apr-19	\$0.00	\$6,285,564.00	\$3,231,526.00	\$3,054,038.00
010000	PROCUREMENT OF LONG-LEAD ITEMS	0%	GC	450	150	0%	02-Jan-18		58	02-Jan-18 A	28-Apr-19	\$0.00	\$0.00	\$0.00	\$0.00
010031	PRECAST PROCUREMENT - MATERIAL COST		PCST	1	1	51%	26-Sep-18		192	26-Sep-18 A	30-Nov-18	\$0.00	\$6,285,564.00	\$3,231,526.00	\$3,054,038.00
010060	STEEL PROCUREMENT (STR & MISC)	0%	STEL	210	0	100%	14-Nov-18	28-Nov-18		14-Nov-18 A	28-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
<b>CONSTRUCTION</b>				445	232		16-Jul-18		296	16-Jul-18 A	19-Jul-19	\$852,997.12	\$1,620,735.62	\$801,836.10	\$260,177.84
<b>SITWORK</b>				192	29		16-Jul-18		499	16-Jul-18 A	28-Dec-18	\$203,271.50	\$201,010.00	\$107,155.70	\$56,000.00
100002	MAINTAIN EROSION CONTROLS (25 MONTHS)	16%	SITE	25	20	20%	16-Jul-18		225	16-Jul-18 A	28-Dec-18	\$70,000.00	\$70,000.00	\$2,800.00	\$56,000.00
100020	EROSION CONTROLS - NE JUVENILE PARKING LOT		SITE	2	0	100%	22-Aug-18	23-Aug-18		22-Aug-18 A	23-Aug-18 A	\$0.00	\$5,000.00	\$5,000.00	\$0.00
112320	SITE UTILITIES - U/G ELECTRIC FOR SITE LIGHTING NE JUVENILE PARKING LOT	20%	ELEC	5	0	100%	03-Oct-18	30-Nov-18		03-Oct-18 A	30-Nov-18 A	\$68,750.00	\$68,750.00	\$55,000.00	\$0.00
150100	CURB & GUTTER - NE JUVENILE PARKING LOT (INCL OFFICER PARKING)	20%	SITE	7	0	100%	24-Oct-18	30-Nov-18		24-Oct-18 A	30-Nov-18 A	\$64,521.50	\$32,260.00	\$19,355.70	\$0.00
151600	SITE CONCRETE - NE JUVENILE PARKING		SITE	7	0	100%	24-Oct-18	30-Nov-18		24-Oct-18 A	30-Nov-18 A	\$0.00	\$25,000.00	\$25,000.00	\$0.00
<b>CORRECTIONAL FACILITY</b>				207	160		24-Sep-18		33	24-Sep-18 A	19-Jul-19	\$649,725.62	\$1,419,725.62	\$694,680.40	\$204,177.84

Activity ID	Activity Name	Prev Pct%	RESP	Orig Dur	Rem Dur	Pct%	Actual Start	Actual Finish	Total Float	Early Start	Early Finish	Previous Budgeted Cost	Budgeted Cost	This Period Cost	Cost to Complete
200200	PILE CAPS & GRADE BEAMS A	83%	CONC	13	0	100%	24-Sep-18	09-Nov-18		24-Sep-18 A	09-Nov-18 A	\$624,741.62	\$312,370.81	\$53,103.04	\$0.00
200225	PILE CAPS & GRADE BEAMS B		CONC	20	0	100%	24-Sep-18	09-Nov-18		24-Sep-18 A	09-Nov-18 A	\$0.00	\$312,370.81	\$53,103.04	\$0.00
200300	STRUCTURAL BACKFILL A	28%	SITE	5	2	60%	24-Oct-18		56	24-Oct-18 A	10-Jun-19	\$8,328.00	\$8,328.00	\$2,664.96	\$3,331.20
200320	STRUCTURAL BACKFILL B	0%	SITE	8	5	37%	29-Oct-18		28	29-Oct-18 A	19-Jul-19	\$8,328.00	\$8,328.00	\$3,081.36	\$5,246.64
200370	STRUCTURAL BACKFILL D CL 14-29	0%	SITE	7	0	100%	01-Nov-18	27-Nov-18		01-Nov-18 A	27-Nov-18 A	\$8,328.00	\$4,164.00	\$4,164.00	\$0.00
200380	STRUCTURAL BACKFILL D CL 29-50		SITE	7	0	100%	05-Nov-18	30-Nov-18		05-Nov-18 A	30-Nov-18 A	\$0.00	\$4,164.00	\$4,164.00	\$0.00
210100	STRUCTURAL STEEL D ELEV 100-102 (1/2)	0%	SERC	8	7	12%	28-Nov-18		-22	28-Nov-18 A	10-Dec-18	\$0.00	\$70,000.00	\$8,400.00	\$61,600.00
211000	PRECAST CENTER CORRIDOR CL 3-50 ELEV 81-115	0%	PERC	10	0	100%	05-Nov-18	27-Nov-18		05-Nov-18 A	27-Nov-18 A	\$0.00	\$250,000.00	\$250,000.00	\$0.00
211010	PRECAST CENTER CORRIDOR CL 3-14 ELEV 115-159		PERC	3	0	100%	15-Nov-18	30-Nov-18		15-Nov-18 A	30-Nov-18 A	\$0.00	\$250,000.00	\$250,000.00	\$0.00
211020	PRECAST C (1/3)		PERC	15	10	33%	26-Nov-18		-22	26-Nov-18 A	13-Dec-18	\$0.00	\$200,000.00	\$66,000.00	\$134,000.00
<b>Change Original Duration</b>				447	447		07-Nov-18		-34	07-Nov-18 A	19-Feb-20	\$0.00	\$0.00	\$0.00	\$0.00
<b>PRECONSTRUCTION</b>				143	120		07-Nov-18		38	07-Nov-18 A	29-Mar-19	\$0.00	\$0.00	\$0.00	\$0.00
<b>DESIGN</b>				14	14				136	08-Dec-18	21-Dec-18	\$0.00	\$0.00	\$0.00	\$0.00
001500	CONSOLIDATED CONSTRUCTION SET (100% CD)	0%	DESN	14	14	0%			136	08-Dec-18	21-Dec-18	\$0.00	\$0.00	\$0.00	\$0.00
<b>PRECONSTRUCTION SUBMITTALS</b>				143	120		07-Nov-18		38	07-Nov-18 A	29-Mar-19	\$0.00	\$0.00	\$0.00	\$0.00
000600	PREPARE & SUBMIT LOD 300/400 FEDERATED MODEL	0%	GC	143	120	0%	07-Nov-18		38	07-Nov-18 A	29-Mar-19	\$0.00	\$0.00	\$0.00	\$0.00
<b>CONSTRUCTION</b>				230	230				-22	21-Mar-19	19-Feb-20	\$0.00	\$0.00	\$0.00	\$0.00
<b>CORRECTIONAL FACILITY</b>				230	230				-22	21-Mar-19	19-Feb-20	\$0.00	\$0.00	\$0.00	\$0.00
250000	MEPS ROUGH-IN & EQUIPMENT C4	0%	MEPS	35	35	0%			24	03-Apr-19	21-May-19	\$0.00	\$0.00	\$0.00	\$0.00
250200	MEPS ROUGH-IN & EQUIPMENT C3		MEPS	35	35	0%			24	22-May-19	11-Jul-19	\$0.00	\$0.00	\$0.00	\$0.00
250400	MEPS ROUGH-IN & EQUIPMENT C2		MEPS	35	35	0%			24	12-Jul-19	29-Aug-19	\$0.00	\$0.00	\$0.00	\$0.00
250600	MEPS ROUGH-IN & EQUIPMENT C1		MEPS	35	35	0%			24	30-Aug-19	21-Oct-19	\$0.00	\$0.00	\$0.00	\$0.00
251000	MEPS ROUGH-IN & EQUIPMENT D1		MEPS	35	35	0%			21	05-Sep-19	24-Oct-19	\$0.00	\$0.00	\$0.00	\$0.00
251200	MEPS ROUGH-IN & EQUIPMENT D2		MEPS	35	35	0%			21	08-Apr-19	24-May-19	\$0.00	\$0.00	\$0.00	\$0.00
251400	MEPS ROUGH-IN & EQUIPMENT D3		MEPS	35	35	0%			21	28-May-19	16-Jul-19	\$0.00	\$0.00	\$0.00	\$0.00
251600	MEPS ROUGH-IN & EQUIPMENT D4		MEPS	35	35	0%			21	17-Jul-19	04-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00

Activity ID	Activity Name	Prev Pct%	RESP	Orig Dur	Rem Dur	Pct%	Actual Start	Actual Finish	Total Float	Early Start	Early Finish	Previous Budgeted Cost	Budgeted Cost	This Period Cost	Cost to Complete
252000	MEPS ROUGH-IN & EQUIPMENT A4		MEPS	35	35	0%			-22	07-Jun-19	26-Jul-19	\$0.00	\$0.00	\$0.00	\$0.00
252200	MEPS ROUGH-IN & EQUIPMENT A3		MEPS	35	35	0%			-22	29-Jul-19	16-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00
252400	MEPS ROUGH-IN & EQUIPMENT A2		MEPS	35	35	0%			-22	17-Sep-19	05-Nov-19	\$0.00	\$0.00	\$0.00	\$0.00
252600	MEPS ROUGH-IN & EQUIPMENT A1		MEPS	35	35	0%			-22	06-Nov-19	27-Dec-19	\$0.00	\$0.00	\$0.00	\$0.00
253000	MEPS ROUGH-IN & EQUIPMENT B1		MEPS	35	35	0%			-22	14-Nov-19	06-Jan-20	\$0.00	\$0.00	\$0.00	\$0.00
253200	MEPS ROUGH-IN & EQUIPMENT B2		MEPS	35	35	0%			-22	14-Jun-19	02-Aug-19	\$0.00	\$0.00	\$0.00	\$0.00
253400	MEPS ROUGH-IN & EQUIPMENT B3		MEPS	35	35	0%			-22	05-Aug-19	23-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00
253600	MEPS ROUGH-IN & EQUIPMENT B4		MEPS	35	35	0%			-22	24-Sep-19	13-Nov-19	\$0.00	\$0.00	\$0.00	\$0.00
260000	INTERIOR PARTITIONS/CONSTRUCTION C4	0%	FINI	35	35	0%			33	21-Mar-19	08-May-19	\$0.00	\$0.00	\$0.00	\$0.00
260200	INTERIOR PARTITIONS/CONSTRUCTION C3		FINI	35	35	0%			33	09-May-19	27-Jun-19	\$0.00	\$0.00	\$0.00	\$0.00
260400	INTERIOR PARTITIONS/CONSTRUCTION C2		FINI	35	35	0%			33	28-Jun-19	16-Aug-19	\$0.00	\$0.00	\$0.00	\$0.00
260600	INTERIOR PARTITIONS/CONSTRUCTION C1		FINI	35	35	0%			33	19-Aug-19	07-Oct-19	\$0.00	\$0.00	\$0.00	\$0.00
261000	INTERIOR PARTITIONS/CONSTRUCTION D1		FINI	35	35	0%			21	05-Sep-19	24-Oct-19	\$0.00	\$0.00	\$0.00	\$0.00
261200	INTERIOR PARTITIONS/CONSTRUCTION D2		FINI	35	35	0%			21	08-Apr-19	24-May-19	\$0.00	\$0.00	\$0.00	\$0.00
261400	INTERIOR PARTITIONS/CONSTRUCTION D3		FINI	35	35	0%			21	28-May-19	16-Jul-19	\$0.00	\$0.00	\$0.00	\$0.00
261600	INTERIOR PARTITIONS/CONSTRUCTION D4		FINI	35	35	0%			21	17-Jul-19	04-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00
262000	INTERIOR PARTITIONS/CONSTRUCTION A4		FINI	35	35	0%			-22	07-Jun-19	26-Jul-19	\$0.00	\$0.00	\$0.00	\$0.00
262200	INTERIOR PARTITIONS/CONSTRUCTION A3		FINI	35	35	0%			-22	29-Jul-19	16-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00
262400	INTERIOR PARTITIONS/CONSTRUCTION A2		FINI	35	35	0%			-22	17-Sep-19	05-Nov-19	\$0.00	\$0.00	\$0.00	\$0.00
262600	INTERIOR PARTITIONS/CONSTRUCTION A1		FINI	35	35	0%			-22	06-Nov-19	27-Dec-19	\$0.00	\$0.00	\$0.00	\$0.00
263000	INTERIOR PARTITIONS/CONSTRUCTION B1		FINI	35	35	0%			-22	14-Nov-19	06-Jan-20	\$0.00	\$0.00	\$0.00	\$0.00
263200	INTERIOR PARTITIONS/CONSTRUCTION B2		FINI	35	35	0%			-22	14-Jun-19	02-Aug-19	\$0.00	\$0.00	\$0.00	\$0.00
263400	INTERIOR PARTITIONS/CONSTRUCTION B3		FINI	35	35	0%			-22	05-Aug-19	23-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00
263600	INTERIOR PARTITIONS/CONSTRUCTION B4		FINI	35	35	0%			-22	24-Sep-19	13-Nov-19	\$0.00	\$0.00	\$0.00	\$0.00
270000	MEPS & INTERIOR FINISHES C4	0%	FINI	35	35	0%			24	22-May-19	11-Jul-19	\$0.00	\$0.00	\$0.00	\$0.00
270200	MEPS & INTERIOR FINISHES C3		FINI	35	35	0%			24	12-Jul-19	29-Aug-19	\$0.00	\$0.00	\$0.00	\$0.00

Activity ID	Activity Name	Prev Pct%	RESP	Orig Dur	Rem Dur	Pct%	Actual Start	Actual Finish	Total Float	Early Start	Early Finish	Previous Budgeted Cost	Budgeted Cost	This Period Cost	Cost to Complete
270400	MEPS & INTERIOR FINISHES C2		FINI	35	35	0%			24	30-Aug-19	21-Oct-19	\$0.00	\$0.00	\$0.00	\$0.00
270600	MEPS & INTERIOR FINISHES C1		FINI	35	35	0%			24	22-Oct-19	11-Dec-19	\$0.00	\$0.00	\$0.00	\$0.00
271000	MEPS & INTERIOR FINISHES D1		FINI	35	35	0%			6	18-Nov-19	08-Jan-20	\$0.00	\$0.00	\$0.00	\$0.00
271200	MEPS & INTERIOR FINISHES D2		FINI	35	35	0%			6	18-Jun-19	06-Aug-19	\$0.00	\$0.00	\$0.00	\$0.00
271400	MEPS & INTERIOR FINISHES D3		FINI	35	35	0%			6	07-Aug-19	25-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00
271600	MEPS & INTERIOR FINISHES D4		FINI	35	35	0%			6	26-Sep-19	15-Nov-19	\$0.00	\$0.00	\$0.00	\$0.00
272000	MEPS & INTERIOR FINISHES A4		FINI	35	35	0%			-22	29-Jul-19	16-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00
272200	MEPS & INTERIOR FINISHES A3		FINI	35	35	0%			-22	17-Sep-19	05-Nov-19	\$0.00	\$0.00	\$0.00	\$0.00
272400	MEPS & INTERIOR FINISHES A2		FINI	35	35	0%			-22	06-Nov-19	27-Dec-19	\$0.00	\$0.00	\$0.00	\$0.00
272600	MEPS & INTERIOR FINISHES A1		FINI	35	35	0%			-22	30-Dec-19	19-Feb-20	\$0.00	\$0.00	\$0.00	\$0.00
273000	MEPS & INTERIOR FINISHES B1		FINI	30	30	0%			-22	07-Jan-20	19-Feb-20	\$0.00	\$0.00	\$0.00	\$0.00
273200	MEPS & INTERIOR FINISHES B2		FINI	30	30	0%			-12	12-Aug-19	23-Sep-19	\$0.00	\$0.00	\$0.00	\$0.00
273400	MEPS & INTERIOR FINISHES B3		FINI	30	30	0%			-12	24-Sep-19	05-Nov-19	\$0.00	\$0.00	\$0.00	\$0.00
273600	MEPS & INTERIOR FINISHES B4		FINI	30	30	0%			-17	14-Nov-19	27-Dec-19	\$0.00	\$0.00	\$0.00	\$0.00
<b>Logic Change</b>				5	5				-22	23-Jun-20	29-Jun-20	\$0.00	\$0.00	\$0.00	\$0.00
<b>PRECONSTRUCTION</b>				5	5				-22	23-Jun-20	29-Jun-20	\$0.00	\$0.00	\$0.00	\$0.00
<b>WEATHER</b>				5	5				-22	23-Jun-20	29-Jun-20	\$0.00	\$0.00	\$0.00	\$0.00
890017	ANTICIPATED ADVERSE WEATHER - SEP19		GC	5	5	0%			-22	23-Jun-20	29-Jun-20	\$0.00	\$0.00	\$0.00	\$0.00
<b>Change Orig Budget Cost</b>				1	1				374	30-Nov-18	30-Nov-18	\$47,590.00	\$47,950.00	\$0.00	\$47,950.00
<b>CONSTRUCTION</b>				1	1				374	30-Nov-18	30-Nov-18	\$47,590.00	\$47,950.00	\$0.00	\$47,950.00
<b>ADMINISTRATION</b>				1	1				374	30-Nov-18	30-Nov-18	\$47,590.00	\$47,950.00	\$0.00	\$47,950.00
405000	ALTERNATE 05 - FULL OPERABLE SLIDER DOORS	0%	GC	1	1	0%			374	30-Nov-18	30-Nov-18	\$47,590.00	\$47,950.00	\$0.00	\$47,950.00
<b>Added Activity This Period / Modifications</b>				1	1		07-May-18		545	07-May-18 A	30-Nov-18	\$0.00	\$1,536,298.99	(\$3,019,660.01)	\$4,555,959.00
<b>PRECONSTRUCTION</b>				1	1		07-Nov-18		136	07-Nov-18 A	30-Nov-18	\$0.00	\$4,805,685.00	\$249,726.00	\$4,555,959.00
<b>PROCUREMENT</b>				1	1		07-Nov-18		136	07-Nov-18 A	30-Nov-18	\$0.00	\$4,805,685.00	\$249,726.00	\$4,555,959.00
010061	STEEL PROCUREMENT (STR & MISC) - MATERIAL COST		STEL	1	1	5%	07-Nov-18		136	07-Nov-18 A	30-Nov-18	\$0.00	\$4,805,685.00	\$249,726.00	\$4,555,959.00

Activity ID	Activity Name	Prev Pct%	RESP	Orig Dur	Rem Dur	Pct %	Actual Start	Actual Finish	Total Float	Early Start	Early Finish	Previous Budgeted Cost	Budgeted Cost	This Period Cost	Cost to Complete
<b>MODIFICATIONS</b>				1	0		07-May-18	18-Sep-18		07-May-18 A	18-Sep-18 A	\$0.00	(\$3,269,386.01)	(\$3,269,386.01)	\$0.00
<b>MODIFICATIONS</b>				1	0		07-May-18	18-Sep-18		07-May-18 A	18-Sep-18 A	\$0.00	(\$3,269,386.01)	(\$3,269,386.01)	\$0.00
900001	CHANGE ORDER NO.1		GC	1	0	100%	07-May-18	07-May-18		07-May-18 A	07-May-18 A	\$0.00	(\$455,530.50)	(\$455,530.50)	\$0.00
900002	CHANGE ORDER NO.2		GC	1	0	100%	31-May-18	31-May-18		31-May-18 A	31-May-18 A	\$0.00	(\$147,815.28)	(\$147,815.28)	\$0.00
900003	CHANGE ORDER NO.3		GC	1	0	100%	26-Jun-18	26-Jun-18		26-Jun-18 A	26-Jun-18 A	\$0.00	(\$28,769.30)	(\$28,769.30)	\$0.00
900004	CHANGE ORDER NO.4		GC	1	0	100%	21-Aug-18	21-Aug-18		21-Aug-18 A	21-Aug-18 A	\$0.00	(\$2,092,095.52)	(\$2,092,095.52)	\$0.00
900005	CHANGE ORDER NO.5		GC	1	0	100%	18-Sep-18	18-Sep-18		18-Sep-18 A	18-Sep-18 A	\$0.00	(\$545,175.41)	(\$545,175.41)	\$0.00
<b>Delete Activity (Remove from Service)</b>				41	0		29-Nov-18	29-Nov-18		29-Nov-18 A	29-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
<b>PRECONSTRUCTION</b>				41	0		29-Nov-18	29-Nov-18		29-Nov-18 A	29-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
<b>MILESTONES</b>				0	0		29-Nov-18	29-Nov-18		29-Nov-18 A	29-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
001430	FF&E DESIGN REVIEW MEETING (100% DESIGN) (DELETE)	0%	DESN	0	0	100%		29-Nov-18			29-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
<b>PRECONSTRUCTION SUBMITTALS</b>				41	0		29-Nov-18	29-Nov-18		29-Nov-18 A	29-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
000590	SUBMIT BIM EXECUTION PLAN (DELETE)	0%	GC	20	0	100%	29-Nov-18	29-Nov-18		29-Nov-18 A	29-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
000595	APPROVE BIM EXECUTION PLAN (DELETE)	0%	OWNR	21	0	100%	29-Nov-18	29-Nov-18		29-Nov-18 A	29-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00
000605	APPROVE LOD 300/400 FEDERATED MODEL (DELETE)	0%	OWNR	21	0	100%	29-Nov-18	29-Nov-18		29-Nov-18 A	29-Nov-18 A	\$0.00	\$0.00	\$0.00	\$0.00

Activity ID	Activity Name	Orig Dur	Rem Dur	Early Start	Early Finish	Total Float	2018			2019		
							Dec	Jan	Feb	Mar		
<b>ECCF13 30Nov18 Detailed Baseline Schedule Update</b>												
<b>PRECONSTRUCTION</b>												
<b>MILESTONES</b>												
009999	OBTAIN LICENSES, FEES, PERMITS	0	0		19-Dec-18	224						
001599	DESIGN COMPLETE	0	0		21-Dec-18	136						
800015	QUARTERLY TOWN HALL PROGRESS MEETING (COC) 1ST WED OF QTR	0	0		02-Jan-19*	0						
800016	PFRR BOARD MEETING - BCC RECOMMENDATION DEVELOPMENT WORKSHOP	0	0		02-Jan-19*	0						
000629	APPROVE CONSTRUCTION SCHEDULE	0	0		21-Feb-19	74						
<b>WEATHER</b>												
890018	ANTICIPATED ADVERSE WEATHER - OCT19	3	3	30-Nov-18	04-Dec-18	372						
890019	ANTICIPATED ADVERSE WEATHER - NOV19	4	4	30-Nov-18	05-Dec-18	371						
890020	ANTICIPATED ADVERSE WEATHER - DEC19	5	5	30-Nov-18	06-Dec-18	370						
890021	ANTICIPATED ADVERSE WEATHER - JAN20	5	5	30-Nov-18	06-Dec-18	370						
890022	ANTICIPATED ADVERSE WEATHER - FEB20	5	5	30-Nov-18	06-Dec-18	370						
890023	ANTICIPATED ADVERSE WEATHER - MAR20	5	5	30-Nov-18	06-Dec-18	370						
890024	ANTICIPATED ADVERSE WEATHER - APR20	3	3	30-Nov-18	04-Dec-18	372						
890025	ANTICIPATED ADVERSE WEATHER - MAY20	3	3	30-Nov-18	04-Dec-18	372						
<b>DESIGN</b>												
001171	SITE/CIVIL DESIGN - FENCING/MISC. SITE ITEMS	30	8	25-Jul-18 A	07-Dec-18	150						
001420	EC REVIEW - FF&E DESIGN (100% DESIGN)	14	5	10-Oct-18 A	04-Dec-18	139						
001500	CONSOLIDATED CONSTRUCTION SET (100% CD)	14	14	08-Dec-18	21-Dec-18	136						
<b>PERMITS</b>												
009009	PERMITS - SITE/CIVIL - FOR ACCOUNTING ONLY	1	1	13-Feb-18 A	30-Nov-18	52						
009020	PERMITS - BUILDING	60	8	13-Mar-18 A	07-Dec-18	136						
009004	PERMITS - SITE/CIVIL - ECUA ACCEPTANCE	46	20	14-Mar-18 A	19-Dec-18	133						
<b>PRECONSTRUCTION SUBMITTALS</b>												
000620	SUBMIT FINAL BASELINE DESIGN/CONSTRUCTION SCHEDULE	90	63	30-Jan-18 A	31-Jan-19	74						
000600	PREPARE & SUBMIT LOD 300/400 FEDERATED MODEL	143	120	07-Nov-18 A	29-Mar-19	38						
000625	APPROVE FINAL BASELINE DESIGN/CONSTRUCTION SCHEDULE	21	21	01-Feb-19	21-Feb-19	74						
<b>PROCUREMENT</b>												
010000	PROCUREMENT OF LONG-LEAD ITEMS	450	150	02-Jan-18 A	28-Apr-19	58						
010031	PRECAST PROCUREMENT - MATERIAL COST	1	1	26-Sep-18 A	30-Nov-18	192						
010061	STEEL PROCUREMENT (STR & MISC) - MATERIAL COST	1	1	07-Nov-18 A	30-Nov-18	136						
<b>CONSTRUCTION</b>												
<b>ADMINISTRATION</b>												
700031	EXTERIOR IMPROVEMENTS	418	245	06-Apr-18 A	20-Nov-19	45						
700004	MASONRY	519	397	11-Jun-18 A	29-Jun-20	-22						
700006	ROUGH CARPENTRY	519	397	11-Jun-18 A	29-Jun-20	-22						
700007	FINISH CARPENTRY & CASEWORK	519	397	11-Jun-18 A	29-Jun-20	-22						
700008	WATERPROOFING, JOINT SEALANTS, AIR BARRIER, EXP. JTS.	519	397	11-Jun-18 A	29-Jun-20	-22						
700010	STEEL DOORS & FRAMES, WOOD DOORS, HARDWARE	519	397	11-Jun-18 A	29-Jun-20	-22						
700011	ALUMINUM ENTRANCES, DOORS, FRAMES, GLASS & GLAZING	519	397	11-Jun-18 A	29-Jun-20	-22						
700012	OVERHEAD COILING DOORS, VEHICLE SALLYPORT DOORS	519	397	11-Jun-18 A	29-Jun-20	-22						
700013	GYPSON BOARD, METAL FRAMING, ACOUSTICAL TREATMENTS	519	397	11-Jun-18 A	29-Jun-20	-22						



Activity ID	Activity Name	Orig Dur	Rem Dur	Early Start	Early Finish	Total Float	2018				2019					
							Dec	Jan	Feb	Mar	Dec	Jan	Feb	Mar		
700014	FLOORING & PAINTING	519	397	11-Jun-18 A	29-Jun-20	-22										
700015	SPECIALTIES	519	397	11-Jun-18 A	29-Jun-20	-22										
700017	MISCELLANEOUS EQUIPMENT	519	397	11-Jun-18 A	29-Jun-20	-22										
700018	DETENTION HOLLOW METAL DOORS, FRAMES, GLAZING	519	397	11-Jun-18 A	29-Jun-20	-22										
700019	MODULAR STEEL CELLS, STEEL PANELS, DETENTION CEILING	519	397	11-Jun-18 A	29-Jun-20	-22										
700020	DETENTION FURNISHINGS & EQUIPMENT	519	397	11-Jun-18 A	29-Jun-20	-22										
700021	FURNISHINGS	519	397	11-Jun-18 A	29-Jun-20	-22										
700022	SPECIAL CONSTRUCTION	519	397	11-Jun-18 A	29-Jun-20	-22										
700024	FIRE SUPPRESSION	519	397	11-Jun-18 A	29-Jun-20	-22										
700025	PLUMBING	519	397	11-Jun-18 A	29-Jun-20	-22										
700026	HEATING, VENTILATING, AND AIR CONDITIONING	519	397	11-Jun-18 A	29-Jun-20	-22										
700027	ELECTRICAL	519	397	11-Jun-18 A	29-Jun-20	-22										
700028	COMMUNICATIONS	519	397	11-Jun-18 A	29-Jun-20	-22										
700029	ELECTRONIC SECURITY SYSTEMS	519	397	11-Jun-18 A	29-Jun-20	-22										
700016	FOOD SERVICE & LAUNDRY EQUIPMENT	513	397	18-Jun-18 A	29-Jun-20	-22										
700003	PRECAST CONCRETE	243	114	22-Jun-18 A	14-May-19	18										
700002	CAST-IN-PLACE CONCRETE	262	190	20-Aug-18 A	30-Aug-19	28										
700030	EARTHWORK	356	202	20-Aug-18 A	18-Sep-19	84										
700001	BUILDING & SITE DEMOLITION	56	34	24-Aug-18 A	18-Jan-19	24										
700032	UTILITIES	103	84	06-Sep-18 A	02-Apr-19	59										
700005	METALS	145	134	14-Nov-18 A	12-Jun-19	-11										
401000	ALTERNATE 01 - FULL EMERGENCY POWER	397	397	30-Nov-18	29-Jun-20	-22										
402000	ALTERNATE 02 - DOMESTIC HOT WATER, CHILLED WATER, & HEATING	397	397	30-Nov-18	29-Jun-20	-22										
403000	ALTERNATE 03 - INMATE PLUMBING CONTROL SYSTEM	397	397	30-Nov-18	29-Jun-20	-22										
405000	ALTERNATE 05 - FULL OPERABLE SLIDER DOORS	397	397	30-Nov-18	29-Jun-20	-22										
409000	ALTERNATE 09 - EXACQ VISION VMS	397	397	30-Nov-18	29-Jun-20	-22										
410000	ALTERNATE 10 - PERVIOUS CONCRETE PAVING	397	397	30-Nov-18	29-Jun-20	-22										
414000	ALTERNATE 14 - SECOND BUNK FOR CELLS	397	397	30-Nov-18	29-Jun-20	-22										
700009	ROOFING & INSULATED METAL PANELS	120	120	21-Feb-19	09-Aug-19	-12										
<b>DESIGN</b>																
003000	A/E CONSTRUCTION ADMINISTRATION SERVICES (25 MONTHS)	25	21	05-Sep-18 A	20-Dec-18	525										
<b>SITWORK</b>																
100002	MAINTAIN EROSION CONTROLS (25 MONTHS)	25	20	16-Jul-18 A	28-Dec-18	225										
101400	UTILITY DEMOLITION - CONNECTOR/CORRIDOR AREA	15	2	13-Sep-18 A	23-Jan-19	32										
112300	SITE UTILITIES - U/G ELECTRIC FOR SITE LIGHTING WEST	10	10	22-Oct-18 A	19-Feb-19	66										
101110	SITE & UTILITY DEMOLITION - EXISTING SE JUVENILE PARKING LOT 2 OF 2 (DELETE)	0	0	30-Nov-18	30-Nov-18	375										
100110	SITE GRADING - STORMWATER POND (EXIST SE JUV PLOT) 2 OF 2 (DELETE)	0	0	30-Nov-18	30-Nov-18	375										
150150	ASPHALT - NE JUVENILE PARKING LOT (INCL OFFICER PARKING)	10	10	30-Nov-18	13-Dec-18	24										
100007	CONSTRUCTION FENCE - EXISTING SE JUVENILE PARKING LOT	3	3	30-Nov-18	04-Dec-18	35										
150000	STRIPING - NE JUVENILE PARKING LOT (INCL OFFICER PARKING)	2	2	14-Dec-18	17-Dec-18	24										
150002	WHEEL STOPS - NE JUVENILE PARKING LOT (INCL OFFICER PARKING)	2	2	18-Dec-18	19-Dec-18	24										
101100	SITE & UTILITY DEMOLITION - EXISTING SE JUVENILE PARKING LOT	10	10	20-Dec-18	04-Jan-19	24										
150004	EXT SIGNAGE - NE JUVENILE PARKING LOT (INCL OFFICER PARKING)	2	2	20-Dec-18	21-Dec-18	351										
159300	LANDSCAPING - NE JUVENILE PARKING LOT	5	5	31-Dec-18	07-Jan-19	342										

■ Actual Work  
■ Remaining Work  
■ Critical Remaining Work  
◆ Milestone

D/B New Escambia County Correctional Facility  
Pensacola, FL

**ECCF13** ECCF13 30Nov18 Detailed Baseline Schedule Update  
- 90-Day Schedule 11x17

Page 2 of 4  
03-Dec-18 11:31  
Data Date: 30-Nov-18

Caddell - WGI  
#1054

Activity ID	Activity Name	Orig Dur	Rem Dur	Early Start	Early Finish	Total Float	2018			2019					
							Dec	Jan	Feb	Mar	Apr	May			
101200	SITE & UTILITY DEMOLITION - REMAINING SITE	10	10	07-Jan-19	18-Jan-19	24									
100100	SITE GRADING - STORMWATER POND (EXIST SE JUV PLOT)	10	10	07-Jan-19	18-Jan-19	59									
100200	SITE GRADING - REMAINING SITE	10	10	22-Jan-19	04-Feb-19	24									
110000	SITE UTILITIES - STORMWATER POND	10	10	22-Jan-19	04-Feb-19	59									
100400	SITE GRADING - CONNECTOR/CORRIDOR AREA	10	10	05-Feb-19	19-Feb-19	24									
151010	GRAVEL - STORMWATER POND	5	5	05-Feb-19	11-Feb-19	186									
111000	SITE UTILITIES - SANITARY SOUTH	10	10	05-Feb-19	19-Feb-19	61									
110010	SITE UTILITIES - STORM SOUTH 1 OF 2	10	10	05-Feb-19	19-Feb-19	59									
113000	SITE UTILITIES - GAS EAST	10	10	05-Feb-19	19-Feb-19	89									
152000	DECORATIVE FENCE/GATE - RETENTION POND	10	10	12-Feb-19	26-Feb-19	186									
112400	SITE UTILITIES - TELECOM NORTH (INCL CONNECTOR/CORRIDOR)	10	10	20-Feb-19	05-Mar-19	79									
112310	SITE UTILITIES - U/G ELECTRIC FOR SITE LIGHTING EAST	10	10	20-Feb-19	05-Mar-19	66									
112380	SITE UTILITIES - U/G ELECTRIC NORTH (BY GULF POWER)	20	20	20-Feb-19	19-Mar-19	24									
158000	FRP CANTILEVER WALL - ROADS/DRIVES SITE NORTH	15	15	20-Feb-19	12-Mar-19	116									
112000	SITE UTILITIES - WATER WEST/NORTH (INCL CONNECTOR/CORRIDOR)	10	10	20-Feb-19	05-Mar-19	79									
110015	SITE UTILITIES - STORM SOUTH 2 OF 2	10	10	20-Feb-19	05-Mar-19	59									
111010	SITE UTILITIES - SANITARY EAST	15	15	20-Feb-19	12-Mar-19	61									
111020	SITE UTILITIES - SANITARY LATERALS NORTH (CONNECTOR/CORRIDOR)	5	5	20-Feb-19	26-Feb-19	116									
<b>CORRECTIONAL FACILITY</b>															
200300	STRUCTURAL BACKFILL A	5	2	24-Oct-18 A	10-Jun-19	56									
200320	STRUCTURAL BACKFILL B	8	5	29-Oct-18 A	19-Jul-19	28									
211020	PRECAST C (1/3)	15	10	26-Nov-18 A	13-Dec-18	-22									
210100	STRUCTURAL STEEL D ELEV 100-102 (1/2)	8	7	28-Nov-18 A	10-Dec-18	-22									
210300	SWITCHBACK STAIRS C	15	15	30-Nov-18	20-Dec-18	-9									
200450	UNDER SLAB PLUMBING C (1/2)	10	10	30-Nov-18	13-Dec-18	183									
200460	UNDER SLAB ELECTRICAL C (1/2)	10	10	30-Nov-18	13-Dec-18	183									
210110	STRUCTURAL STEEL D ELEV 100-102 (2/2)	8	8	11-Dec-18	20-Dec-18	-19									
210180	DETAIL STRUCTURAL STEEL D ELEV 100 (1/2)	11	11	11-Dec-18	26-Dec-18	-22									
201000	IN-SLAB PLUMBING D 2ND LVL CL 14-29	5	5	11-Dec-18	17-Dec-18	-10									
201200	IN-SLAB ELECTRICAL D 2ND LVL CL 14-29	5	5	11-Dec-18	17-Dec-18	-10									
211030	PRECAST C (2/3)	15	15	14-Dec-18	07-Jan-19	-22									
200455	UNDER SLAB PLUMBING C (2/2)	10	10	14-Dec-18	28-Dec-18	183									
200465	UNDER SLAB ELECTRICAL C (2/2)	10	10	14-Dec-18	28-Dec-18	183									
201010	IN-SLAB PLUMBING D 2ND LVL CL 29-50	5	5	18-Dec-18	24-Dec-18	-10									
201210	IN-SLAB ELECTRICAL D 2ND LVL CL 29-50	5	5	18-Dec-18	24-Dec-18	-10									
211090	PRECAST CENTER CORRIDOR CL 14-50	15	15	21-Dec-18	14-Jan-19	-17									
210310	LARGE STAIR C	6	6	21-Dec-18	31-Dec-18	-9									
210190	DETAIL STRUCTURAL STEEL D ELEV 100 (2/2)	11	11	27-Dec-18	11-Jan-19	-22									
210320	MEZZANINE STAIR C	6	6	02-Jan-19	09-Jan-19	-9									
211040	PRECAST C (3/3)	15	15	08-Jan-19	29-Jan-19	-22									
200880	SLAB ON DECK D ELEV 100 - 2ND LVL	6	6	14-Jan-19	22-Jan-19	-22									
200900	SLAB ON DECK D ELEV 102 - 2ND LVL	6	6	23-Jan-19	30-Jan-19	67									
211060	PRECAST D ELEV 100	9	9	23-Jan-19	04-Feb-19	-22									
210000	PRECAST A (1/3)	15	15	30-Jan-19	20-Feb-19	-22									

■ Actual Work  
■ Remaining Work  
■ Critical Remaining Work  
◆ Milestone

D/B New Escambia County Correctional Facility  
Pensacola, FL

**ECCF13** ECCF13 30Nov18 Detailed Baseline Schedule Update  
- 90-Day Schedule 11x17

Page 3 of 4  
03-Dec-18 11:31  
Data Date: 30-Nov-18

Caddell - WGI  
#1054



## Daily Log: Thursday 11/1/2018

**Daily Log Completed**

The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 10:08 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
Yes	Rain	Mild	73	1 in.			

#### Observed Weather Conditions' Attachments:



### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
65°F	77°F	71°F	0.46 in.	0.46 in.	0.46 in.	71%	82%	95%	66°F	9.7 mph	19 mph	31 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
<b>wind</b> 77°F	<b>wind</b> 78°F	<b>rain</b> 66°F	<b>cloudy</b> 69°F	<b>cloudy</b> 71°F	<b>cloudy</b> 71°F

### MANPOWER LOG



**59 Workers | 285.0 Man Hours**

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		8	3.0	24.0	Site <span style="float: right;"></span>

**Notes:** Backfill duct bank in area "C", got first lift on and compacted for test, 98.3 , Thread nipples for stub ups in

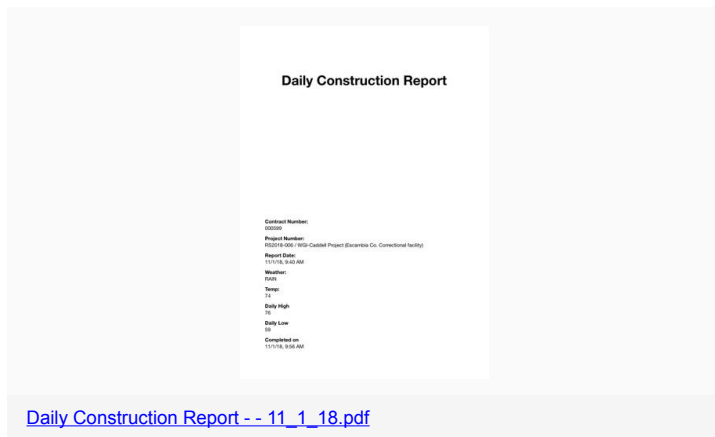
**MANPOWER LOG**

**59 Workers | 285.0 Man Hours**

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
	section "D". Job to shutdown at 10:00 and off site at 11:00 Per: WGI/Caddell					
2	Bayside Structures, LLC		28	3.0	84.0	Site 
	<b>Notes:</b> 3P pile caps.					
3	Caddell Construction Co. (DE), LLC		9	8.0	72.0	Site
	<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.					
4	Larry M. Jacobs & Associates, Inc.		1	1.0	1.0	Site>C
	<b>Notes:</b> Density Test in Area A. Electricians back-fill of conduit trench					
5	EAA Site Contractors LLC		7	8.0	56.0	Site
	<b>Notes:</b> Total man hours 25. Minimum work today due to rain. No work done in JJC parking lot. Outside dirt brought in 12 loads. Continued backfilling in section A.					
6	Tindall Corporation		6	8.0	48.0	Site 
	<b>Notes:</b> Completed crane assembly,					
			<b>59</b>		<b>285.0</b>	

**Manpower Log's Attachments:**

- 1. A&B Electric Co., Inc.



- 2. Bayside Structures, LLC



[Tindall Escambia daily 11-1-18.xlsx](#)

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Bobcat Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
2	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
4	Volvo 330 Excavator				No	07:00 AM	Site
	<b>Notes:</b>						
5	Komatsu 320 PT Loader				No	07:00 AM	Site
	<b>Notes:</b>						
6	Hamm Vibratory Roller				No	07:00 AM	Site>A
	<b>Notes:</b>						
7	John Deere 750 Dozer				No	07:00 AM	Site>A
	<b>Notes:</b>						
8	CAT 312 Excavator				No	07:00 AM	Site>C
	<b>Notes:</b>						
9	Compact Line Vibrator Roller				No	07:00 AM	Site>C
	<b>Notes:</b>						
10	Bobcat Miniexcavator				No	07:00 AM	Site
	<b>Notes:</b>						
11	Bobcat Skidsteer				No	07:00 AM	Site
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

Copies To \_\_\_\_\_



## Daily Log: Friday 11/2/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 10:09 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Overcast	Cold	60	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
47°F	70°F	60°F	0.00 in.	0.46 in.	0.46 in.	56%	78%	93%	53°F	6.5 mph	11 mph	19 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
cloudy 62°F	partly-cloudy-day 60°F	partly-cloudy-day 61°F	partly-cloudy-day 61°F	clear-night 60°F	clear-night 51°F

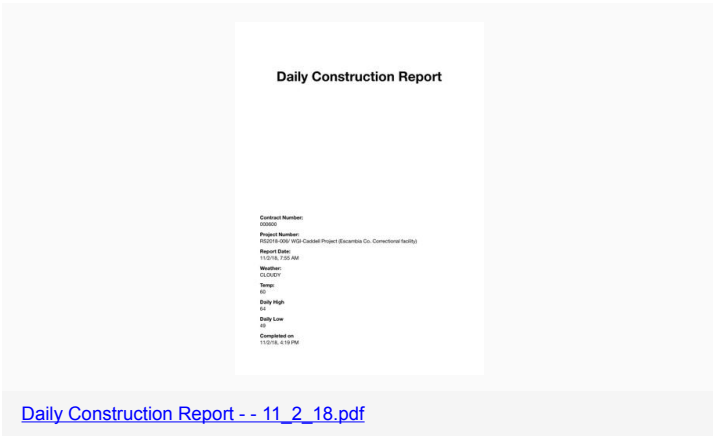
### MANPOWER LOG

**56 Workers | 478.0 Man Hours**

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		8	10.0	80.0	Site
<b>Notes:</b> Backfill duct bank in area "C", Get compaction test on duct bank. Excavation of communication conduits & stub up in area "C", Thread rigid nipples and stub up in area "D" along corridor.						
2	Bayside Structures, LLC		28	8.5	238.0	Site
<b>Notes:</b> Poured area inspected above. Finished forming (Qty:1) 12P in Area B. Formed (Qty:1) 3P pile cap in Area B. Formed and installed partial rebar on Area 5/SB304 in Area D.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	Larry M. Jacobs & Associates, Inc.		3	2.0	6.0	Site
<b>Notes:</b> Tested density in Area A, B and C. Tested concrete for foundation pour in Area D.						
5	EAA Site Contractors LLC		8	8.0	64.0	Site
<b>Notes:</b> Total man hours 74. Continued to backfill in section A. Crane path is complete. Truck path still needs to be rolled. Started backfilling in section D.						
			<b>56</b>	<b>478.0</b>		

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.



[Daily Construction Report - - 11\\_2\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 110218.pdf](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Komatsu 320 PT Loader				No	07:00 AM	Site
	<b>Notes:</b>						
2	Volvo 330 Excavator				No	07:00 AM	Site
	<b>Notes:</b>						
3	Hamm Vibratory Roller				No	07:00 AM	Site>A
	<b>Notes:</b>						
4	CAT 312 Excavator				No	07:00 AM	Site>C
	<b>Notes:</b>						
5	BMP 8500 Roller				No	07:00 AM	Site>C
	<b>Notes:</b>						
6	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
7	Bobcat Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						



## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
8	Bobcat Miniexcavator				No	07:00 AM	Site>D
	<b>Notes:</b>						
9	Bobcat Miniexcavator				No	07:00 AM	Site>B
	<b>Notes:</b>						
10	Bobcat Skidsteer				No	07:00 AM	Site
	<b>Notes:</b>						
11	Vibratory Roller				No	07:00 AM	Site>B
	<b>Notes:</b>						
12	CAT Miniexcavator				No	07:00 AM	Site>C
	<b>Notes:</b>						
13	CAT Dozer D3K2				No	07:00 AM	Site>C
	<b>Notes:</b>						
14	Compact Line Vibrator Roller				No	07:00 AM	Site>C
	<b>Notes:</b>						
15	John Deere 700 Dozer				No	07:00 AM	Site
	<b>Notes:</b>						
16	John Deere 750 Dozer				No	07:00 AM	Site
	<b>Notes:</b>						
17	Bobcat Miniexcavator				No	07:00 AM	Site>D
	<b>Notes:</b>						
18	Gomaco Curb Machine GT 6200				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

## INSPECTION LOG

No.	Start Time	End Time	Inspection Type	Inspecting Entity	Inspector Name	Location	Area
1	08:00 PM	09:00 AM	Third Party	Mott MacDonald	Mike Tugwell	Site	
	<b>Comments:</b> Inspected (Qty:6) 3P pile caps in Area B. CIP wall on Q.2 line and 28.9 line.						

By \_\_\_\_\_

Date \_\_\_\_\_

Copies To \_\_\_\_\_



**Whitesell Green / Caddell, a Joint Venture**  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

**Project: 1054 - Escambia County Correctional Facility**  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Saturday 11/3/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Sun Nov 4, 2018 at 09:13 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Overcast	Cold	57	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
44°F	71°F	57°F	0.00 in.	0.00 in.	0.46 in.	41%	75%	99%	48°F	2.7 mph	6 mph	10 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 45°F	clear-day 57°F	clear-day 69°F	clear-day 71°F	clear-night 65°F	clear-night 56°F

### MANPOWER LOG

8 Workers | 80.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		7	10.0	70.0	Site
<b>Notes:</b> Finish grading of duct bank & packing of dirt in area "C", Excavation of (2) duct banks in area "D", Install conduits and backfill, Excavation of Duct bank in area "B", Install conduits and backfill.						
2	Caddell Construction Co. (DE), LLC		1	10.0	10.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
			<b>8</b>	<b>80.0</b>		

Manpower Log's Attachments:



[Daily Construction Report -- 11\\_3\\_18.pdf](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Bobcat Miniexcavator				No	07:00 AM	Site>B
	<b>Notes:</b>						
2	CAT Miniexcavator				No	07:00 AM	Site>B
	<b>Notes:</b>						
3	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

Copies To \_\_\_\_\_



**Whitesell Green / Caddell, a Joint Venture**  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

**Project: 1054 - Escambia County Correctional Facility**  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Sunday 11/4/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Sun Nov 4, 2018 at 02:36 pm CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Overcast	Mild	65	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
54°F	72°F	63°F	0.00 in.	0.00 in.	0.01 in.	66%	75%	89%	55°F	5.8 mph	9 mph	18 mph

### DAILY SNAPSHOT

05:00 AM	08:00 AM	11:00 AM	02:00 PM	05:00 PM	08:00 PM
clear-night 54°F	partly-cloudy-day 57°F	cloudy 64°F	partly-cloudy-day 72°F	partly-cloudy-night 70°F	cloudy 71°F

### MANPOWER LOG

10 Workers | 100.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	Caddell Construction Co. (DE), LLC		1	10.0	10.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
2	A&B Electric Co., Inc.		9	10.0	90.0	Site>B
<b>Notes:</b> Excavation of duct bank in area "B", dig and install conduits and make stub ups.						
			<b>10</b>	<b>100.0</b>		

Manpower Log's Attachments:



[Daily Construction Report -- 11\\_4\\_18.pdf](#)

### EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Bobcat Miniexcavator				No	07:00 AM	Site>B
	<b>Notes:</b>						
2	CAT Miniexcavator				No	07:00 AM	Site>B
	<b>Notes:</b>						
3	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

Copies To \_\_\_\_\_



## Daily Log: Monday 11/5/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 12, 2018 at 11:01 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Overcast	Mild	72	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
65°F	80°F	72°F	0.02 in.	0.03 in.	0.03 in.	77%	91%	100%	70°F	5.9 mph	10 mph	13 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
<b>fog</b> 66°F	<b>cloudy</b> 72°F	<b>partly-cloudy-day</b> 80°F	<b>partly-cloudy-day</b> 79°F	<b>partly-cloudy-night</b> 76°F	<b>partly-cloudy-night</b> 75°F

### MANPOWER LOG

75 Workers | 686.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		12	10.0	120.0	Site
<b>Notes:</b> Thread and stub up rigid nipples for area "B", Layout of Electrical room and start excavation, dig duct bank and extend to Electrical room. Total of 122 Man Hours						
2	Bayside Structures, LLC		28	9.0	252.0	Site
<b>Notes:</b> Finished forming approx. 20ft of GB4 on Grid line 49 and finished forming (Qty:1) 12P in and installing rebar and anchor bolts in (Qty: 1) 3P in Area B. Finished forming and installing rebar in area 5/SB304 footer in Area D.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	Larry M. Jacobs & Associates, Inc.		1	2.0	2.0	Site
<b>Notes:</b> Density Test in Area B and D.						
5	Tindall Corporation		11	10.0	110.0	Site
<b>Notes:</b> **Scattered mats and wlked crane into footprint, 9am **Layout for first days pieces now that footings have been cleared.						

**MANPOWER LOG**

75 Workers | 686.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
**Erect five pieces at foundation						
6	EAA Site Contractors LLC		14	8.0	112.0	Site
<b>Notes:</b>			Total man hours 140. Formed and poured more curb today in JJC parking lot. Note of concern: the curb as designed around the protected tree off SE corner of JJC BLDG is very close to the base of the tree. There is a high potential for tree roots to lift, move or crack the concrete and asphalt in the future. Pete brought this concern to the engineer but the curb was not moved. There was 56 loads of outside dirt brought in Friday. Continued backfilling in section D, And B. All dirt from the spoils pile has been used.			
			<b>75</b>		<b>686.0</b>	

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.

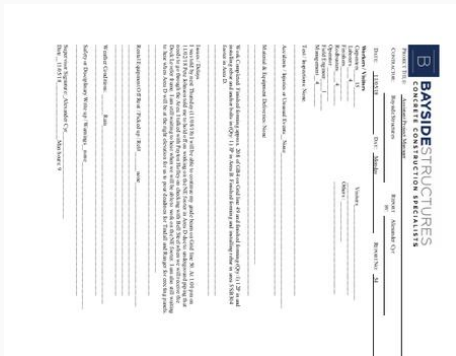


[Daily Construction Report -- 11\\_5\\_18\(1\).pdf](#)



[Daily Construction Report -- 11\\_5\\_18\(2\).pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 110518.pdf](#)

5. Tindall Corporation

[Tindall Escambia Daily 11-5-18.xlsx](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site
<b>Notes:</b>							

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
2	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
3	Kobelco Crane CKE2500		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
4	Kawasaki 652 V Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
5	John Deere 750 Dozer		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
6	Vibratory Roller		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
7	John Deere 50G Miniexcavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
8	Komatsu 320 PT Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
9	CAT 312 Excavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
10	CAT Dozer D3K2		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
11	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
12	Bobcat Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
13	Komatsu 78MR Excavator		0.0	0.0	No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	Bobcat Skidsteer				No	07:00 AM	Site
	<b>Notes:</b>						
15	Compact Line Vibrator Roller				No	07:00 AM	Site>D
	<b>Notes:</b>						
16	Hamm Vibratory Roller				No	07:00 AM	Site
	<b>Notes:</b>						
17					No	07:00 AM	Site>B
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

Copies To \_\_\_\_\_





## Daily Log: Tuesday 11/6/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 12, 2018 at 10:32 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Rain	Mild	73	< .1			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
66°F	77°F	73°F	0.13 in.	0.15 in.	0.15 in.	84%	93%	98%	71°F	3.7 mph	10 mph	14 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
partly-cloudy-night 75°F	partly-cloudy-day 75°F	partly-cloudy-day 75°F	partly-cloudy-day 76°F	partly-cloudy-night 72°F	partly-cloudy-night 68°F

### MANPOWER LOG

193 Workers | 2042.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		130	10.0	1300.0	Site
<b>Notes:</b> Layout of main Electrical room, Build conduit racks & start roughing conduits in. Layout parking lot light poles out (North side Juvenile parking) Stubbing up branch circuit conduits at switchboards MSB1, MSB2 Fabricate supports for ATS1 &2 conduits. 132 Total Man Hours						
2	Bayside Structures, LLC		28	14.0	392.0	Site
<b>Notes:</b> Stripped yesterdays pour. Formed pile cap in (Qty:1) 3P. Chipped grade beams to stay out of the way of the precasters.						
3	Caddell Construction Co. (DE), LLC		9	14.0	126.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	Larry M. Jacobs & Associates, Inc.		1	2.0	2.0	Site
<b>Notes:</b> Conducted Density Test						
5	Tindall Corporation		11	10.0	110.0	Site
<b>Notes:</b> **Safety orientation in the morning, site safety meeting postponed until tomorrow due to weather. **Erecting panels along corridor between lines 3 and 14.						


# MANPOWER LOG

193 Workers | 2042.0 Man Hours


No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
	**Grouting and erection welds					
	**Addressing various finishing issues					
6	EAA Site Contractors LLC		14	8.0	112.0	Site
<b>Notes:</b> Total man hours 138. Continued forming more curb in JJC parking lot. Pouring at 1000 hours 7 Nov. Removed forms from Mondays pour. First lift in large area of section D (north side) passed. Started second lift. Built ramp on south end to access section D from both sides. South end of corridor passed density. 23 loads of dirt brought in Monday and 35 loads on Tuesday.						
			<b>193</b>	<b>2042.0</b>		

## Manpower Log's Attachments:

1. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_6\\_18\(1\).pdf](#)



[Daily Construction Report -- 11\\_6\\_18\(2\).pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 110618.pdf](#)

5. Tindall Corporation

[Tindall Escambia Daily Log 11-6-18.xlsx](#)

# EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500		0.0	0.0	No	07:00 AM	Site>A
<b>Notes:</b>							

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
2	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
3	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
4	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
5	John Deere 550H Dozer		0.0	0.0	No	07:00 AM	Site>B
	<b>Notes:</b>						
6	Kawasaki 652 V Loader		0.0	0.0	No	07:00 AM	Site>B
	<b>Notes:</b>						
7	Komatsu 78MR Excavator		0.0	0.0	No	07:00 AM	Site>B
	<b>Notes:</b>						
8	John Deere 50G Miniexcavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
9	Hamm Vibratory Roller		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
10	Komatsu 320 PT Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
11	Cat Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
12	CAT Dozer D3K2		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
13	John Deere 700 Dozer				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	BMP 8500 Roller				No	07:00 AM	Site>D
	<b>Notes:</b>						
15	Gomaco Curb Machine GT 6200				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

Copies To \_\_\_\_\_



## Daily Log: Wednesday 11/7/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 12, 2018 at 07:50 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Overcast	Mild	72	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
67°F	79°F	72°F	0.06 in.	0.18 in.	0.21 in.	85%	94%	99%	71°F	2.6 mph	6 mph	6 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
<b>fog</b> 70°F	<b>cloudy</b> 73°F	<b>cloudy</b> 79°F	<b>partly-cloudy-day</b> 79°F	<b>cloudy</b> 74°F	<b>partly-cloudy-night</b> 72°F

### MANPOWER LOG

77 Workers | 704.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	Bayside Structures, LLC		28	9.0	252.0	Site
<b>Notes:</b> Finished chipping down grade beams to stay in front of precasters. Installed rebar in area 5/SB304 wall and partially formed. Installed rebar in 4P wall and partially formed.						
2	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
3	Larry M. Jacobs & Associates, Inc.		1	2.0	2.0	Site
<b>Notes:</b> Density tested performed						
4	Tindall Corporation		11	10.0	110.0	Site
<b>Notes:</b> **Erecting panels along corridor between lines 3 and 14. **Grouting and erection welds **Addressing various finishing issues						
5	EAA Site Contractors LLC		15	8.0	120.0	Site
<b>Notes:</b> Total man hours 121. Poured more curb and formed more curb in JJC parking lot. Stopped pouring due to pending rain. Weather permitting will pour again tomorrow. Extended the crane path into section B. The dirt in the corridor of section D is at grade on northern end. Density failed in large area of section D. 29 Loads of outside dirt delivered today.						

# MANPOWER LOG

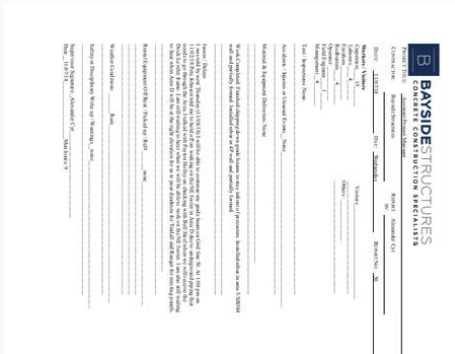
77 Workers | 704.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
6	A&B Electric Co., Inc.		13	10.0	130.0	Site
			<b>77</b>		<b>704.0</b>	

**Notes:** Working on stub up's in main Electrical room, Stub out conduits for incoming utility's, finish layout of light poles in Juvenile parking lot.

## Manpower Log's Attachments:

1. Bayside Structures, LLC



[Bayside Daily Report 110718.pdf](#)

4. Tindall Corporation

[Tindall Escambia Daily 11-7-18.xlsx](#)

6. A&B Electric Co., Inc.



[Daily Construction Report - - 11\\_7\\_18.pdf](#)

# EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Bobcat Telehandler		0.0	0.0	No	07:00 AM	Site
<b>Notes:</b>							
2	CAT Dozer D3K2		0.0	0.0	No	07:00 AM	Site
<b>Notes:</b>							
3	CAT 312 Excavator		0.0	0.0	No	07:00 AM	Site>D
<b>Notes:</b>							

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
4	Compact Line Vibrator Roller		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
5	BMP 8500 Roller		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
6	CAT Miniexcavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
7	Kawasaki 652 V Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
8	Komatsu 320 PT Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
9	Hamm Vibratory Roller		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
10	John Deere 550H Dozer		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
11	Kobelco Crane CKE2500		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
12	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
13	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
14	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
15	John Deere 700 Dozer		0.0	0.0	No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
16	Bobcat Skidsteer		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
17	Volvo 330 Excavator		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

Copies To \_\_\_\_\_



## Daily Log: Thursday 11/8/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 12, 2018 at 11:02 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Overcast	Mild	73	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
69°F	78°F	73°F	0.10 in.	0.16 in.	0.28 in.	78%	91%	98%	70°F	2.9 mph	7 mph	11 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
partly-cloudy-night 71°F	cloudy 74°F	partly-cloudy-day 78°F	partly-cloudy-day 78°F	rain 73°F	cloudy 71°F

### MANPOWER LOG

76 Workers | 639.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		12	8.0	96.0	Site
<b>Notes:</b> Main Electric room roughin area "D"						
2	Bayside Structures, LLC		28	8.0	224.0	Site
<b>Notes:</b> Installed rebar in (Qty:1) 3P pile cap in Area B. Finished as-builts on entire job with acception to a few 3P pile caps we could not see in Area B due to the crane. Remained chipping andthing needed to stay in front of precaster. Finished forming 5/SB304 walls in Area D and 4P elevator walls in Area B.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	Larry M. Jacobs & Associates, Inc.		1	1.0	1.0	Site>Juvenile Justice Parking Lot
<b>Notes:</b> Testing for curb pour in Juvenile Justice Parking lot						
5	Tindall Corporation		10	10.0	100.0	Site
<b>Notes:</b> **Erecting on corridor at grade level, east side. **Patchng of lifting devices begins **Grouting and erection welds						

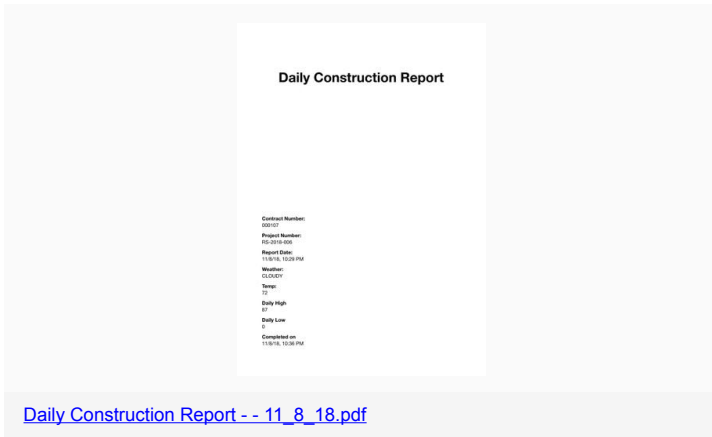
**MANPOWER LOG**

76 Workers | 639.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
**Addressing various finishing issues						
6	EAA Site Contractors LLC		16	8.0	128.0	Site
<b>Notes:</b> Total man hours 146. Continued forming and pouring curb in JJC parking lot. Wrecked forms from yesterday's pour. Started back dressing behind curb with topsoil. Completed crane path into section B. The southern end of the corridor in section D is not to grade or density. The precast concrete walls are being installed along the corridor. This will prevent EAA from being able to complete the corridor to grade or density. 29 loads of dirt delivered today.						
			<b>76</b>	<b>639.0</b>		

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_8\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 110818.pdf](#)

5. Tindall Corporation

[Tindall Escambia Daily 11-8-18.xlsx](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Cat Telehandler		0.0	0.0	No	07:00 AM	Site
<b>Notes:</b>							



## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
2	Genie GTH-636 Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
4	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
5	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
6	Kobelco Crane CKE2500		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
7	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site>A
	<b>Notes:</b>						
8	Kawasaki 652 V Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
9	John Deere 50G Min excavator		0.0	0.0	No	07:00 AM	Site>B
	<b>Notes:</b>						
10	John Deere 550H Dozer		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
11	CAT 312 Excavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
12	CAT Miniexcavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
13	Komatsu 320 PT Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
14	John Deere 700 Dozer		0.0	0.0	No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
15	Gomaco Curb Machine GT 6200		0.0	0.0	No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
16	Hamm Vibratory Roller		0.0	0.0	No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
17	BMP 8500 Roller				No	07:00 AM	Site>D
	<b>Notes:</b>						
18	Terex Articulated Dump Truck				No	07:00 AM	Site
	<b>Notes:</b>						
19	Volvo 330 Excavator				No	07:00 AM	
	<b>Notes:</b>						

## INSPECTION LOG

No.	Start Time	End Time	Inspection Type	Inspecting Entity	Inspector Name	Location	Area
1	03:00 AM	03:30 AM	Third Party	Mott MacDonald	Mike Tugwell	Site>C	
<b>Comments:</b> Inspected dowel corrections in grade beam between Area A and C							

---

By

Date

Copies To



## Daily Log: Friday 11/9/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 12, 2018 at 11:03 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Mild	68	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
52°F	80°F	68°F	0.16 in.	0.26 in.	0.32 in.	72%	88%	99%	65°F	7.6 mph	18 mph	31 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
<b>fog</b> 68°F	<b>cloudy</b> 74°F	<b>partly-cloudy-day</b> 81°F	<b>rain</b> 76°F	<b>wind</b> 62°F	<b>wind</b> 55°F

### MANPOWER LOG

69 Workers | 526.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		9	10.0	90.0	Site

**Notes:** Complete primary and secondary conduit stubups at main Electric room Area "D"  
 Pour red concrete from exterior grade beam to generator and utility stubs outs 5' outside building

2	Bayside Structures, LLC		28	6.0	168.0	Site
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**Notes:** Poured section 5/SB304 walls in Area D. Poured single elevator, 4P walls.

3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
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**Notes:** WGI/Caddell supervision, quality control and safety onsite.

4	Larry M. Jacobs & Associates, Inc.		1	2.0	2.0	Site
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**Notes:** Density Test in Area D

5	Tindall Corporation		10	8.0	80.0	Site
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**Notes:** \*\*Erecting on corridor, east side.  
 \*\*Patching lifters  
 \*\*Grouting and erection welds  
 \*\*Addressing various finishing issues  
 \*\*Total of 81 Man Hours

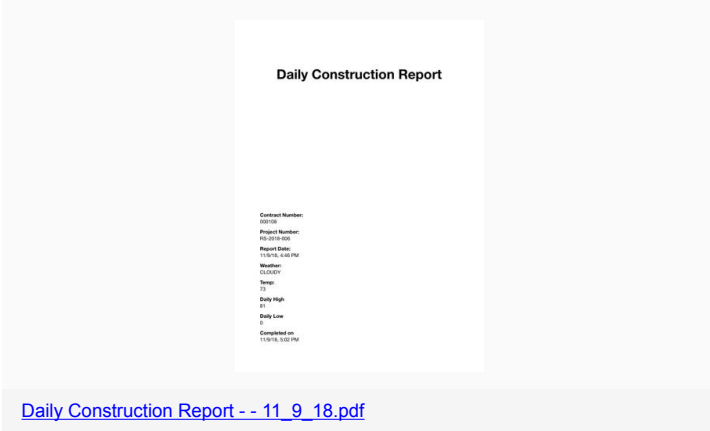
**MANPOWER LOG**

69 Workers | 526.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
6	EAA Site Contractors LLC		12	8.0	96.0	Site
<b>Notes:</b>						
Total man hours 78. Poured additional curb and wrecked forms from Thursday. Continued to back dress dirt behind curb. Continued to place dirt in section D. Still unable to get density on large area of section D.						
			<b>69</b>		<b>526.0</b>	

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.



[Daily Construction Report - - 11\\_9\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 110918.pdf](#)

5. Tindall Corporation

[Tinall Escambia Daily 11-9-18.xlsx](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500		0.0	0.0	No	07:00 AM	Site>B
<b>Notes:</b>							
2	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>B
<b>Notes:</b>							
3	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>B
<b>Notes:</b>							

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
4	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>B
	<b>Notes:</b>						
5	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site>B
	<b>Notes:</b>						
6	Bobcat Skidsteer		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
7	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
8	Komatsu 320 PT Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
9	Kawasaki 652 V Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
10	Volvo 330 Excavator		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
11	Cat Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
12	CAT 312 Excavator		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
13	CAT Miniexcavator		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
14	John Deere 50G Miniexcavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
15	John Deere 750 Dozer		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
16	BMP 8500 Roller		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
17	CAT Dozer D3K2		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
18	John Deere 700 Dozer		0.0	0.0	No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
19	Kubota Miniexcavator KX91- 3		0.0	0.0	No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
20	Gomaco Curb Machine GT 6200				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

## INSPECTION LOG

No.	Start Time	End Time	Inspection Type	Inspecting Entity	Inspector Name	Location	Area
1	08:00 AM	09:00 AM	Third Party	Mott MacDonald	Mike Tugwell	Site	
<b>Comments:</b> Inspected section 5/SB304 walls in Area D. Inspected single elevator, 4P walls.							

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By

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Date

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Copies To



Whitesell Green / Caddell, a Joint Venture  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

Project: 1054 - Escambia County Correctional  
**Facility**  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Saturday 11/10/2018

✓ **Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 12, 2018 at 11:04 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Cold	50	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
44°F	58°F	50°F	0.00 in.	0.16 in.	0.26 in.	40%	63%	81%	38°F	10.3 mph	14 mph	24 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
partly-cloudy-night 45°F	partly-cloudy-day 49°F	partly-cloudy-day 57°F	clear-day 59°F	clear-night 51°F	clear-night 46°F

### MANPOWER LOG

17 Workers | 170.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		6	10.0	60.0	Site
<b>Notes:</b> Rough in communication conduits at Rm 1360, Rough in fire pump an life safety ATS3						
2	Caddell Construction Co. (DE), LLC		1	10.0	10.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
3	Tindall Corporation		10	10.0	100.0	Site
<b>Notes:</b> **Erecting corridor **Patching lifters **Grouting and erection welds						
			<b>17</b>	<b>170.0</b>		

#### Manpower Log's Attachments:

1. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_10\\_18.pdf](#)

3. Tindall Corporation

[Tindall Escambia Daily 11-10-18.xlsx](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	CAT Miniexcavator				No	07:00 AM	Site
	<b>Notes:</b>						
2	Kobelco Crane CKE2500				No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
5	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
6	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

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Whitesell Green / Caddell, a Joint Venture  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

Project: 1054 - Escambia County Correctional  
**Facility**  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Sunday 11/11/2018

**Daily Log Completed**

The Daily Log was completed by Donald Shelton on Mon Nov 12, 2018 at 07:18 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Cold	54	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
43°F	66°F	54°F	0.00 in.	0.00 in.	0.16 in.	53%	72%	90%	45°F	3.8 mph	9 mph	18 mph

### DAILY SNAPSHOT

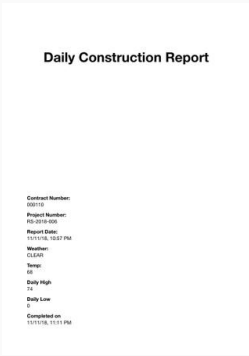
06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 44°F	clear-day 54°F	clear-day 64°F	partly-cloudy-day 66°F	partly-cloudy-night 60°F	partly-cloudy-night 59°F

### MANPOWER LOG

7 Workers | 42.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		6	6.0	36.0	Site
<p><b>Notes:</b> Fabricate conduit stubups for juvenile justice light pole bases, construct anchor bolt templates and supports            Stage materials and supplies            Connect office trailer electrical for Ranger            Total of 38 Man Hours</p>						
2	Caddell Construction Co. (DE), LLC		1	6.0	6.0	Site
<p><b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.</p>						
			<b>7</b>	<b>42.0</b>		

#### Manpower Log's Attachments:



[Daily Construction Report -- 11\\_11\\_18.pdf](#)

### EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Cat Telehandler				No	07:00 AM	Site

Notes:

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By

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Date

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## Daily Log: Monday 11/12/2018

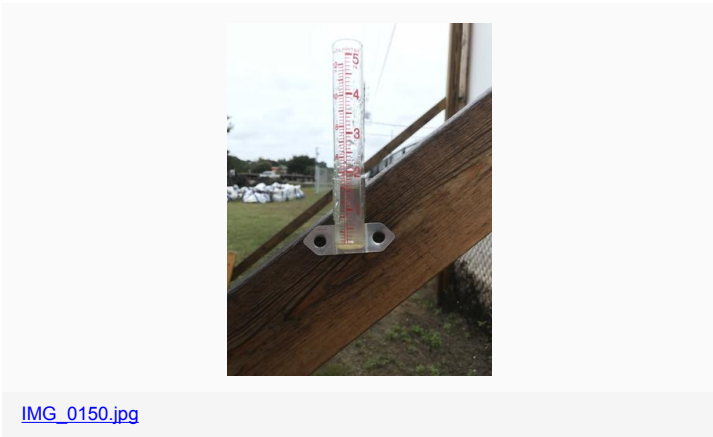
**Daily Log Completed**

The Daily Log was completed by Donald Shelton on Mon Nov 19, 2018 at 10:16 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
Yes	Rain	Cold	66	1.5 in.			

#### Observed Weather Conditions' Attachments:



### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
58°F	75°F	66°F	0.88 in.	0.88 in.	0.88 in.	80%	93%	97%	64°F	6.8 mph	13 mph	20 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
cloudy 60°F	rain 66°F	rain 72°F	rain 73°F	rain 69°F	partly-cloudy-night 68°F

### MANPOWER LOG

15 Workers | 126.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	EAA Site Contractors LLC		0	0.0	0.0	Site

**Notes:** No work conducted today due to rain

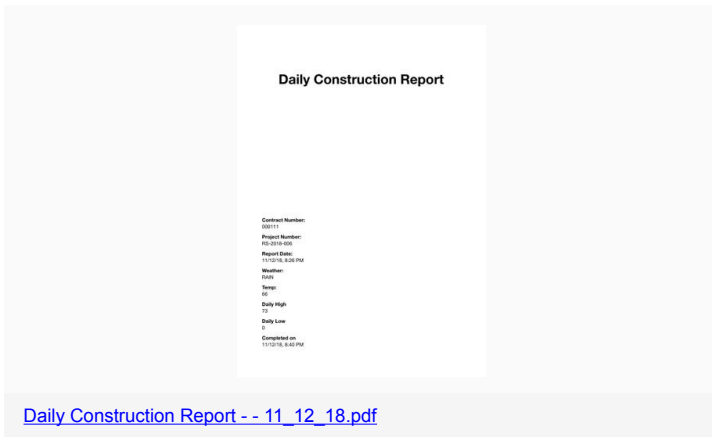
**MANPOWER LOG**

15 Workers | 126.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
2	A&B Electric Co., Inc.		6	6.0	36.0	Site
<p><b>Notes:</b> Fab top out nipples for main Electric room. Total of 38 Man Hours</p>						
3	Bayside Structures, LLC		0	0.0	0.0	Site
<p><b>Notes:</b> Rain out</p>						
4	Tindall Corporation		0	0.0	0.0	Site
<p><b>Notes:</b> Rain out</p>						
5	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<p><b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.</p>						
			<b>15</b>		<b>126.0</b>	

**Manpower Log's Attachments:**

2. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_12\\_18.pdf](#)

3. Bayside Structures, LLC



[Bayside Daily Report 111218.pdf](#)

4. Tindall Corporation

[Tindall Escambia Daily 11-12-18.xlsx](#)

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By

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Date

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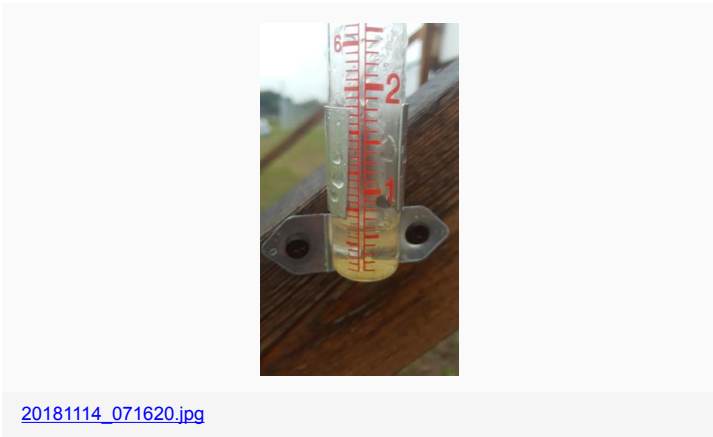
## Daily Log: Tuesday 11/13/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 26, 2018 at 11:52 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
Yes	Rain	Cold	55	.6 in.			

#### Observed Weather Conditions' Attachments:



### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
47°F	67°F	55°F	0.25 in.	1.13 in.	1.13 in.	92%	95%	97%	53°F	8.4 mph	11 mph	19 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
rain 57°F	cloudy 55°F	cloudy 54°F	cloudy 54°F	cloudy 51°F	cloudy 48°F

### MANPOWER LOG



**61 Workers | 380.0 Man Hours**

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		12	10.0	120.0	Site>D

**Notes:** Install GRC top out nipples at main Electric room switchboards and ATS1&2

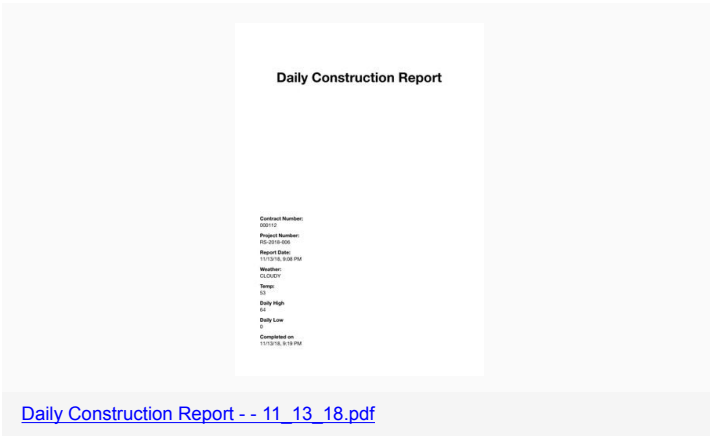
**MANPOWER LOG**

61 Workers | 380.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
2	Bayside Structures, LLC		28	3.5	98.0	Site 
<b>Notes:</b> Stripped forms on area 5/SB304 walls in Area D and stripped forms on 4P single elevator walls in Area B.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	EAA Site Contractors LLC		0	0.0	0.0	
<b>Notes:</b> No work conducted today due to rain						
5	Tindall Corporation		12	6.0	72.0	Site 
<b>Notes:</b> **Erecting panels on corridor in B.						
			<b>61</b>		<b>380.0</b>	

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_13\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 111318.pdf](#)

5. Tindall Corporation

 [Tindall Escambia Daily 11-13-18.xlsx](#)

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Bobcat Skidsteer				No	07:00 AM	Site
	<b>Notes:</b>						
2	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
3	Kobelco Crane CKE2500				No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
5	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
6	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						

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By

Date

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## Daily Log: Wednesday 11/14/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 19, 2018 at 10:15 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
Yes	Rain	Cold	45	.2 in.			

#### Observed Weather Conditions' Attachments:



### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
40°F	47°F	45°F	0.09 in.	0.34 in.	1.22 in.	92%	94%	96%	43°F	7.5 mph	9 mph	17 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
cloudy 46°F	cloudy 46°F	cloudy 47°F	cloudy 46°F	cloudy 44°F	cloudy 42°F

### MANPOWER LOG



**39 Workers | 351.0 Man Hours**

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		12	10.0	120.0	Site <span style="float: right;"></span>

**Notes:** Working on rental property, Cut & Thread nipples for main Electrical room and install, finish template for pole bases in Juvenile parking.

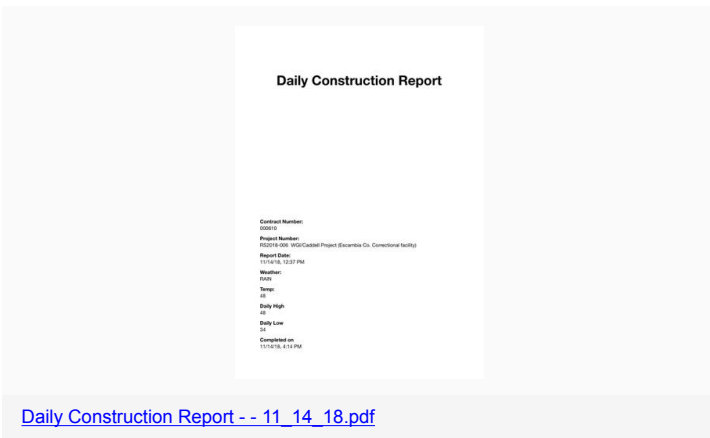
**MANPOWER LOG**

**39 Workers | 351.0 Man Hours**

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
2	Bayside Structures, LLC		6	3.5	21.0	Site 
<b>Notes:</b> Stripped more of Area 5/Sb304 walls. Rained out.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	EAA Site Contractors LLC		0	0.0	0.0	
<b>Notes:</b> No work conducted today due to rain						
5	Tindall Corporation		12	10.0	120.0	Site 
<b>Notes:</b> **Erecting panels on corridor in B. **Spent most of afternoon walking crane to north to begin 3rd lift of panels to attain elev, 115'						
			<b>39</b>		<b>351.0</b>	

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_14\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 111418.pdf](#)

5. Tindall Corporation

 [Tindall Escambia Daily 11-14-18.xlsx](#)

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500				No	07:00 AM	Site
	<b>Notes:</b>						
2	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
5	Cat Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
6	Kubota Miniexcavtor KX91-3				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

Copies To \_\_\_\_\_



## Daily Log: Thursday 11/15/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 19, 2018 at 10:15 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Cold	42	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
35°F	49°F	40°F	0.00 in.	0.09 in.	0.34 in.	54%	80%	95%	34°F	7.8 mph	13 mph	20 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
cloudy 35°F	cloudy 37°F	clear-day 44°F	clear-day 49°F	clear-night 43°F	clear-night 37°F

### MANPOWER LOG

53 Workers | 504.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		11	10.0	110.0	Site
<b>Notes:</b> Install duct bank in section "B", extend conduit rack in main Electrical room, Trouble shoot and work on rental property.						
2	Bayside Structures, LLC		6	10.0	60.0	Site
<b>Notes:</b> Formed and installed rebar on remainder of Grid line 50. Dug one deadmen for precast because it was the only one that was at the correct elevation and ready.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	EAA Site Contractors LLC		13	8.0	104.0	Site
<b>Notes:</b> No work was conducted Monday thru Wednesday due to rain. 91 Total man hours for today. Continued forming and wrecking forms for curb. Started grading for sub grade in JJC parking lot. Plan to pour additional concrete Monday. Backfilling today was concentrated on dead man locations in section D and outside of section C as well as ramp. Eleven loads of dirt was delivered last Friday. 32 loads delivered today.						
5	Tindall Corporation		14	10.0	140.0	Site
<b>Notes:</b> **Erecting panels and slabs from 3-14 line in corridor **Welding and grouting. (Grouting did not start until about 10 am due to low temps)						

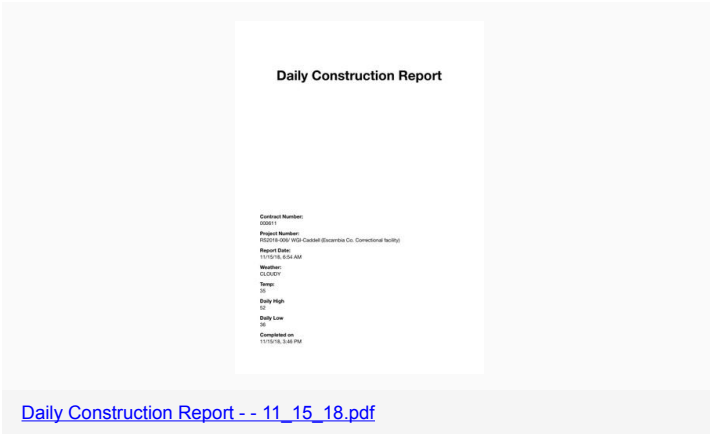
# MANPOWER LOG

53 Workers | 504.0 Man Hours

No. Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
**Patching misc. 147 Total Man Hours					
		53		504.0	

## Manpower Log's Attachments:

1. A&B Electric Co., Inc.



2. Bayside Structures, LLC



5. Tindall Corporation

[Tindall Escambia Daily 11-15-18.xlsx](#)

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500				No	07:00 AM	Site
	<b>Notes:</b>						
2	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
4	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
5	Bobcat Skidsteer				No	07:00 AM	Site
	<b>Notes:</b>						
6	Bobcat Miniexcavator				No	07:00 AM	Site>D
	<b>Notes:</b>						
7	CAT Miniexcavator				No	07:00 AM	Site>B
	<b>Notes:</b>						
8	IR VR-2 Drum Roller				No	07:00 AM	Site>B
	<b>Notes:</b>						
9	Cat Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
10	John Deere 750 Dozer				No	07:00 AM	Site
	<b>Notes:</b>						
11	Hamm Vibratory Roller				No	07:00 AM	Site
	<b>Notes:</b>						
12	Komatsu 320 PT Loader				No	07:00 AM	Site
	<b>Notes:</b>						
13	JLG Lift 660SJ				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	Komatsu 78MR Excavator				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

## PHOTOS



[20181115\\_074241.jpg](#)

First Flat Slab (First Level, Corridor Between Area A and C)



[20181115\\_074348.jpg](#)

First Flat Slab (First Level, Corridor Between Area A and C)



[20181115\\_074441.jpg](#)

First Flat Slab (First Level, Corridor Between Area A and C)



[IMG\\_04681.jpg](#)

First panel of 2nd level in corridor between Area A and C

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By

Date

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## Daily Log: Friday 11/16/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 19, 2018 at 10:15 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Cold	45	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
33°F	61°F	46°F	0.00 in.	0.00 in.	0.10 in.	42%	71%	97%	36°F	3.4 mph	5 mph	9 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 33°F	clear-day 47°F	clear-day 56°F	clear-day 61°F	clear-night 53°F	clear-night 48°F

### MANPOWER LOG

50 Workers | 480.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		11	10.0	110.0	Site
<b>Notes:</b> Finish up conduit rack and nipples in main Electrical room, Install grounding before south grade beam is poured, Build and fab Sono tube and anchor bolt templates for light pole bases						
2	Bayside Structures, LLC		6	10.0	60.0	Site
<b>Notes:</b> Poured remainder of GB4 on Grid line 50. Poured (Qty:3) Deadmen. Installed dowels on Grid line 14.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	EAA Site Contractors LLC		10	8.0	80.0	Site
<b>Notes:</b> Total man hours 82. Continued grading and forming curb in JJC parking lot. Pouring additional curb Monday starting at 9. East side of JJC parking lot passed density. Continued backfilling in section D for dead man's and in large area of section D. 20 loads of dirt delivered today.						
5	Tindall Corporation		14	10.0	140.0	Site
<b>Notes:</b> **Erecting panels from 3-14 line in corridor **Welding and grouting. (Grouting did not start until 8:30am due to low temps) **Patching misc. 142 Total Man Hours						



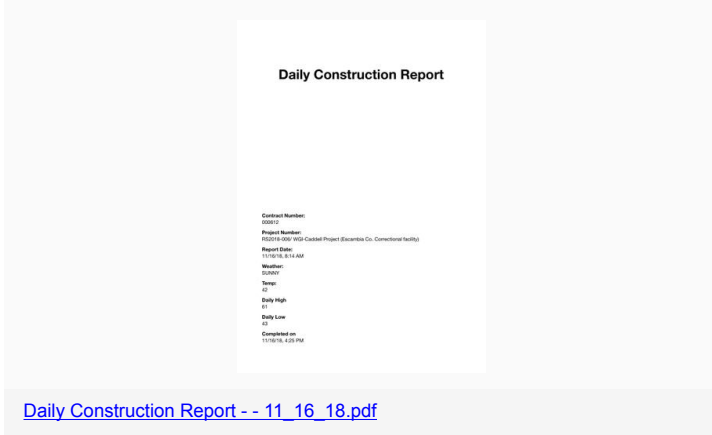
# MANPOWER LOG

50 Workers | 480.0 Man Hours

No. Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
		50		480.0	

## Manpower Log's Attachments:

1. A&B Electric Co., Inc.



[Daily Construction Report - - 11\\_16\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 111618.pdf](#)

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500				No	07:00 AM	Site
	<b>Notes:</b>						
2	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
5	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
6	Bobcat Skidsteer				No	07:00 AM	Site
	<b>Notes:</b>						
7	Bobcat Miniexcavator				No	07:00 AM	Site>D
	<b>Notes:</b>						
8	John Deere 750 Dozer				No	07:00 AM	Site
	<b>Notes:</b>						
9	John Deere 50G Miniexcavator				No	07:00 AM	Site
	<b>Notes:</b>						
10	Hamm Vibratory Roller				No	07:00 AM	Site
	<b>Notes:</b>						
11	John Deere 550H Dozer				No	07:00 AM	Site
	<b>Notes:</b>						
12	Kawasaki 652 V Loader				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
13	Lee Grader				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	Compact Line Vibrator Roller				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

## INSPECTION LOG

No.	Start Time	End Time	Inspection Type	Inspecting Entity	Inspector Name	Location	Area
1	09:00 AM	09:30 AM	Third Party	Mott MacDonald	Mike Tugwell	Site>D	
	<b>Comments:</b> Inspected remainder of GB4 on Grid line 50. Inspected dowels on Grid line 14.						

By \_\_\_\_\_

Date \_\_\_\_\_

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## Daily Log: Saturday 11/17/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 19, 2018 at 09:54 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Mild	50	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
36°F	66°F	50°F	0.00 in.	0.00 in.	0.00 in.	41%	78%	100%	43°F	1.8 mph	4 mph	4 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 37°F	clear-day 55°F	clear-day 66°F	clear-day 66°F	partly-cloudy-night 54°F	clear-night 48°F

### MANPOWER LOG

25 Workers | 222.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		11	10.0	110.0	Site
<b>Notes:</b> Drill for light pole bases in Juvenile parking and install light pole template & anchors, Trench and install conduit. Complete conduit rack for Fire pump and life safety panel.						
2	Caddell Construction Co. (DE), LLC		1	8.0	8.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
3	Tindall Corporation		13	8.0	104.0	Site
<b>Notes:</b> **Erecting along corridor walls near 14-17 lines and slabs 17-50 lines **Welding and grouting. Air temp at shift start 43 and rising **Patching misc.						
			<b>25</b>	<b>222.0</b>		

#### Manpower Log's Attachments:

1. A&B Electric Co., Inc.



[Daily Construction Report - - 11\\_17\\_18.pdf](#)

3. Tindall Corporation

[Tindall Escambia Daily 11-17-18.xlsx](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Drill Truck				No	07:00 AM	Site>Juvenile Justice Parking Lot
<b>Notes:</b>							
2	CAT Miniexcavator				No	07:00 AM	Site>Juvenile Justice Parking Lot
<b>Notes:</b>							
3	Cat Telehandler				No	07:00 AM	Site
<b>Notes:</b>							

By \_\_\_\_\_

Date \_\_\_\_\_

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Whitesell Green / Caddell, a Joint Venture  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

Project: 1054 - Escambia County Correctional Facility  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Sunday 11/18/2018

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Mild	54	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
44°F	69°F	54°F	0.00 in.	0.00 in.	0.00 in.	44%	78%	97%	46°F	1.3 mph	3 mph	4 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 44°F	clear-day 57°F	clear-day 68°F	clear-day 68°F	clear-night 55°F	clear-night 50°F

### MANPOWER LOG

12 Workers | 120.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		11	10.0	110.0	Site>Juvenile Justice Parking Lot
<b>Notes:</b> Drill for light pole bases and install light pole template and anchors, Trench for conduit and install to light pole bases						
2	Caddell Construction Co. (DE), LLC		1	10.0	10.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
			<b>12</b>	<b>120.0</b>		

### Manpower Log's Attachments:

1. A&B Electric Co., Inc.

**Daily Construction Report**

Contract Number:  
000011  
Project Number:  
00000000 - WGI Caddell Project (Escambia Co. Correctional Facility)  
Report Date:  
11/18/18, 1:51 AM  
Weather:  
05997  
Temp:  
48  
Wind High:  
75  
Wind Low:  
48  
Committed on:  
11/18/18, 2:53 PM

[Daily Construction Report -- 11\\_18\\_18.pdf](#)

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Cat Telehandler				No	07:00 AM	Site
<b>Notes:</b>							
2	Drill Truck				No	07:00 AM	Site>Juvenile Justice Parking Lot
<b>Notes:</b>							
3	CAT Miniexcavator				No	07:00 AM	Site>Juvenile Justice Parking Lot
<b>Notes:</b>							

By \_\_\_\_\_

Date \_\_\_\_\_

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## Daily Log: Monday 11/19/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 26, 2018 at 08:00 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Mild	57	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
45°F	68°F	57°F	0.00 in.	0.00 in.	0.00 in.	53%	78%	96%	49°F	1.4 mph	3 mph	3 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 46°F	partly-cloudy-day 62°F	partly-cloudy-day 67°F	partly-cloudy-day 69°F	partly-cloudy-night 59°F	partly-cloudy-night 55°F

### MANPOWER LOG

55 Workers | 491.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		10	10.0	100.0	Site>Juvenile Justice Parking Lot
<b>Notes:</b> Pour concrete bases in Juvenile parking lot for new light pole bases, Drive ground rod at each pole base and ground, start stripping forms and dress up. start blowing strings in conduit to pull wire.						
2	Bayside Structures, LLC		6	4.5	27.0	Site
<b>Notes:</b> Stripped the pour from Friday on Grid line 50. Chipped more of high spots on grade beams to stay in front of the precaster. Moved formwork from active jobsite to get it organized so we can ship it out. Cleaned up around job site.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	EAA Site Contractors LLC		13	8.0	104.0	Site
<b>Notes:</b> Total man hours 118. Poured additional curb today. The electricians were installing and pouring the concrete for light pole bases. The parking lot was too congested for grading. Section D passed density for lift. Completed the ramp for crane. Donald from Whitesell Green asked Randy to fill in portion of footers in section C for the crane path.						

**MANPOWER LOG**

55 Workers | 491.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
5	Tindall Corporation		17	10.0	170.0	Site
			<b>55</b>		<b>491.0</b>	



**Notes:** \*\*Erecting along corridor walls near 17-50 lines  
 \*\*Welding and grouting. Air temp at shift start 45 and rising  
 \*\*Patching misc.

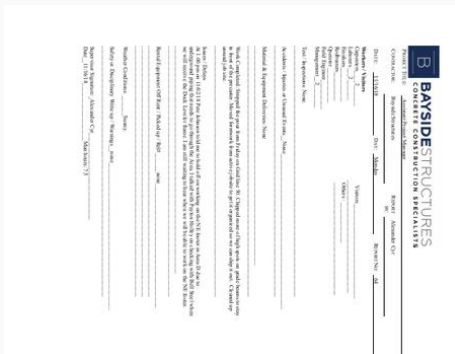
**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_19\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 111918.pdf](#)

5. Tindall Corporation

[Tindall Escambia Daily 11-19-18.xlsx](#)

**NOTES LOG**

No.	Issue?	Location	Comments
1	No	Site>D	All Stop began damp proofing elevator pit in Area D. They worked 9 AM until 3:30 PM.



## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500				No	07:00 AM	Site
	<b>Notes:</b>						
2	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
5	John Deere 550H Dozer				No	07:00 AM	Site
	<b>Notes:</b>						
6	Hamm Vibratory Roller				No	07:00 AM	Site
	<b>Notes:</b>						
7	Komatsu 320 PT Loader				No	07:00 AM	Site
	<b>Notes:</b>						
8	Kawasaki 652 V Loader				No	07:00 AM	Site
	<b>Notes:</b>						
9	Bobcat Miniexcavator				No	07:00 AM	Site
	<b>Notes:</b>						
10	Bobcat Skidsteer				No	07:00 AM	Site
	<b>Notes:</b>						
11	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
12	Cat Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
13	John Deere 700 Dozer				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	Gomaco Curb Machine GT 6200				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

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## Daily Log: Tuesday 11/20/2018

**Daily Log Completed**  
 The Daily Log was completed by Donald Shelton on Mon Nov 26, 2018 at 08:09 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Mild	57	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
45°F	65°F	56°F	0.00 in.	0.00 in.	0.00 in.	67%	84%	96%	51°F	5.4 mph	13 mph	19 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
cloudy 56°F	cloudy 60°F	partly-cloudy-day 65°F	partly-cloudy-day 63°F	partly-cloudy-night 52°F	clear-night 47°F

### MANPOWER LOG

56 Workers | 533.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		10	10.0	100.0	Site>Juvenile Justice Parking Lot
<b>Notes:</b> Wreck & remove forms from light pole bases, dress up around light pole bases, pull wire to light pole bases.						
2	Bayside Structures, LLC		6	8.0	48.0	Site
<b>Notes:</b> Continued chipping in any needed high areas to stay out of the way of the precasters. Continued cleaning up material and forms left on active job site. Graded part of the sally port (Steel delivering tomorrow).						
3	Caddell Construction Co. (DE), LLC		9	10.5	94.5	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	EAA Site Contractors LLC		14	8.0	112.0	Site
<b>Notes:</b> Total man hours 112. This morning while forming curb in JJC parking lot a issue was brought up about the curb elevation and the need for a valley curb at the St Mary entrance. Included in discussion was Roland, Tim Smith, Boone, Robert Harrington and myself. At conclusion of the discussion a slight change in curb elevation was approved and the need for a valley curb was agreed upon by Roland, Tim and Boone. Jo from EAA will follow up with paperwork. Additional curb was formed and poured. Started regrading east side of parking lot. A meeting was also held at 1000 concerning compaction test results. At the meeting was Sarah (LMJ GEO tech), Tim Smith, Boone and David Long. New protors were taken (It did not change results). backfilling continued in bldg pad.						

# MANPOWER LOG

56 Workers | 533.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
5	Tindall Corporation		17	10.5	178.5	Site
			<b>56</b>		<b>533.0</b>	



**Notes:** \*\*Erecting along corridor walls and flat slabs from lines 17-50 lines  
 \*\*Welding and grouting. Air temp at shift start 49 and rising  
 \*\*Patching misc.

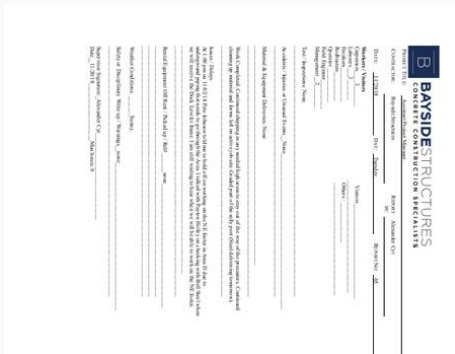
## Manpower Log's Attachments:

1. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_20\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 112018.pdf](#)

5. Tindall Corporation

[Tindall Escambia Daily 11-20-18.xlsx](#)

## NOTES LOG

No.	Issue?	Location	Comments
1	No	Site>D	All Stop completed damp proofing elevator pit in Area D. They worked 7:30 AM until 3 PM.

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
2	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
5	Kawasaki 652 V Loader		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
6	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
7	Bobcat Skidsteer		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
8	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
9	John Deere 550H Dozer		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
10	Hamm Vibratory Roller		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
11	Bobcat Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
12	Lee Grader				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
13	John Deere 700 Dozer				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	Compact Line Vibrator Roller				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
15	Komatsu 78MR Excavator				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
16	Terex Articulated Dump Truck				No	07:00 AM	Site
	<b>Notes:</b>						
17	Komatsu 320 PT Loader				No	07:00 AM	Site
	<b>Notes:</b>						
18	John Deere 50G Miniexcavator				No	07:00 AM	Site>D
	<b>Notes:</b>						

PHOTOS



[DJI\\_0025 \(fcp1\).jpg](#)



[DJI\\_0030.jpg](#)



[DJI\\_0014.jpg](#)



[DJI\\_0015.jpg](#)



[DJI\\_0023 \(fcp1\).jpg](#)



[DJI\\_0013.jpg](#)



[DJI\\_0019.jpg](#)



[DJI\\_0022 \(fcp1\).jpg](#)



[DJI\\_0010.jpg](#)



[DJI\\_0018.jpg](#)



[DJI\\_0020.jpg](#)



[DJI\\_0012.jpg](#)



[DJI\\_0007.jpg](#)



[DJI\\_0009.jpg](#)



[DJI\\_0024 \(fcp1\).jpg](#)



[DJI\\_0029 \(fcp1\).jpg](#)



[DJI\\_0008.jpg](#)



[DJI\\_0011.jpg](#)



[DJI\\_0026 \(fcp1\).jpg](#)



[DJI\\_0027 \(fcp1\).jpg](#)



[DJI\\_0017.jpg](#)



[DJI\\_0028 \(fcp1\).jpg](#)



[DJI\\_0016.jpg](#)



[DJI\\_0021 \(fcp1\).jpg](#)



[DJI\\_0051.jpg](#)

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By

Date

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## Daily Log: Wednesday 11/21/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 05:08 pm CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Cold	49	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
40°F	60°F	49°F	0.00 in.	0.00 in.	0.00 in.	43%	69%	89%	39°F	6.8 mph	8 mph	17 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 40°F	clear-day 48°F	partly-cloudy-day 58°F	partly-cloudy-day 60°F	partly-cloudy-night 53°F	clear-night 48°F

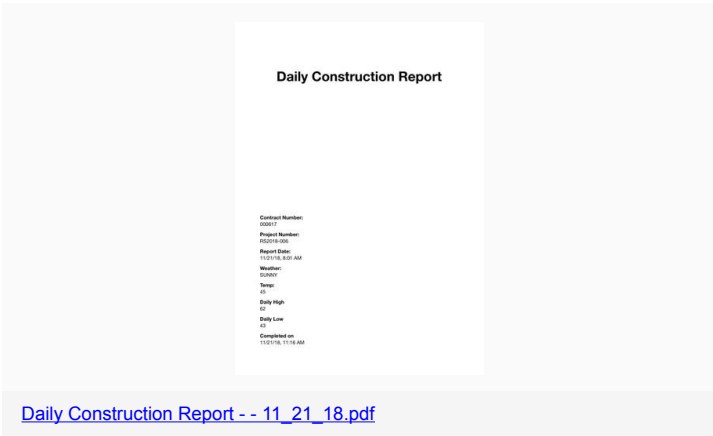
### MANPOWER LOG

47 Workers | 392.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		8	10.0	80.0	Site
<b>Notes:</b> Inspect and refurbish old existing poles, Relocate poles closer to Juvenile parking lot.						
2	Bayside Structures, LLC		6	5.0	30.0	Site
<b>Notes:</b> Continued to sort through formwork and throw away what we could. Unloaded sally port steel delivery (Partial).						
3	EAA Site Contractors LLC		8	8.0	64.0	Site
<b>Notes:</b> Total man hours 64. Continued prepping subgrade at JJC parking lot and installed aggregate base. Backfilling structural fill in area D to provide stable sugbrade for Emmon's crane.						
4	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
5	Tindall Corporation		16	8.0	128.0	Site
<b>Notes:</b> **Erected slab in corridor **Moved crane from area B around footprint to area C. **Laying out for columns and shooting in shins.						
			<b>47</b>	<b>392.0</b>		

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.



[Daily Construction Report - - 11\\_21\\_18.pdf](#)

2. Bayside Structures, LLC



[Bayside Daily Report 112118.pdf](#)

5. Tindall Corporation

[Tindall Escambia Daily 11-21-18.xlsx](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
2	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
5	Hamm Vibratory Roller		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
6	John Deere 550H Dozer		0.0	0.0	No	07:00 AM	Site>C
	<b>Notes:</b>						

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
7	John Deere 50G Miniexcavator		0.0	0.0	No	07:00 AM	Site>D
<b>Notes:</b>							
8	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>D
<b>Notes:</b>							
9	JLG Lift 660SJ		0.0	0.0	No	07:00 AM	Site>D
<b>Notes:</b>							
10	Bobcat Telehandler		0.0	0.0	No	07:00 AM	Site
<b>Notes:</b>							
11	Komatsu 320 PT Loader		0.0	0.0	No	07:00 AM	Site
<b>Notes:</b>							
12	Terex Articulated Dump Truck		0.0	0.0	No	07:00 AM	Site
<b>Notes:</b>							
13	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site
<b>Notes:</b>							

---

By

Date

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Whitesell Green / Caddell, a Joint Venture  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

Project: 1054 - Escambia County Correctional  
**Facility**  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Thursday 11/22/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 09:54 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No							

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
43°F	61°F	48°F	0.00 in.	0.00 in.	0.00 in.	50%	72%	92%	40°F	3.6 mph	6 mph	6 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 43°F	clear-day 47°F	clear-day 54°F	clear-day 61°F	clear-night 50°F	clear-night 44°F

### MANPOWER LOG

0 Workers | 0.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	Caddell Construction Co. (DE), LLC		0	8.0	0.0	
<b>Notes:</b> No work performed on this day due to Thanksgiving Holiday.						
			<b>0</b>			
					<b>0.0</b>	

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Whitesell Green / Caddell, a Joint Venture  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

Project: 1054 - Escambia County Correctional  
**Facility**  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Friday 11/23/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 09:53 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No							

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
44°F	60°F	53°F	0.01 in.	0.01 in.	0.01 in.	79%	85%	95%	49°F	5.6 mph	8 mph	12 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
partly-cloudy-night 47°F	partly-cloudy-day 53°F	partly-cloudy-day 57°F	partly-cloudy-day 58°F	partly-cloudy-night 56°F	cloudy 57°F

### MANPOWER LOG

0 Workers | 0.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	Caddell Construction Co. (DE), LLC		0	8.0	0.0	
<b>Notes:</b> No work performed on this day due to Thanksgiving Holiday.						
			<b>0</b>		<b>0.0</b>	

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**Whitesell Green / Caddell, a Joint Venture**  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

**Project: 1054 - Escambia County Correctional Facility**  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Saturday 11/24/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 09:53 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No							

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
55°F	71°F	62°F	0.34 in.	0.35 in.	0.35 in.	63%	85%	99%	57°F	4.6 mph	10 mph	21 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
<b>rain</b> 58°F	<b>cloudy</b> 60°F	<b>clear-day</b> 69°F	<b>clear-day</b> 71°F	<b>clear-night</b> 60°F	<b>clear-night</b> 57°F

### MANPOWER LOG

0 Workers | 0.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	Caddell Construction Co. (DE), LLC		0	8.0	0.0	
<b>Notes:</b> No work performed on this day due to Thanksgiving Holiday Weekend.						
			<b>0</b>		<b>0.0</b>	

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**Whitesell Green / Caddell, a Joint Venture**  
 2700 Lagoon Park Drive  
 Montgomery, Alabama 36109  
 P: (334) 272-7723  
 F: (334) 394-0193

**Project: 1054 - Escambia County Correctional Facility**  
 3080 N. Pace Boulevard  
 Pensacola, Florida 32501

## Daily Log: Sunday 11/25/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 10:12 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No							

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
51°F	70°F	61°F	0.38 in.	0.73 in.	0.73 in.	73%	90%	98%	59°F	5.2 mph	10 mph	14 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 52°F	clear-day 60°F	clear-day 71°F	cloudy 66°F	rain 68°F	cloudy 68°F

### MANPOWER LOG

0 Workers | 0.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	Caddell Construction Co. (DE), LLC		0	8.0	0.0	
<b>Notes:</b> No work performed on this day due to Thanksgiving Holiday Weekend.						
			<b>0</b>		<b>0.0</b>	

By \_\_\_\_\_ Date \_\_\_\_\_ Copies To \_\_\_\_\_



## Daily Log: Monday 11/26/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 10:11 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Overcast	Cold	53	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
42°F	70°F	51°F	0.00 in.	0.39 in.	0.73 in.	60%	74%	98%	43°F	8.1 mph	13 mph	20 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 54°F	clear-day 46°F	partly-cloudy-day 48°F	partly-cloudy-day 49°F	clear-night 46°F	clear-night 44°F

### MANPOWER LOG

52 Workers | 496.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	Bayside Structures, LLC		6	8.0	48.0	Site>D
<b>Notes:</b> Installed rebar and formed area of wall on Grid line 50.						
2	Caddell Construction Co. (DE), LLC		9	11.0	99.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
3	Chavers Construction Inc.		3	11.0	33.0	Site>Juvenile Justice Parking Lot
<b>Notes:</b> Excavated subgrade and formed curb inlet throat at JJC Parking Lot.						
4	A&B Electric Co., Inc.		6	10.0	60.0	Site>D
<b>Notes:</b> Rough in 3 ea. Chiller feeders below grade						
5	EAA Site Contractors LLC		12	8.0	96.0	Site
<b>Notes:</b> Total man hours 102. Continued to bring in base material for JJC parking lot. Passed density on sub grade to structure 18. Continued to form sidewalks on west end of parking lot. Plan to pour additional concrete tomorrow after lunch. Pete has refocused the backfilling of section D to concentrate on the east side of the corridor out to the third row of caps to accommodate steel installation in that area.29 loads of dirt delivered						



# MANPOWER LOG

52 Workers | 496.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
6	Tindall Corporation		16	10.0	160.0	Site
			<b>52</b>		<b>496.0</b>	

**Notes:** \*\*Erecting in area C adjacent to the corridor.  
 \*\*Welding and grouting  
 162 Total Man Hours

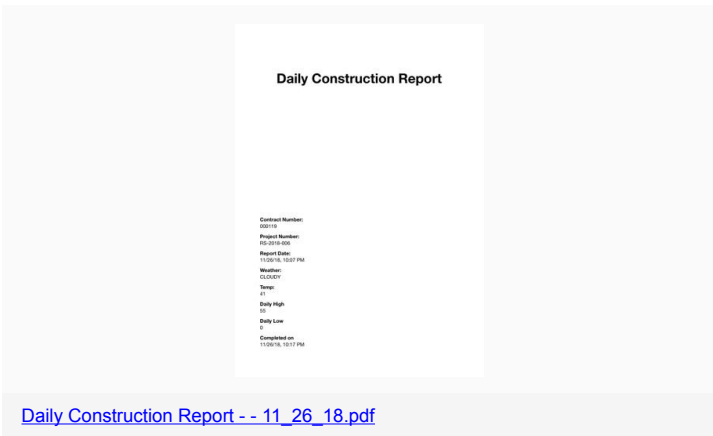
## Manpower Log's Attachments:

1. Bayside Structures, LLC



[Bayside Daily Report 112618.pdf](#)

4. A&B Electric Co., Inc.



[Daily Construction Report -- 11\\_26\\_18.pdf](#)

6. Tindall Corporation

[Tindall Escambia Daily 11-26-18.xlsx](#)

# EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500				No	07:00 AM	Site
<b>Notes:</b>							
2	JLG Skytrak Telehandler				No	07:00 AM	Site
<b>Notes:</b>							

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
3	JLG Lift 660SJ				No	07:00 AM	Site>C
	<b>Notes:</b>						
4	JLG Lift 660SJ				No	07:00 AM	Site>C
	<b>Notes:</b>						
5	JLG Lift 660SJ				No	07:00 AM	Site>A
	<b>Notes:</b>						
6	John Deere 550H Dozer		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
7	John Deere 50G Minixcavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
8	CAT Minixcavator		0.0	0.0	No	07:00 AM	Site>D
	<b>Notes:</b>						
9	JLG Skytrak Telehandler		0.0	0.0	No	07:00 AM	Site
	<b>Notes:</b>						
10	Komatsu 320 PT Loader				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
11	Komatsu 78MR Excavator				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
12	Lee Grader				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
13	Traffic Roller				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	Kubota Minixcavator KX91-3				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
15	JLG Lift 660SJ				No	07:00 AM	Site>B
	<b>Notes:</b>						
16	Cat Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
17	John Deere 700 Dozer				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

PHOTOS



[20181126\\_130230.jpg](#)

First Double T



[20181126\\_130559.jpg](#)

First Double T



[20181126\\_130720.jpg](#)

First Double T



[20181126\\_130805.jpg](#)

First Double T



[20181126\\_131001.jpg](#)

First Double T

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By

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Date

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## Daily Log: Tuesday 11/27/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 11:56 am CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Cold	41	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
33°F	52°F	41°F	0.00 in.	0.00 in.	0.39 in.	37%	65%	84%	29°F	6.6 mph	11 mph	18 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 34°F	clear-day 41°F	clear-day 49°F	clear-day 52°F	clear-night 43°F	clear-night 38°F

### MANPOWER LOG

57 Workers | 531.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		7	10.0	70.0	Site>D
<b>Notes:</b> Install grounding conduits at chiller room backfill and compact main Electric room area						
2	Bayside Structures, LLC		6	8.0	48.0	Site
<b>Notes:</b> Finished forming wall on grid line 50. Put anchor bolts in last remaining pedestal in Area B. Formed one side on 1 line. Began installing rebar in 1 line. Misc. Clean up.						
3	Caddell Construction Co. (DE), LLC		9	8.0	72.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	Chavers Construction Inc.		3	7.0	21.0	Site>Juvenile Justice Parking Lot
<b>Notes:</b> Form curb inlet and place concrete at inlet.						
5	EAA Site Contractors LLC		15	10.0	150.0	Site
<b>Notes:</b> Total man hours 150. Continued to bring in base material for JJC parking lot. Continued to finalize subgrade and compacting base. Formed and Poured additional curb and sidewalks. Continued to backfill in section D. Concentration is on crane path in section D. 32 loads of dirt delivered today.						

**MANPOWER LOG**

57 Workers | 531.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
6	Tindall Corporation		17	10.0	170.0	Site
			<b>57</b>		<b>531.0</b>	



**Notes:** \*\*Erecting in area C in and near corridor.  
 \*\*Welding and grouting  
 \*\*Patching at ground level

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.

**Daily Construction Report**

Contract Number: 00010  
 Project Number: 00-010-000  
 Report Date: 11/27/18 12:14 PM  
 Location: CC001  
 Weather: 0  
 Temp: 0  
 Daily High: 0  
 Daily Low: 0  
 Completed on: 11/27/18 10:33 PM

[Daily Construction Report -- 11\\_27\\_18.pdf](#)

2. Bayside Structures, LLC

**BAYSIDE STRUCTURES**  
 CONSTRUCTION REPORT

Project: 112718  
 Date: 11/27/18  
 Location: 00010

[Bayside Daily Report 112718.pdf](#)

6. Tindall Corporation

[Tindall Escambia daily 11-27-18.xlsx](#)

**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500				No	07:00 AM	Site>C
<b>Notes:</b>							
2	JLG Skytrak Telehandler				No	07:00 AM	Site
<b>Notes:</b>							

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
3	JLG Lift 660SJ				No	07:00 AM	Site>C
	<b>Notes:</b>						
4	JLG Lift 660SJ				No	07:00 AM	Site>C
	<b>Notes:</b>						
5	JLG Lift 660SJ				No	07:00 AM	Site>A
	<b>Notes:</b>						
6	JLG Lift 660SJ				No	07:00 AM	Site>B
	<b>Notes:</b>						
7	CAT 312 Excavator				No	07:00 AM	Site>D
	<b>Notes:</b>						
8	CAT Miniexcavator				No	07:00 AM	Site>D
	<b>Notes:</b>						
9	CAT Dozer D3K2				No	07:00 AM	Site>D
	<b>Notes:</b>						
10	Cat Telehandler				No	07:00 AM	Site>D
	<b>Notes:</b>						
11	BMP 8500 Roller				No	07:00 AM	Site>D
	<b>Notes:</b>						
12	John Deere 550H Dozer				No	07:00 AM	Site>D
	<b>Notes:</b>						
13	Hamm Vibratory Roller				No	07:00 AM	Site>D
	<b>Notes:</b>						
14	Komatsu 320 PT Loader				No	07:00 AM	Site
	<b>Notes:</b>						
15	Kubota Miniexcavator KX91-3				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
16	John Deere 700 Dozer				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
17	Compact Line Vibrator Roller				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
18	Lee Grader				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						

By \_\_\_\_\_

Date \_\_\_\_\_

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## Daily Log: Wednesday 11/28/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 04:53 pm CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No	Clear	Cold	45	0			

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
33°F	54°F	43°F	0.00 in.	0.00 in.	0.00 in.	48%	74%	90%	35°F	1.8 mph	3 mph	6 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
clear-night 34°F	partly-cloudy-day 44°F	partly-cloudy-day 54°F	partly-cloudy-day 55°F	partly-cloudy-night 47°F	partly-cloudy-night 44°F

### MANPOWER LOG

57 Workers | 522.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	A&B Electric Co., Inc.		7	10.0	70.0	Site>Juvenile Justice Parking Lot
<b>Notes:</b> Stage juvenile justice parking poles for erection						
2	Bayside Structures, LLC		6	8.0	48.0	Site
<b>Notes:</b> Poured 50 line wall and remaining pedestal in Area B. Continued rebar in Sally port.						
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.						
4	EAA Site Contractors LLC		8	8.0	64.0	Site
<b>Notes:</b> Total man hours 80. Continued to bring in base material for JJC parking lot. All required compaction / density test for the sub grade in JJC parking lot have passed. Plan to pour last part of curb and sidewalks that connects to St Mary entrance tomorrow. Finished crane path for steel erectors early morning. Steel was then off loaded onto the unfinished area of section D. Unable to continue backfilling in section D. Moved backfilling to section A and B. 85 loads of dirt delivered today						
5	Ed Emmons Steel Erectors, Inc.		10	8.0	80.0	Building>D
<b>Notes:</b> Mobilized crane and offloaded steel deliveries.						
6	Tindall Corporation		17	10.0	170.0	Building>C
<b>Notes:</b> Erecting Precast in Area C and grouting						

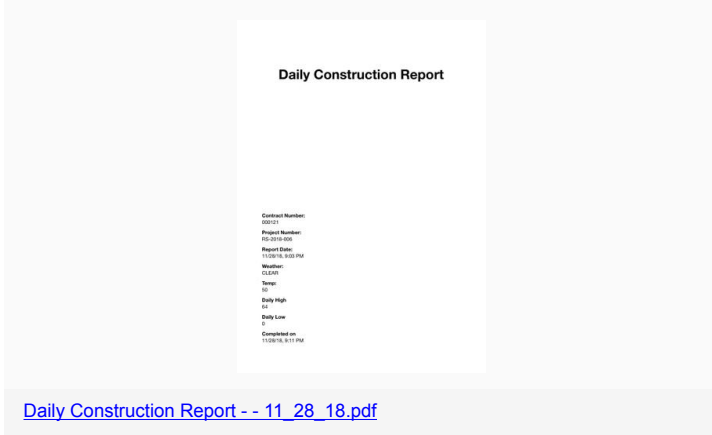
**MANPOWER LOG**

57 Workers | 522.0 Man Hours

No. Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
		57		522.0	

**Manpower Log's Attachments:**

1. A&B Electric Co., Inc.



2. Bayside Structures, LLC



**EQUIPMENT LOG**

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500				No	07:00 AM	Site>C
	<b>Notes:</b>						
2	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
5	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						



## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
6	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
7	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
8	John Deere 750 Dozer				No	07:00 AM	Site
	<b>Notes:</b>						
9	Komatsu 320 PT Loader				No	07:00 AM	Site
	<b>Notes:</b>						
10	Lee Grader				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
11	John Deere 700 Dozer				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
12	Vibratory Roller				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
13	Traffic Roller				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	Grove Crane AT700D				No	07:00 AM	Site>D
	<b>Notes:</b>						

## DELIVERY LOG

No.	Time	Delivery From	Tracking Number	Contents
1	07:00 AM	Bell Steel Company		Structural Steel for Area D.
	<b>Comments:</b>			

## PHOTOS



[IMG\\_20181128\\_112300.jpg](#)

By \_\_\_\_\_

Date \_\_\_\_\_

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## Daily Log: Thursday 11/29/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 04:55 pm CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No							

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
40°F	68°F	57°F	0.00 in.	0.00 in.	0.00 in.	62%	78%	99%	50°F	6.7 mph	12 mph	20 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
partly-cloudy-night 46°F	cloudy 60°F	partly-cloudy-day 66°F	cloudy 67°F	cloudy 64°F	cloudy 65°F

### MANPOWER LOG

65 Workers | 586.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
1	EAA Site Contractors LLC		16	8.0	128.0	Site
	<b>Notes:</b> Total man hours 139. All concrete curb and sidewalks in JJC parking lot is complete. Continued to bring in base material. Continuing to grade and compact base. Yesterday Pete informed me that a concrete valley curb would not be installed. Instead a asphalt valley would be installed. Pete is to provide a drawing with elevations for valley. Backfilling continues in section A and B. Limited backfilling in section D. 45 loads of dirt delivered today.					
2	A&B Electric Co., Inc.		7	10.0	70.0	Site>Juvenile Justice Parking Lot
	<b>Notes:</b> Set 19ea, juvenile justice parking lot poles, begin connection, stripping sonotue					
3	Bayside Structures, LLC		6	8.0	48.0	Site
	<b>Notes:</b> Finished rebar in sally port for pour one and began to close it up. Stripped keyway in Area D wall. Began to dig the connector.					
4	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site
	<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.					
5	Ed Emmons Steel Erectors, Inc.		10	8.0	80.0	Site>D
	<b>Notes:</b> Started erecting N E corner in Area D					

# MANPOWER LOG

65 Workers | 586.0 Man Hours

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
6	Tindall Corporation		17	10.0	170.0	Building>C
<b>Notes:</b> Erecting Precast at C Corridor and grouting and welding embeds.						
			<b>65</b>		<b>586.0</b>	

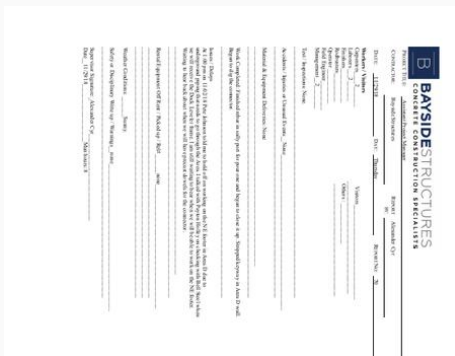
## Manpower Log's Attachments:

2. A&B Electric Co., Inc.



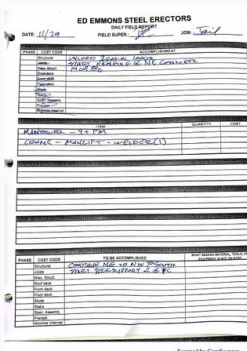
[Daily Construction Report - - 11\\_29\\_18.pdf](#)

3. Bayside Structures, LLC



[Bayside Daily Report 112918.pdf](#)

5. Ed Emmons Steel Erectors, Inc.



[New Doc 2018-11-29 15.01.54\\_1.pdf](#)

## EQUIPMENT LOG

No.	Equipment Name	Cost Code	Hrs Operating	Hrs Idle	Inspected?	Inspection Time	Location
1	Kobelco Crane CKE2500				No	07:00 AM	Site>C
	<b>Notes:</b>						
2	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
3	JLG Skytrak Telehandler				No	07:00 AM	Site
	<b>Notes:</b>						
4	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
5	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
6	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
7	JLG Lift 660SJ				No	07:00 AM	Site
	<b>Notes:</b>						
8	Komatsu 320 PT Loader				No	07:00 AM	Site
	<b>Notes:</b>						
9	John Deere 750 Dozer				No	07:00 AM	Site>D
	<b>Notes:</b>						
10	Hamm Vibratory Roller				No	07:00 AM	Site>D
	<b>Notes:</b>						
11	Lee Grader				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
12	John Deere 700 Dozer				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
13	Vibratory Roller				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
14	Komatsu 78MR Excavator				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
15	Kubota Miniexcavtor KX91-3				No	07:00 AM	Site>Juvenile Justice Parking Lot
	<b>Notes:</b>						
16	Grove Crane AT700D				No	07:00 AM	Site>D
	<b>Notes:</b>						

## DELIVERY LOG

No.	Time	Delivery From	Tracking Number	Contents
1	07:00 AM	Bell Steel Company		Structural Steel for Area D.
	<b>Comments:</b>			

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By

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Date

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## Daily Log: Friday 11/30/2018

**Daily Log Completed**  
 The Daily Log was completed by Payton Holley on Mon Dec 3, 2018 at 04:52 pm CST.

### OBSERVED WEATHER CONDITIONS

Weather Delay	Sky	Temp	Average	Precipitation	Wind	Ground/Sea	Calamity
No							

### WEATHER REPORT

Temperature			Precipitation Since			Humidity				Windspeed		
Low	High	Avg	Midnight	2 Days Ago	3 Days Ago	Low	Avg	High	Dew	Avg	Max	Gust
62°F	75°F	67°F	0.10 in.	0.10 in.	0.10 in.	60%	77%	93%	60°F	8.4 mph	15 mph	26 mph

### DAILY SNAPSHOT

06:00 AM	09:00 AM	12:00 PM	03:00 PM	06:00 PM	09:00 PM
partly-cloudy-night 63°F	partly-cloudy-day 68°F	partly-cloudy-day 75°F	partly-cloudy-day 73°F	partly-cloudy-night 68°F	wind 68°F

### MANPOWER LOG

**58 Workers | 548.0 Man Hours**

No.	Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location	
1	A&B Electric Co., Inc.		7	10.0	70.0	Site	
<b>Notes:</b> Complete juvenile justice parking lot pole connection, remove sonotube, prep concrete bases for grout							
2	Bayside Structures, LLC		6	8.0	48.0	Site	
<b>Notes:</b> Finished closing and banding pour one in the sally port. Continued grading dirt on the plan North side of the connector. Unloaded rebar truck.							
3	Caddell Construction Co. (DE), LLC		9	10.0	90.0	Site	
<b>Notes:</b> WGI/Caddell supervision, quality control and safety onsite.							
4	Tindall Corporation		17	10.0	170.0	Building>C	
<b>Notes:</b> Erecting Precast in C Corridor Elevation 115 to 159. Welding and grouting embeds.							
5	Ed Emmons Steel Erectors, Inc.		10	8.0	80.0	Site>D	
<b>Notes:</b> Erected 2nd floor NE Corner							
6	EAA Site Contractors LLC		9	10.0	90.0	Site	
<b>Notes:</b> Total man hours 90. Last night someone walked and wrote in the concrete that was poured Thursday. The concrete sub repaired the affected areas but the appearance is not perfect. Completed placing base in JJC parking lot except for a small area at entrance of St							

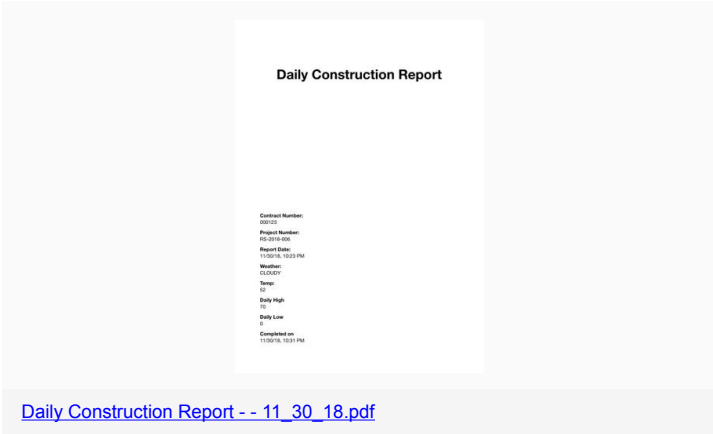
**MANPOWER LOG**

**58 Workers | 548.0 Man Hours**

No. Contact/Company	Cost Code	Workers	# Hours	Man Hours	Location
Mary. Continuing to compact and grade base. Backfilling continues in section A and B. Backfilling loading dock area in section D. Pete informed me Friday evening that he wanted to stop all red dirt delivery. I informed him that we may have a few trucks that won't get the message. I had already told trucks to continue hauling Monday. The bldg pad is not finished. EAA only has a small amount of dirt available for backfilling. A decision will need to be made concerning dirt and backfill priority. A large amount of rain is expected this weekend.					
		<b>58</b>		<b>548.0</b>	

**Manpower Log's Attachments:**

- 1. A&B Electric Co., Inc.



[Daily Construction Report - - 11\\_30\\_18.pdf](#)

- 2. Bayside Structures, LLC



[Bayside Daily Report 113018.pdf](#)





**Committee of the Whole**

**6.**

**Meeting Date:** 12/13/2018

**Issue:** Alcohol Sales Measurement

**From:** Horace Jones, Director

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**Information**

**Recommendation:**

Alcohol Sales Measurement

(Horace Jones and Andrew Holmer - 15 min)

A. Board Discussion

B. Board Direction

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**Attachments**

Alcohol Sales Measurement

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# Alcohol Sales Measurement

## Sec. 4-7.5 Alcoholic beverage sales.

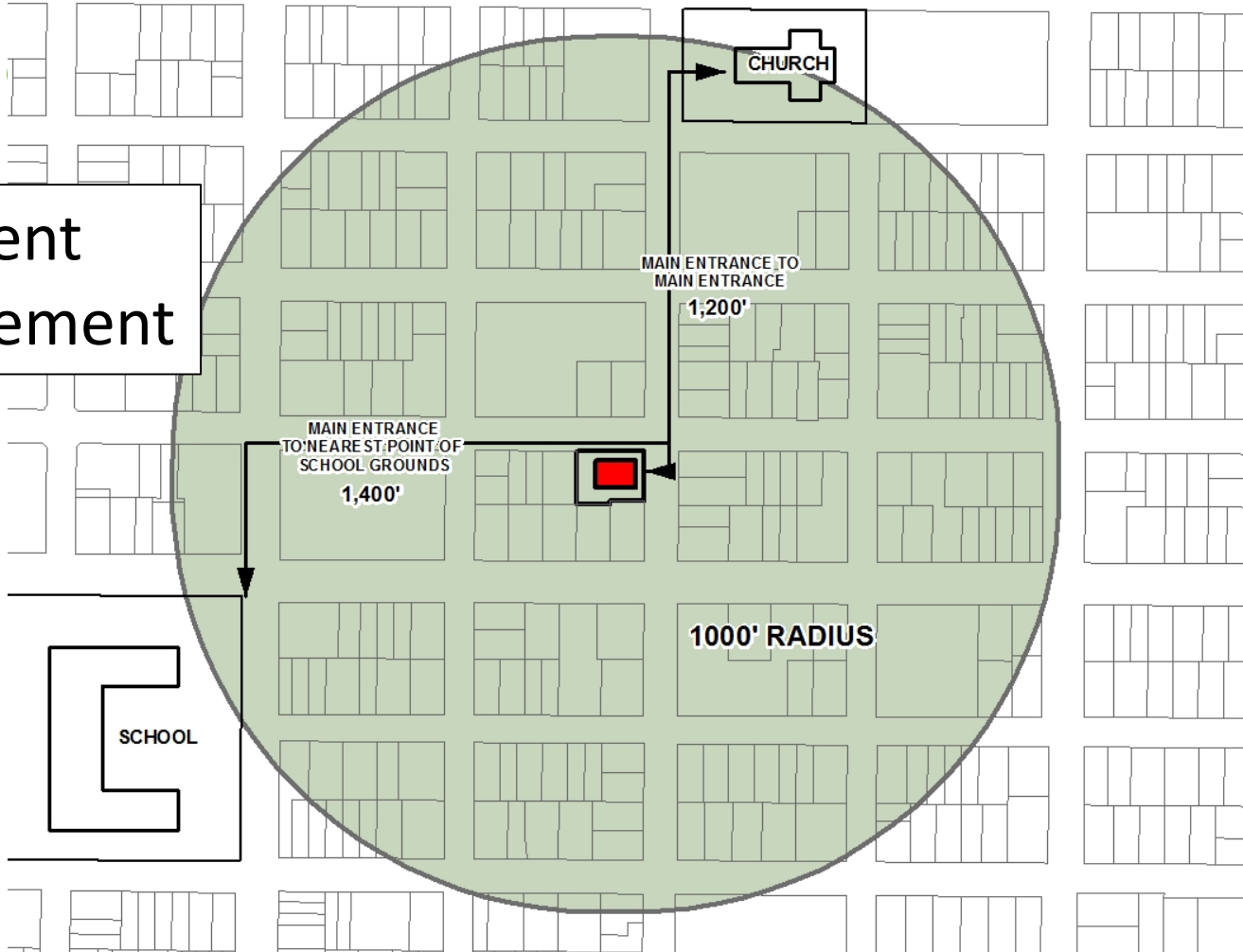
**(b) Measurement.** The distance required between the place of business selling alcoholic beverages and a place of worship, child care facility, or K-12 educational facility shall be measured along the shortest route of ordinary pedestrian travel within public rights-of-way, from the main entrance of the place of business to the main entrance of the place of worship or child care facility; or for an educational facility, to the nearest point of the grounds in use as part of the facility.



<b>Alcohol Sales</b>	Within 1000' of a school	Within 1000' of a day care	Within 1000' of a place of worship
Off-premise wine and/or beer	Allowed	Allowed	Allowed
On-premise consumption	Prohibited	Cond. Use	Cond. Use
Off-premise liquor	Prohibited	Cond. Use	Cond. Use

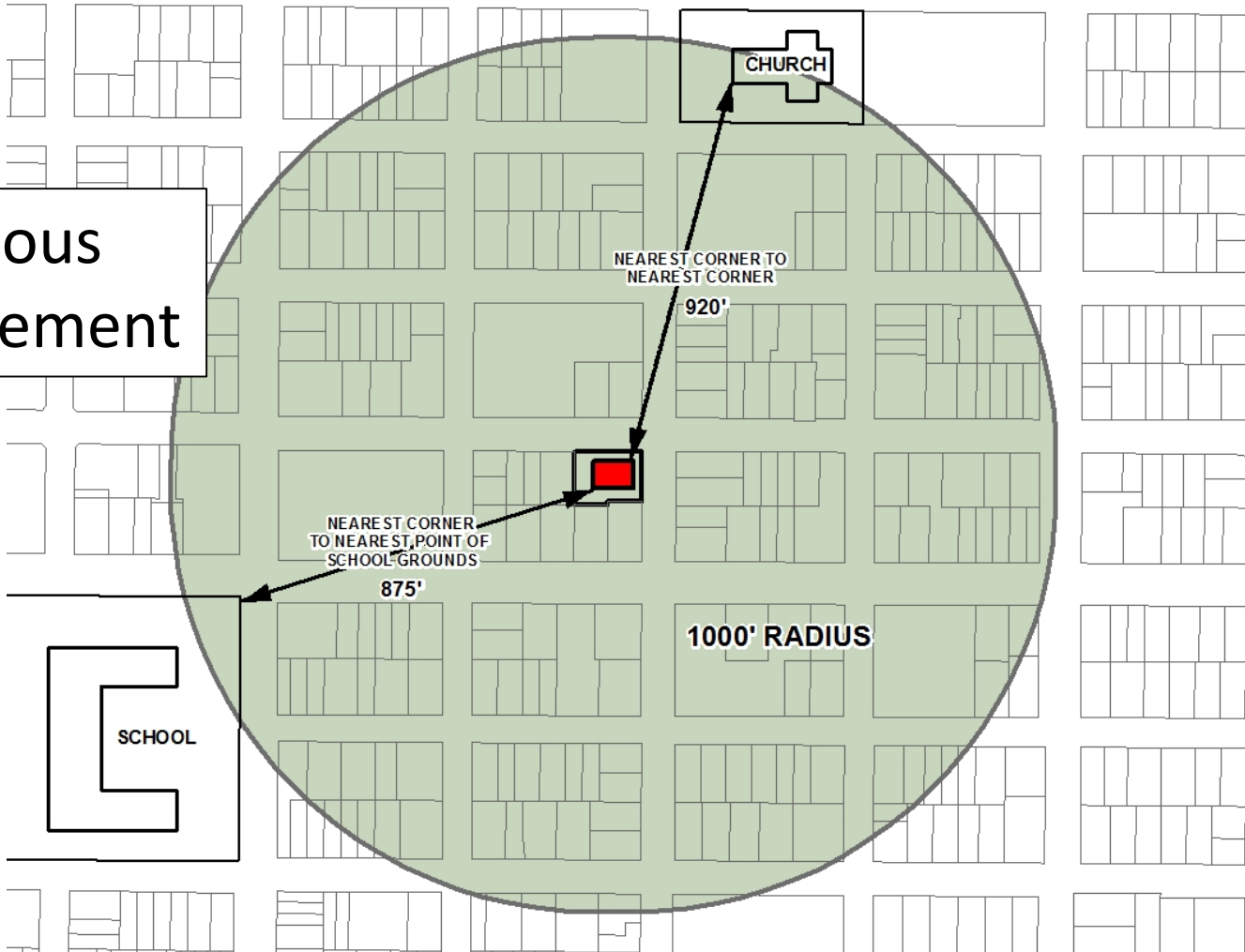


# Current Measurement





# Previous Measurement





## Measurement method prior to Ord. 2011-38

**B. *Measurement.*** The distance as set out above, shall be measured by radial spacing as follows: In the case of a place of worship, by measuring from the nearest corner of the applicant's business to the nearest corner of the place of worship, excluding projections, eaves, or overhangs. In the case of an educational facility, by measuring from the nearest corner of the applicant's business, excluding projections, eaves, or overhangs, to the nearest point of the school grounds in use as part of the school facilities. Measurements concerning child care and day care facilities shall be taken in the same manner as for educational facilities.



## Santa Rosa County

### **Required distance is 2500'**

*Distance measurements.* The distance as set forth in subpart A above shall be measured by following the shortest route of ordinary pedestrian travel along the public thoroughfare from the main entrance of said place of business to the main entrance of the church or, in the case of a school, to the nearest point of the school grounds in use as part of the school facilities.



## City of Pensacola

### **Required distance is 500' or 300' depending on location**

The city engineer shall determine distances by measuring a radius from the property line of the place or establishment. If any portion of a parcel of land in use as church or school facilities lies within said radius, whether or not the property is located within the corporate limits of the city, then the church or school shall be deemed to be within said distance.



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**ECTV**  


*my* escambia.com  


**Committee of the Whole**

7.

**Meeting Date:** 12/13/2018

**Issue:** Protected Tree Ordinance Review

**From:** Tim Day, Environmental Program Manager

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**Information**

**Recommendation:**

Protected Tree Ordinance Review  
(Timothy Day and Jimmie Jarratt -30 min)

- A. Board Discussion
  - B. Board Direction
- 

**Attachments**

Citizen Tree Ordinance Comments

Tree Ordinance Presentation

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Warrington Revitalization Committee (WRC)

J.C. Tellefson, Chair

913 306-1348

tellefson3853@gmail.com

To:

Escambia County Board of County Commissioners (BOCC)

221 Palafox Place

Pensacola Florida, 32502

Date: 3 December 2018

Regarding: Request to the BOCC – Escambia Tree Ordinance(s)

Gentlemen:

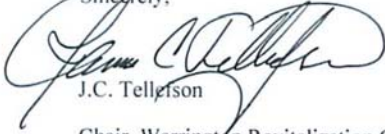
The Warrington Revitalization Committee residents, living in the Warrington CRA, request the BOCC to direct staff to review and revise county tree ordinance(s). We request this process start as soon as possible, preferably at the 13 December 2018 BOCC Committee of the Whole (COW) meeting. We believe that the ordinance can be improved so the remaining areas in Escambia County slated for development or re-development will have better success in protecting and preserving existing trees per goals stated in the Escambia County Land Development Code (LDC)<sup>1</sup>.

We support the goal(s) as stated in the LDC including Chapter 5, Section 5-1.1(5) which states: "... Recognize that a healthy, diverse, and well-managed urban forest is an important public asset, enhancing community character and providing substantial proven economic, environmental, and aesthetic benefits."

We are concerned about the entire County's tree protection and preservation program and request that the tree ordinance and corresponding Design Standards Manual undergo a process of review and improvement to better obtain Escambia County's goals.

The WRC is available as a citizen resource to help in this activity.

Sincerely,



J.C. Tellefson

Chair, Warrington Revitalization Committee

<sup>1</sup>CODE OF ORDINANCES OF ESCAMBIA COUNTY, FLORIDA 1999, as modified, Published in 1999 by Order of the Board of County Commissioners, Part III Escambia County Land Development Code, available at: [https://library.municode.com/fl/escambia\\_county/codes/code\\_of\\_ordinances?nodeId=PTIIIILADECO](https://library.municode.com/fl/escambia_county/codes/code_of_ordinances?nodeId=PTIIIILADECO)

**Jimmie N. Jarratt**

---

**From:** Kenneth Tebay <tebay@bellsouth.net>  
**Sent:** Tuesday, November 20, 2018 8:49 PM  
**To:** District1; District2; District3; District4; District5; Timothy R. Day; Jimmie N. Jarratt  
**Cc:** margaretm080808@gmail.com  
**Subject:** tree ordinance review

Hello

I'm writing in support of a review of the current tree ordinance. I would particularly like consideration to be made to adding the following trees for protection or mitigation:

- **Sand Live Oaks** don't reach the size of live oaks, but do have the same value for wildlife and beauty.
- **Long-leaf Pines** Once the most abundant tree in the southeast, with 90 million acres, stabilize and enrich the soil, and store carbon. If burned regularly, long-leaf pine forests become rich, stable ecosystems that can support a vast diversity of plants and wildlife.

Many thanks for your attention,

Carole Tebay

**From:** [margaretm080808@gmail.com](mailto:margaretm080808@gmail.com)  
**To:** [Jimmie N. Jarratt](mailto:Jimmie.N.Jarratt)  
**Subject:** FW: Tree Ordinance Recommendations  
**Date:** Wednesday, October 31, 2018 3:18:19 PM  
**Attachments:** [181031 Recommendations Tree Ordinance.docx](#)

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**From:** margaretm080808@gmail.com <margaretm080808@gmail.com>  
**Sent:** Wednesday, October 31, 2018 3:05 PM  
**To:** Brent Wipf <BAWipf@myescambia.com>; Jimmie Jarratt <JNJarratt@myescambia.com>; Horace Jones <hljones@myescambia.com>; Brad Bane <BDBane@myescambia.com>  
**Subject:** Tree Ordinance Recommendations

To Whom it may concern Environmental and Development Services;

Attached is a file that shows my recommendations for a “start” to the Tree preservation and protection efforts in Escambia county by changes to the Design Standards Manual.

The goal is to update and improve Escambia County’s tree efforts so that our diverse canopy cover will not be so greatly reduced due to development and to have more success in saving existing medium and old growth trees. Especially to give great protection to Heritage Trees not just cut them down and “mitigate” with a maximum of 10 “stick” trees 2.5” in diameter per acre.

Since the staff report is due before the BOCC next week at the Committee of the Whole meeting, Nov 8<sup>th</sup>; I will try to add more info, if time allows.

Please send me your planned presentation ASAP. I am especially interested in the recent site developments that Brent Wipf compiled so I can drive by some and see the actual development impact ASAP.

Thank you,

Margaret Hostetter  
850-512-7048

**Saved as: 181031 Recommendations Tree Ordinance  
Improvements in Design Standards Manuel  
By Margaret Hostetter 10/31/2018  
[MargaretM080808@gmail.com](mailto:MargaretM080808@gmail.com) 850-512-7048**

1. Escambia County Design Standards Manuel: Article 2 -Landscaping 2-1-Exemptions (b) Selected Trees **REMOVE the exemption from tree protection if they are over 8" in diameter, have them surveyed and calculated in the mitigation calculations and protected in some cases. Especially long leaf pine trees need protection over 8". All these type trees contribute a large % of the canopy and are not being counted in tree surveys. So, it is impossible to determine what % of the canopy is being lost.**
2. 2-1.1 (e) Residential Lots **ADD "tree removal on an existing single-family or two-family dwelling over 12" in diameter (DBH) shall require a tree removal permit and payment of mitigation unless deemed to be unhealthy or a hazard by arborist.**
3. 2-1.1 (f) Subdivisions: **ADD "trees removed shall be mitigated in calculations."**
4. 2-3.1 Tree protection and preservation **ADD "Fines for such unlawful harm or removal shall be \$??? And shall impact the development permitted or being planned"**
5. 2-3.1 (a) 12-inch diameter **Change to 10" diameter**
6. 2-3.1 (d) Heritage trees **Reduce definition from 60" to 34" like in Pensacola**
7. 2-5 Tree removal and replacement **Define "reasonable" as something measurable such as DRC opinion and have the understanding that may mean less than maximum density development will be a result.**
8. 2-5.2 Replacements for removal (a) Replacement ratio **Change "no less than 50%" to 75%**
9. 2-5.2 (c) Replacement limit **Change "need not exceed 25 caliper inches to 50 caliper inches because the canopy loss is huge in the canopy and it is not even being documented in many cases.**
10. 2-5.2 (e) Replacement Fee **Increase the Escambia Tree unit cost from the current \$350 to at least \$400 which is what Pensacola charges.**
11. 2-6.2 Installation (a) 2. Minimum tree area. **Increase minimum radius of the rooting area from 4' to 6' for an understory tree and from 6' to 10' for a canopy tree.**

**From:** [Brent A Wipf](#)  
**To:** [William Norvell](#)  
**Cc:** [NP Cheryl & JC Tellefson](#); [Jimmie N. Jarratt](#)  
**Subject:** RE: Trees  
**Date:** Monday, November 05, 2018 8:28:49 AM

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Mr. Norvell: Thank you for your input. The discussion has been bumped to the December 6th COW. brent

brent wipf, Manager  
Water Quality & Land Management Division  
Natural Resources Management Department  
3363 West Park Place  
Pensacola, FL 32505

-----Original Message-----

From: William Norvell <speaker3@cox.net>  
Sent: Friday, November 02, 2018 8:17 AM  
To: Brent A Wipf <BAWIPF@myescambia.com>  
Cc: NP Cheryl & JC Tellefson <tellefson3853@gmai.com>  
Subject: Trees

Brent my name is William Norvell. We met several times discussing the benefits of a living reef, particularly a Navy Point.

I am not sure how your job fits in with recommendations to the COW, but we have asked them to strengthen the county tree ordinance.

Once one of these historic trees is gone it is gone. Some developers consider them as a hindrance to maximizing their profit. Please help the commission see the benefits of historical trees. That said there are so many different ways to define a historical tree. I would ask that we try to save any tree that is 12 inches in diameter. If that is not possible anything is better than we we have.

Thank you.

Sent from my iPad

**From:** [THOMAS BELL](#)  
**To:** [District1](#); [District2](#); [District3](#); [District4](#); [District5](#); [Jimmie N. Jarratt](#); [HL Jones](#); [Margaret M](#); [lyndol michael](#)  
**Subject:** A New Tree Preservation Ordinance  
**Date:** Wednesday, November 14, 2018 2:02:03 PM

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November 14, 2018

Dear Commissioner:

As a longtime Escambia County resident (75 years now), I would like to express my support for a change in the tree ordinance. It appears that the county and the City of Pensacola have much different rules for tree preservation. Of utmost concern is the Oak tree located on the old Turner-Lee-Day School property.

This tree could have saved my life at age 7. I fell down across some of its roots and John Henry (a large boy) stepped on my leg breaking it. Once x-rays were done, it was evident that there was a bone tumor in my distal femur. For four years, I was on crutches and underwent two surgeries while wearing either a brace or cast on my leg. The tree became "MY PLACE" for recess and refuge. I would like to see the tree designated an historical place with a small monument and garden reflecting the history of three men who built the school. Mr. Turner, Mr. Lee and Mr. Day.

Sincerely,

Thomas J. Bell  
1614 Spalding Circle  
Pensacola, FL 32514

Sent from [Mail](#) for Windows 10



## **Jimmie N. Jarratt**

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**From:** Maureen McBride <mmcbridere@gmail.com>  
**Sent:** Monday, November 19, 2018 3:33 PM  
**To:** District1; District2; District3; District4; District5; Horace L Jones; trday@myescambai.com; Jimmie N. Jarratt  
**Subject:** Escambia County Tree Ordinance

To Whom it May Concern:

I am a concerned citizen and resident of Escambia County. I am asking you to change the current tree ordinance to include aging trees.

Trees provide a great number of community benefits include enhancing property values and aesthetics, inexpensively treating and managing stormwater and air quality, providing wildlife habitat and energy savings.

Escambia county has experienced rapid growth and in order to protect our trees, You, Commissioner, needs to help Escambia County with revising the ordinance to help protect older trees, while still allowing for growth within Escambia County.

In the most popular areas in Escambia County, one of the big attractions are the trees. Take for instance, East Hill. Can you imagine this area with only new trees? Or the tree tunnel on 12th Avenue?

A change to the Ordinance would help protect our aging trees while implementing a management and development of new tree planting, where the county would plant trees on a schedule to help maintain the number of trees in the area.

Trees add so much to a community, like in California at Sequoia National Park, or in Italy a tree in excess of 1230 years old! Or a cypress tree in Central Florida that lived to be 3500 years old!

But beyond these beauties, the beautiful majestic trees that adorn Escambia County are part of what this area so beautiful, offering shelter on a hot day and year round awe factor!

Please protect our aging tree population and protect Escambia County. The ordinance needs to be reviewed and revised to reflect our current growth and development.

Thank you for your time.

I will be at the meeting on Thursday, December 6th, 2018 to support tree ordinance improvements.

Sincerely,

Maureen McBride  
321 Chattman Street  
Pensacola FL 32507  
850-324-4720 Cell

Make it a great day!

## **Jimmie N. Jarratt**

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**From:** Sanderson, Beth <beth.sanderson@floridamoves.com>  
**Sent:** Monday, December 03, 2018 12:11 PM  
**To:** District1; District2; District3; District4; District5; TRDAY@MYESCAMBIA.CO; Jimmie N. Jarratt; Horace L Jones  
**Subject:** Please protect our aging tree population in Escambia County

To Whom it May Concern:

I am a concerned citizen and resident of Escambia County since 1994. I am asking you to change the current tree ordinance to include aging trees.

Trees provide a great number of community benefits include enhancing property values and aesthetics, inexpensively treating and managing storm water and air quality, providing wildlife habitat and energy savings.

Escambia county has experienced rapid growth and in order to protect our trees, You, Commissioner, needs to help Escambia County with revising the ordinance to help protect older trees, while still allowing for growth within Escambia County.

In the most popular areas in Escambia County, one of the big attractions are the trees. Take for instance, East Hill. Can you imagine this area with only new trees? Or the tree tunnel on 12th Avenue?

A change to the Ordinance would help protect our aging trees while implementing a management and development of new tree planting, where the county would plant trees on a schedule to help maintain the number of trees in the area.

Trees add so much to a community, like in California at Sequoia National Park, or in Italy a tree in excess of 1230 years old! Or a cypress tree in Central Florida that lived to be 3500 years old!

The ordinance needs to be reviewed and revised to reflect our current growth and development.

Thank you for your time and efforts on this matter.

I will be at the meeting on Thursday, December 6th, 2018 to support tree ordinance improvements.

Best Regards,

***Beth Sanderson, REALTOR®***  
***SL3332343***  
***Coldwell Banker Residential Real Estate***  
***Cell: 850-384-7780***

***The greatest compliment you can give me is the referral of your family and friends!***

## Jimmie N. Jarratt

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**From:** john smith <smithjd53@gmail.com>  
**Sent:** Monday, December 03, 2018 2:19 PM  
**To:** Jimmie N. Jarratt  
**Subject:** Re: Solution ?  
**Attachments:** West Kingsfield ALERT.docx

Hi Jimmie , I have some suggestions to apply to the existing tree ordinance. Please run these up the chain for review. I will be at the Meeting on Thursday to make recommendations and present the findings of my research concerning the ancient trails. I made a presentation at the Pensacola Archaeology Society with Dr. Bense and Dr. Benchley from UWF in house, much encouragement for the project. Thank you for all your help I look forward to working with you in the future.

The trees Thank You!

On Mon, Dec 3, 2018 at 1:45 PM Jimmie N. Jarratt <[JNJARRAT@myescambia.com](mailto:JNJARRAT@myescambia.com)> wrote:

Mr. Smith,

Attached is a sheet showing several different examples on how to determine DBH of mature trees.

Let me know if I can be of any further assistance,

Jimmie

*Jimmie Jarratt*

*Environmental Analyst/Arborist FL-5447A*

*Water Quality & Land Management Division*

*Department of Natural Resources Management*

*Escambia County, 3363 West Park Place*

*Pensacola FL 32505; Phone 850-595-3535*

**From:** john smith <[smithjd53@gmail.com](mailto:smithjd53@gmail.com)>  
**Sent:** Monday, December 03, 2018 1:30 PM  
**To:** Liz Bush <[mebush@myescambia.com](mailto:mebush@myescambia.com)>  
**Cc:** Jimmie N. Jarratt <[JNJARRAT@myescambia.com](mailto:JNJARRAT@myescambia.com)>  
**Subject:** Re: Solution ?

Thank you for your response.

On Mon, Dec 3, 2018 at 10:40 AM Liz Bush <[mebush@myescambia.com](mailto:mebush@myescambia.com)> wrote:

Mr. Smith,

You did not offend me or the County and I have not been blowing you off but there is a plan in place for the extension of Kingsfield Road and at this time there will not be any changes. Once we have a design engineer under contract, I will pass the information to them and they can evaluate it.

The area you are referring to as being the solution that's located 637 yards south of the existing road is a high pressure gas line easement. Under law, we would not be able to construct a road on top of the gas lines that are located within the easement, nor would it be safe to.

I did notice that you had located several trees as having a circumference greater than 15' but our County Arborist measures trees as the diameter at chest height, or 4', from the ground. Some of the trees you have marked along Kingsfield Road may not meet the criteria for being considered a "heritage or century" oak.

If you have any questions about how the County sizes and classes the trees, please contact Ms. Jimmie Jarrett at the email address listed above.

Please let me know if you have any additional questions.

**Elizabeth Bush**

Construction Manager

**Escambia County Public Works Department, Engineering Division**

3363 West Park Place

Pensacola, Florida 32505

[mebush@myescambia.com](mailto:mebush@myescambia.com)

Office: (850) 595-3450

Cell: (850) 554-3063

**Escambia County is striving to maintain a high level of Customer Service and we welcome your comments.**

**From:** john smith <[smithjd53@gmail.com](mailto:smithjd53@gmail.com)>  
**Sent:** Monday, October 29, 2018 7:56 AM  
**To:** Liz Bush <[mebush@myescambia.com](mailto:mebush@myescambia.com)>  
**Subject:** Solution ?

Good morning Ms. Liz, I hope this email finds you well!

I am not one to present a problem with out a possible solution. I looked on google earth and 637 Yards south is a dirt road that runs west and is in basically an area of open property all the way to Beulah Rd. Perhaps this would be a suitable route with less impact on people and environment?

I am not sure why you stopped having any contact with me after blowing up my phone and email to get the requested information. Then, Nothing when I request a simple confirmation of receipt. What gives ? Did I offend you or the County?

Please advise :

Regards , John

Florida has a very broad public records law. Under Florida law, both the content of emails and email addresses are public records. If you do not want the content of your email or your email address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in person.

Florida has a very broad public records law. Under Florida law, both the content of emails and email addresses are public records. If you do not want the content of your email or your email address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in person.

Hello West Kingsfield residents!

I met some of you at the town hall meeting at Pine Woods church with commissioner Steven Barry. Since then, I have provided the county with maps and a suggestion to move the new road 637 yards to the south for a clear path through to Beulah Road. I am along with others proposing changes to the current county tree ordinance:

1. Reduce heritage size requirements from 60" to 30" in diameter.
2. No mitigation for cutting heritage trail trees or any tree 50" diameter or larger.
3. Incorporate trees into construction project management site plan(s), rather than flat lot clearing of the live oak tree(s) and other species as well.
4. Increase tree space and growth space requirements for replants.
5. Add additional species of trees to the ordinance list, i.e.: Cedar, Pine, Magnolia, Pecan, Red Oak and Hickory.
6. Change the wording/terms of the ordinance mitigations and requirements.
7. Add more green space and soft space to increase protection against future flooding issues.
8. Charge for removal against calculated value for canopy of existing trees.
9. Allow/create, citizen review board to have input on planning board.



**ATTEND the Board of County Commissioners (BOCC) MEETING PUBLIC  
INPUT FORUM**

**Thursday, the 6th of December @ 4:00 p.m.**



**221 PALAFOX PLACE, 1<sup>ST</sup> FLOOR**

**If you can attend, please do so!** TO SPEAK IN FAVOR OF IMPROVEMENTS OR GIVE YOUR 2 TO 3 MINUTES TO ANOTHER SPEAKER IN SUPPORT OF TREE ORDINANCE IMPROVEMENTS ... OR JUST COME!



We will be addressing the tree ordinance upgrades, which will ultimately save your way of life and the trees from disappearing. If you wish to speak, please do.

- ▶ *It is important to attend this meeting so the BOCC may see your presence and your effort of support of the changes listed before the BOCC.* This will be affecting you directly in the future. **Please come for a show of support!**

I will speak, and you can give your time to me if you like. +++ If 20 or more concerned citizens show up to the meeting, it will have enormous impact!

In the time between now and the 6th of December, please email ALL five (5) BOCC members and staff concerned (see reference on reverse). Please be sure to put "Tree Ordinance Improvements" in subject line and attach the suggested improvements. I hope to see you all there!

The trees and I thank you,  
John Smith

Cell: 850.384.0586

Email: [smithjd53@gmail.com](mailto:smithjd53@gmail.com)

Facebook: <https://www.facebook.com/Heritage-Live-Oak-Tree-Project-Of-Escambia-County-178644186391195/>

JEFF BERGOSH [DISTRICT1@MYESCAMBIA.COM](mailto:DISTRICT1@MYESCAMBIA.COM)  
DOUG UNDERHILL [DISTRICT2@MYESCAMBIA.COM](mailto:DISTRICT2@MYESCAMBIA.COM)  
LUMON MAY [DISTRICT3@MYESCAMBIA.COM](mailto:DISTRICT3@MYESCAMBIA.COM)  
ROBERT BENDER [DISTRICT4@MYESCAMBIA.COM](mailto:DISTRICT4@MYESCAMBIA.COM)  
STEVEN BERRY [DISTRICT5@MYESCAMBIA.COM](mailto:DISTRICT5@MYESCAMBIA.COM)  
HORACE JONES, DIRECTOR DEVELOPMENT SERVICES [HLJONES@MYESCAMBIA.COM](mailto:HLJONES@MYESCAMBIA.COM)  
TIM DAY, SENIOR NATURAL RESOURCES MANAGER [TRDAY@MYESCAMBIA.COM](mailto:TRDAY@MYESCAMBIA.COM)  
JIMMIE JARRAT, ARBORIST [JNJARRAT@MYESCAMBIA.COM](mailto:JNJARRAT@MYESCAMBIA.COM)

UP TO 200 WORD EMAIL TO [OPINION@PNJ.COM](mailto:OPINION@PNJ.COM)

PLEASE SHARE THIS WITH EVERYONE!



CONTACT MARGARET HOSTETTER TO BE PUT IN THE LOOP FOR OTHER ACTIVITIES AND  
UPDATES ON THE ISSUE: [MARGARETM080808@GMAIL.COM](mailto:MARGARETM080808@GMAIL.COM)  
CELL: 850-512-7048



# Protected Tree Ordinance Review

Committee of the Whole  
December 13, 2018





## Purpose - LDC Article 7, Sec. 5-7.1

“...It is the intent of these standards to promote the environmental and community benefits of a healthy, diverse, and well managed urban forest. More specifically, this article is intended to accomplish the following”

1. Improve the appearance, character, and value of developed lands through landscaping that enhances, shades, screens, and buffers the built elements and that appropriately includes and preserves existing trees.
2. Require that the type, quality, and installation of trees and other vegetation planted to fulfill county landscaping requirements prevent the unnatural decline of trees by requiring effective measures to protect them from damaging acts or practices, especially during site development, and establishing penalties to discourage violations.
3. Allow and encourage the appropriate removal of trees through an objective criterion-based review but compensate for the lost benefits of removed healthy trees by requiring sufficient replacement planting of quality trees.
4. Emphasize the use of native species for reduced irrigation needs and improved plant establishment, survival, and vitality.
5. Increase the diversity of age and species among trees for long-term urban forest health and stability and increase the proportion of wind-resistant trees to make future storms less devastating.



# Escambia County Site Plans Reviewed for Tree Protection Statistics



## **81 Commercial Site Development Orders issued from 10/01/2017 to 9/30/2018**

- ±1,422 acres approved for Commercial Development
- 37% of projects removed protected trees
- 56% of protected trees were removed for development (712 of 1266 trees)
- 68% reached cap of mitigation (25 caliper inches/acre)
- 1,078 mitigation trees required (2.5" caliper trees)
- 1.5 mitigation trees required per protected tree removed
- 17% of heritage trees removed (2 of 12)
- No apparent relationship between size of tree and likelihood of removal for trees less than 60" DBH



# Site Plans Reviewed for Tree Protection Statistics (cont.)



## **13 Final Subdivision Plats approved 10/01/2017 to 9/30/2018**

- 13 final plats approved
- ± 206 acres (including wetlands and buffers)
- 476 residential lots
- 1 heritage tree removed (1 of 1)



# Ordinance Comparisons



Municipality	Protected DBH Sizes	Mitigation for 10" DBH Live Oak (Example)	Mitigation for 20" DBH Live Oak (Example)	Mitigation for 60" DBH Live Oak (Example)
Santa Rosa	Small species list > 4" Lg species list > 8" Heritage > 60"	One 3" DBH or \$390	One 5" DBH or \$650	Total 11" DBH or \$1,430
City Pensacola	Small species list > 4" Med species list > 6" Lg species list > 8" Heritage > 34"	Two 3" DBH or \$800	Five 3" DBH or \$2,000	Eleven 3" DBH Trees or \$4,400 (additional requirements apply)
Escambia	12"> unless exempt (pines, exotic species, etc.) Heritage > 60"	Exempt	Total 6" Caliper* or \$1400	Total 30" Caliper or \$4,200

\*DBH (Diameter at Breast Height) measures approximately one inch less than the nursery standard measure of caliper inch  
 Escambia County requires mitigation trees to be no less than 2.5" caliper trees  
 Each ordinance has specific nuances, examples are for general comparisons



## Recent Public Comments on Tree Ordinance Include:

- Reduce size of protection to 10" DBH
- Reduce size of heritage trees to 34"
- Increase mitigation replacement ratio
- Increase mitigation cap on acreage
- Protection of Longleaf Pines
- Higher tree protection or development standards in subdivisions
- Management & planting trees in the public right of way
- Planting for connectivity
- Stronger protection standards for live oaks (5% of tree species)
- Live oaks at a reduce size as Heritage
- Additional comments provided as backup documentation



# Board Direction



- Does current tree ordinance accomplish intended goals?
- Potential areas of improvement?
- Direction for staff ?

**Committee of the Whole**

8.

**Meeting Date:** 12/13/2018

**Issue:** DSM / LDC Modifications Presentation

**From:** Joy Jones, Director

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**Information**

**Recommendation:**

Design Standards Manual/Land Development Code (DSM/LDC) Modifications  
(Colby Brown - 30 min)

- A. Board Discussion
  - B. Board Direction
- 

**Attachments**

DSM / LDC Mod Explanation

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# Design Standards Manual / Land Development Code Modifications

(Referred from November 1, 2018, 5:48 p.m. Public Hearing)

Explanation of the Professional Advisory Committee and  
Planning Board Approved Modifications

Committee of the Whole

12-13-2018





# Brief History



- Jan 2018 - Discussion of Design Standard Manual (DSM) items began with the Professional Advisory Committee (PAC)
- June 2018 – PAC Approved modifications be recommended to Planning Board
- Oct 2018 – Planning Board Approved modifications be recommended to BCC
- Nov 1, 2018 – BCC approved the “Impervious Cover” limits for Minor Subdivisions, all other DSM items moved to December 2018 COW.



# DSM Items – Recommended Modifications



- Pond Slopes
- Pond Stabilization
- Impervious Cover – Minor Subdivisions
- Mass Clearing / Grading
- Limerock Base
- Utilities in the Right of Way
- Connectivity
  - Residential
  - Commercial



# Pond Slopes



- Staff Initiated
- Due to flat pond bottom, County ponds with some type of filtration system (typically because of poor soils) have trouble "drying up."



# Pond Slope (Photos)





# Pond Slope 2 (Photos)





# Pond Slope 3 (Photos)





# Pond Slope (Proposed Language)



- 0.3% minimum slope on the bottom of the ponds with a filtration device. (0.3% is minimum slope for roadside swales DSM 1-1.5 (b) 2)

## DSM, Chapter 1, Article 1 – STORMWATER

### Sec. 1-1.4 Pond Slopes, Fencing, and Maintenance Access

#### (a) Residential Subdivisions (private and public)

##### (1) Side and bottom slopes

- c. Dry Pond Bottom Slope- Shall have a minimum slope of 0.3% from the toe of pond banks to the nearest edge of any engineered treatment device (i.e. sand filter, sand chimney) for dry ponds in poor soils.



# Pond Stabilization



- Clay Core
  - Local Engineer Initiated
  - No guidelines regarding the wet pond clay core embankment.
- Dry pond side slopes
  - Only pond slopes were being sodded
  - Staff noted erosion issues along the top of bank for many projects





# Pond Stabilization (Proposed Language)



## DSM, Chapter 1, Article 1 – STORMWATER

### Sec. 1-1.4 Pond Slopes, Fencing, and Maintenance Access

#### (3) Stabilization

~~a. Wet ponds — wet ponds shall be stabilized in solid sod above the permanent pool elevation, unless stabilization is obtained through incorporation of littoral plantings.~~

#### a. Wet ponds-

1. Shall be stabilized in solid sod above the permanent pool elevation, unless stabilization is obtained through incorporation of littoral plantings.
2. Pond embankments shall be designed to have an impermeable clay core of sufficient width and stability and be keyed in below the pond bottom according to geotechnical recommendations.

Clay Core



Dry Pond  
Side Slope



b. Dry Ponds - Side slopes shall be solid sod from the bottom to three (3) feet beyond the top of bank



# Minor Subdivision Impervious Allowance



- This was approved by the BCC on 11-1-2018

## 1-1.6 Exemptions

Projects that include the addition of 1000 sf or less of impervious surface which are not part of a large development plan shall be exempt from this chapter.

### (a) Residential property improvements

Improvements such as driveways, buildings, pools, etc. and/or accessory structures that do not exceed 1500 sf, shall be exempt from this chapter.

### (b) Minor Subdivisions:

Proposed subdivision of land into no more than five single-family lots, each fronting on and

existing paved public or private streets, and complying with all of the following:

1. No adverse impacts. Impervious cover on the lots will not adversely impact wetlands or create adverse off-site impacts.
2. Impervious cover limits shall not exceed:
  - a. 3000 square feet on lots less than ¼ acre in size or
  - b. 3500 square feet of lot area on ¼ acre up to one acre in size or
  - c. Eight percent of lot area greater than one acre in size.
3. Documented limits. Lot impervious cover limitations are permanently documented in the public records of the county, including the subdivision plat and any covenants and restrictions.
4. Positive outfall. Each lot has a positive drainage outfall.
5. Flood Prone Areas. Each lot shall not be in an area with historical flooding/drainage complaints or noted as an area of concern in the drainage basin study.



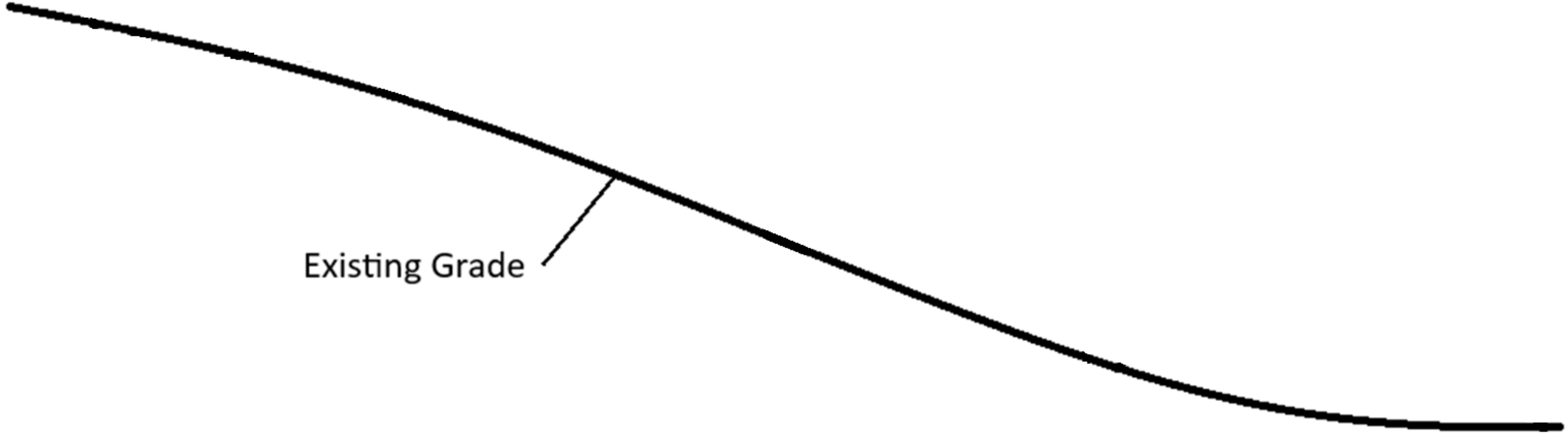
# Mass Clearing / Grading



- Developer Initiated
- Multiple requests for mass grading entire / partial subdivision
- Concerns
  - Sedimentation off site
  - Difficult to stabilize
  - Potential large time gap between infrastructure construction and home construction
- Benefits
  - All excavated soil can be used on site
  - Sale of lots with no fill required
- Staff has been addressing on a case by case basis. Intent for the modifications was to provide clarity and consistency.



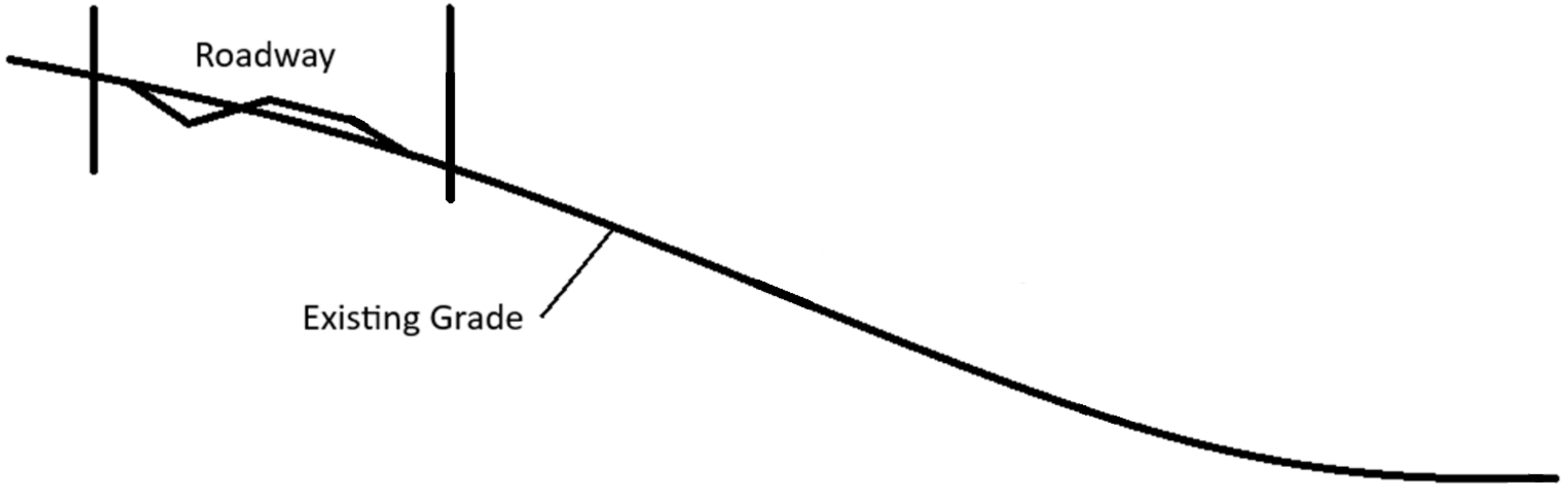
# Mass Clearing / Grading Example



Existing Grade

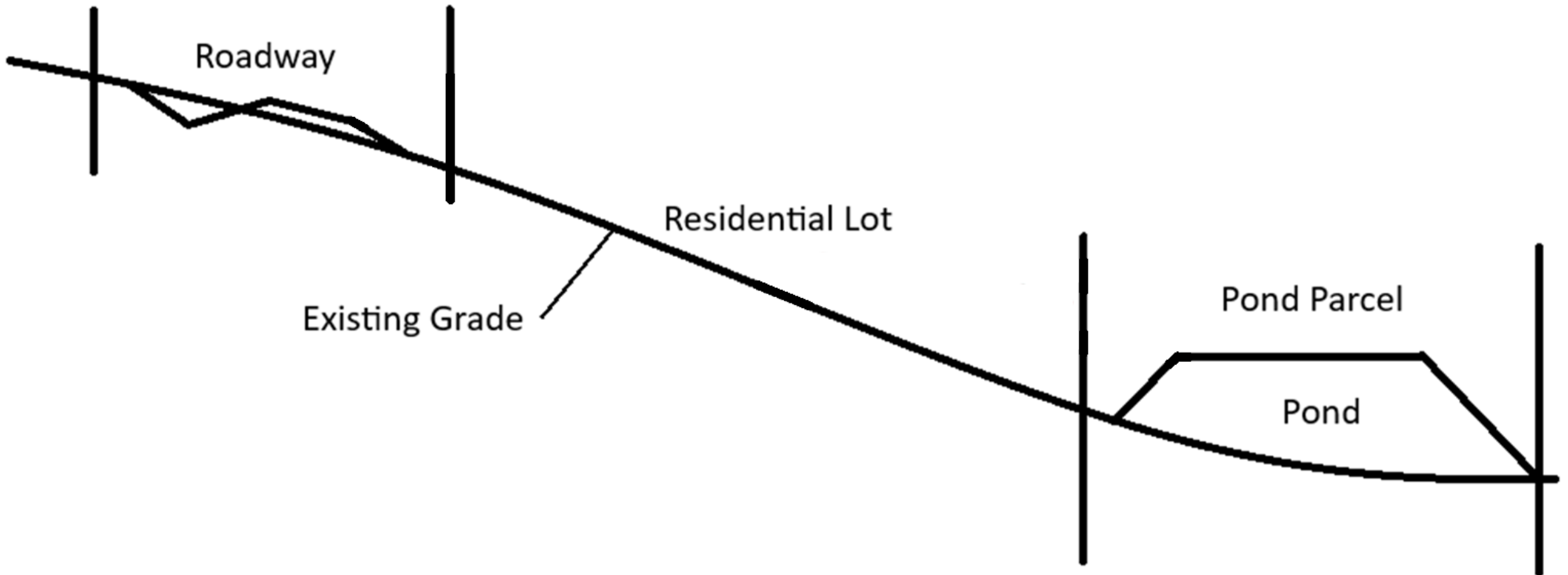


# Mass Clearing / Grading Example



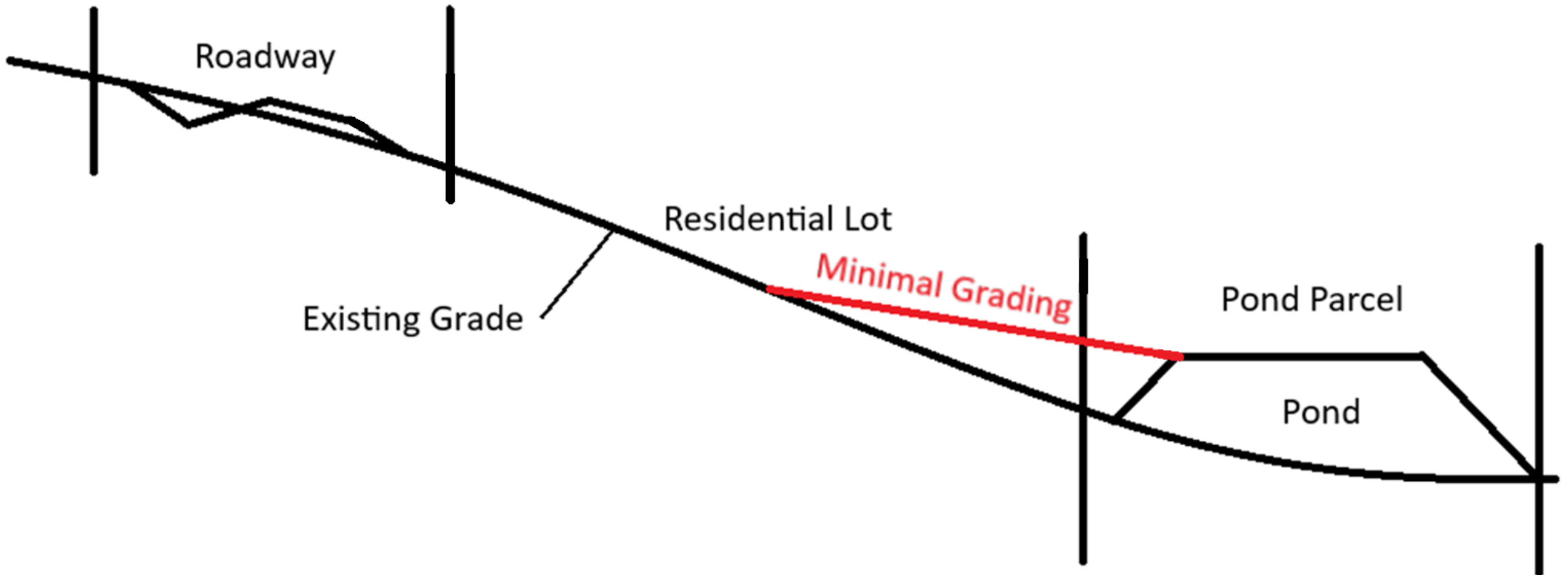


# Mass Clearing / Grading Example



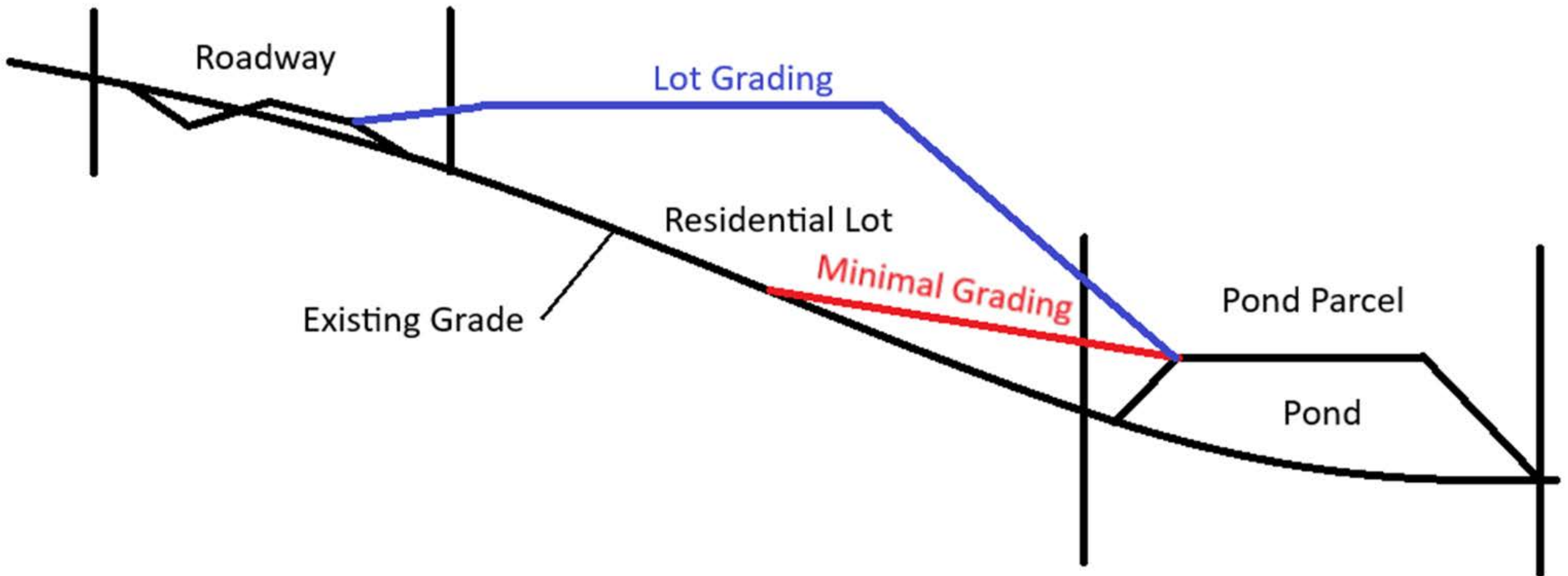


# Mass Clearing / Grading Example





# Mass Clearing / Grading Example







# Mass Clearing / Grading (Proposed Language)



## 1-2.2 Content

### (b) Proposed Improvements

All proposed alterations to the project site shall be detailed and include the following:

- F. Overall lot grading plan for all proposed subdivisions in accordance with the ~~Florida Building Code~~ County approved lot grading plan checklist.
- 6. Grading beyond limits of infrastructure (ROW and pond parcel) – Grading, prior to final plat, shall be described on a separate grading plan sheet and be accompanied by a separate Stormwater Management Permit. This shall only apply to the following (not for entire site development clearing and grading):
  - a. For the use of excess on - site material
  - b. To establish a functioning stormwater system
  - c. To establish right -of -way grades beyond right-of-way line.



# Limerock Base



- Local Engineer Initiated
- DSM allows for Base Material Exception Request
- Request typically comes after plans are approved and prior to construction.
- This particular base material exception was being requested frequently and an exception for the material was requested
- This will allow for either Graded Aggregate Base or Limerock Base to be noted on the plans if approved by Geotechnical Engineer



# Limerock Base (Tech Notice / Request Form)



Board of County Commissioners • Escambia County, Florida

Joy D. Blackmon, P.E.  
Director, County Engineer  
Public Works Department

### TECHNICAL NOTICE

No: (03.11.16)  
Adopted: 04/05/16

To: Developers and Home Builders  
  
Engineers of Record  
  
Engineering Staff

From: Escambia County Engineering Department

This notice is intended to provide information regarding changes and/or clarification of Escambia County's policies, procedures, standards and/or specifications to the general public, design professionals, homebuilders and developers. Below are the changes/clarifications:

#### Roadway Construction – Engineering Department Policy

**NOTICE:** Escambia County requires the installation of Graded Aggregate Base on all new roadways meeting the requirement of technical specification 2400 per the Escambia County Technical Specifications. Escambia County realizes the benefit of utilizing other FDOT approved base materials when their performance can satisfactorily meet or exceed the properties of Graded Aggregate Base.

If the Engineer of Record would like to utilize an approved FDOT material other than Graded Aggregate Base, this request must be made in writing and will be either granted or denied at the discretion of the County Engineer. Within this request the Engineer of Record must show documentation that the material is FDOT approved and will meet or exceed the properties of Graded Aggregate Base.

The Contractor and Supplier will be held to strict compliance with FDOT quality control measures and documentation of this product as well as FDOT required field testing. All reports and field testing results shall be submitted to the Engineer of Record for submittal to the County Inspector for acceptance.

The performance of this material shall be closely monitored throughout installation in the two-year compliance period. Approved test results shall be required prior to recommendation to the Board of County Commissioners for final Plat recording.

### BASE MATERIAL SUBSTITUTION REQUEST

NAME OF SUBDIVISION \_\_\_\_\_  
LOCATION/ADDRESS \_\_\_\_\_  
PUBLIC OR PRIVATE \_\_\_\_\_ REQUESTED BASE MATERIAL \_\_\_\_\_  
SUPPORTED DOCUMENTS:

PROOF THAT THE MATERIAL/SUPPLIER CURRENTLY  
APPROVED BY FDOT (on current "Approved Products  
from Mines or Terminals Listing")

CONSTRUCTION PLANS WITH LOCATION  
OF BASE MATERIAL USAGE (if applicable)  OR ENTIRE S/D

NARRATIVE/JUSTIFICATION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CERTIFICATION BY REGISTERED PROFESSIONAL ENGINEER: I approve this base material for substitution at this location and will ensure that the base meets all specification prior to paving over this material.

NAME OF ENGINEER \_\_\_\_\_ SIGNATURE OF ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

COMPANY NAME \_\_\_\_\_

COMPANY ADDRESS \_\_\_\_\_ (Affix Seal)

#### OFFICE USE ONLY

APPROVED  DENIED \_\_\_\_\_ DATE \_\_\_\_\_  
DRAINAGE ENGINEER

APPROVED  DENIED \_\_\_\_\_ DATE \_\_\_\_\_  
JOY JONES, P.E., COUNTY ENGINEER

APPROVAL CONDITIONS  REASON FOR DENIAL: \_\_\_\_\_

- EOR shall ensure that substitute base material used meets specifications and is adequately protected during construction for optimum performance. EOR shall provide a statement that he/she approves the base work prior to paving.
- The performance of this material shall be closely monitored throughout installation and throughout the two-year warranty (compliance) period. If base failure occurs, additional testing and removal and installation of GAB may be required at no expense to the County.
- The Contractor and Supplier will be held to strict compliance with FDOT quality control measures and documentation of this product as well as FDOT required field testing.
- All reports and field testing results shall be submitted to the County for acceptance.
- Approved test results shall be required prior to recommendation to the Board of County Commissioners for Final Plat recording.



# Limerock Base (Proposed Language)



## DSM, Chapter 1, Article 2 – TRANSPORTATION

### 2-1 Roadway Design

All roads and bridges constructed within Escambia County, public or private, shall be constructed to meet the design and materials standards identified within the DSM and Escambia County Technical Specifications.

Escambia County base requirements are as follows:

a. All roadways shall require the installation of Graded Aggregate Base from an FDOT approved supplier, and meeting the requirements of technical specification 2400 per the Escambia County Technical Specifications.

<https://myescambia.com/our-services/public-works/engineering-and-construction>

b. Lime rock may be substituted for Graded Aggregate Base on all roadways with at least four (4) foot separation between the bottom of the base and the seasonal high ground water table if supported by the geotechnical engineering report. A note shall be included on the plans as follows: The Limerock must meet FDOT specifications and shall be from an FDOT approved supplier. The contractor shall utilize appropriate methods to prevent moisture intrusion until completely paved. Any apparent failure during the 2 year warranty period shall require the removal of the asphalt and limerock base material (across the entire roadway width and 50' either side of the failed area), replacement with Graded Aggregate Base, and re-paving of the area.

c. All roadways on the barrier islands shall require the installation of Bahama Rock.

Approval by the County Engineer is required prior to the use of any other substitution of base material. This approval process shall utilize the County approval form.



# Utilities in the Right of Way (Boring Installation)



- Staff Initiated
- Boring Installation
  - Multiple requests from utilities (typically communication utilities) to bore under new County S/D roads
    - Communication issues with the developers / EOR and the utility providers
    - After construction – Utilities want to install service via “boring” and not “looping” the S/D.



# Utilities in the Right of Way (Prop. Language – Boring Installation)



Boring  
Installation



## 2-1.6 Street Layout

### ~~(d)~~(4) Utilities in road right of ways

No streets or roads under the two-year warranty will be allowed to be open cut, or bored. To accomplish this requirement, common trenching is required whenever possible. The engineer of record shall provide proof of request for all utility layouts (to include but not limited to power, communications, gas, etc.) prior to construction plan approval. Conduit locations for utility roadway crossings shall be included in construction plans. If locations are not provided by the utility, the engineer of record shall provide conduit locations for utility road crossings. Conduit shall be installed with tracer wire and/or other locating methods. The following notes shall be included in the plans: ~~Contractors shall communicate with utility provider(s) a minimum of two weeks prior to curb installation or roadway base installation. Contractors shall ensure integrity of conduit throughout roadway installation.~~

- a. Contractors shall coordinate with utility provider(s) a minimum of two weeks prior to curb installation or roadway base installation. Contractors shall ensure integrity of conduit throughout roadway installation.
- b. New utilities shall be installed at a minimum depth of cover of 30 inches in accordance with the final lot grading plan or from the top of curb, as appropriate.



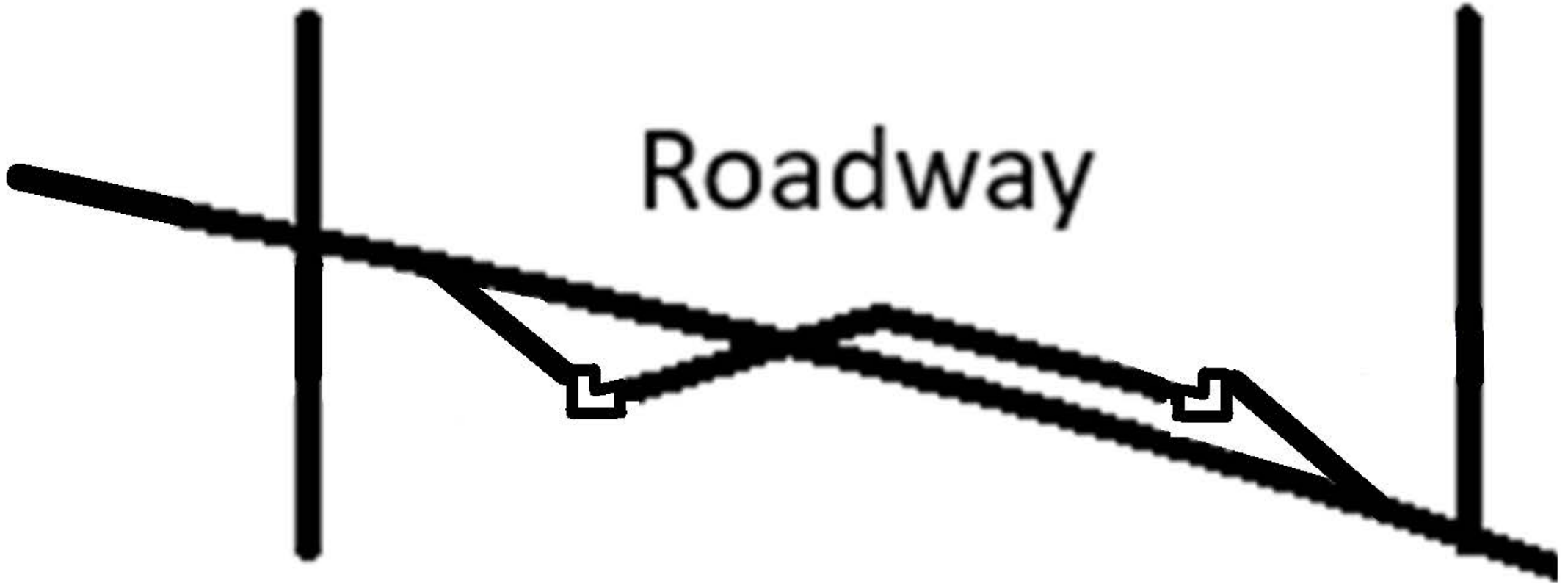
# Utilities in Right of Way (Utility Depth)



- Staff Initiated
- Utility Depth
  - Changes are to clarify where the installation for the utility depth is to be measured from.



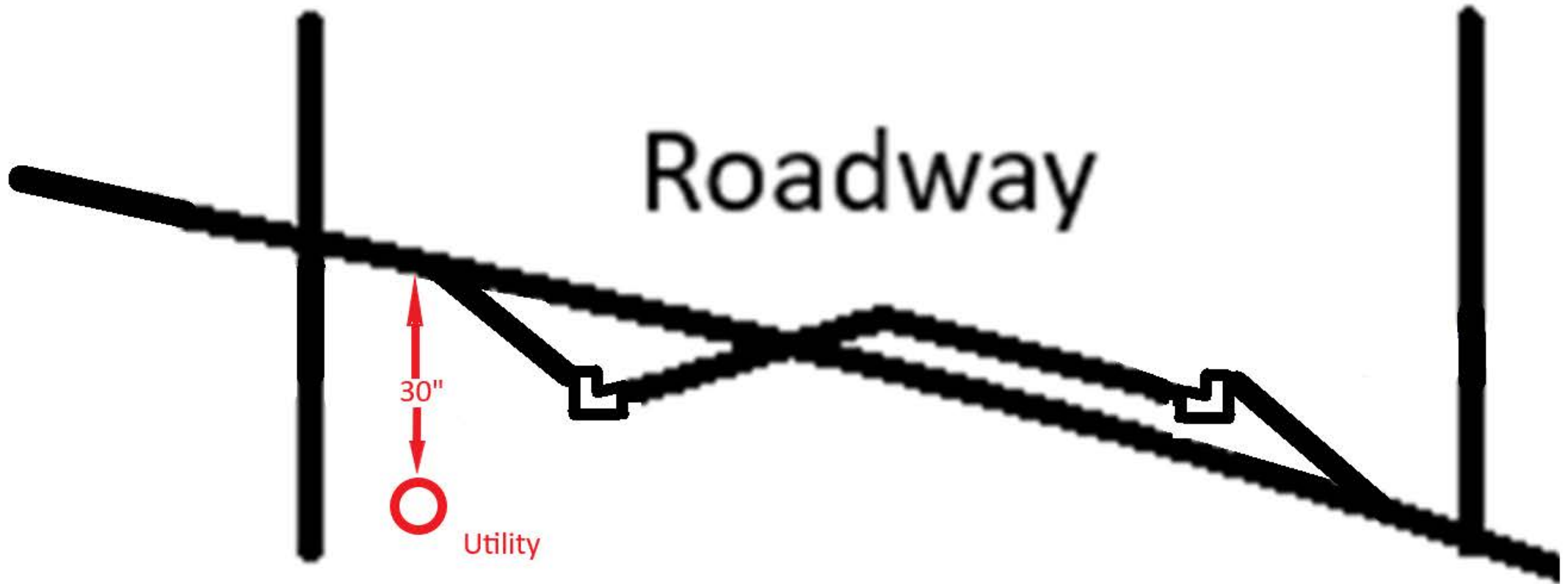
# Utility Depth (Example)





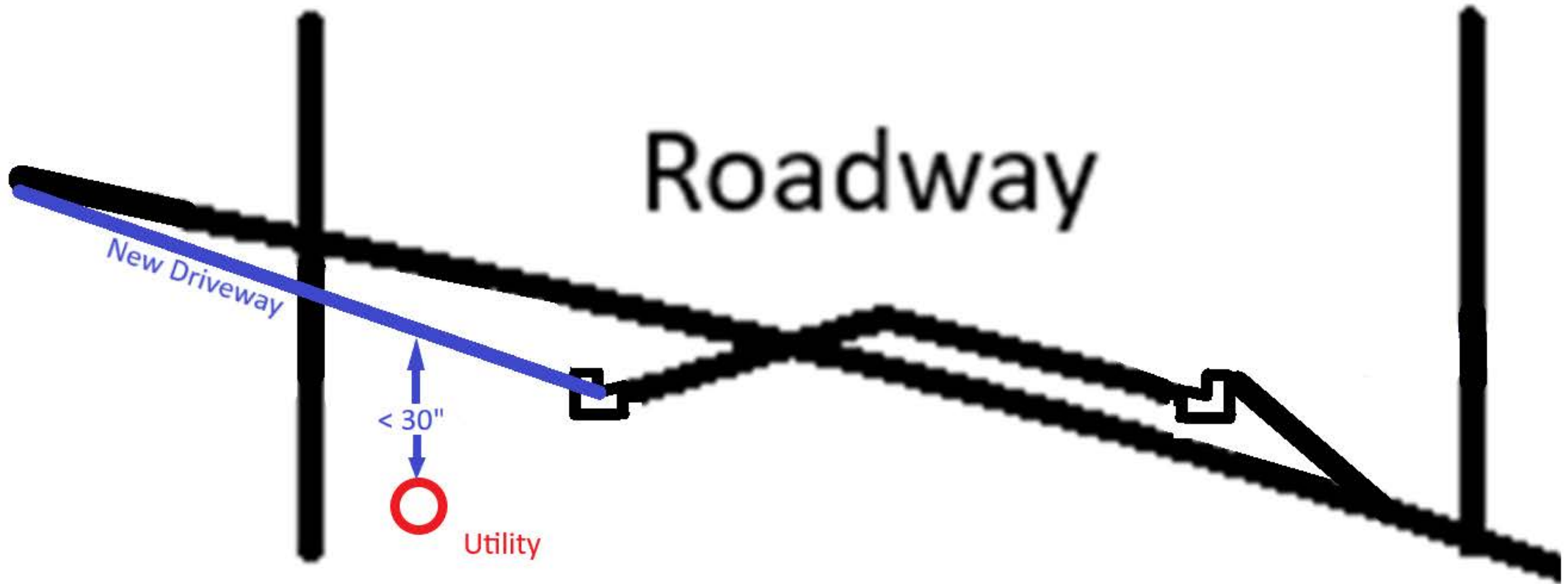


# Utility Depth (Example)





# Utility Depth (Example)





# Utilities in the Right of Way (Proposed Language – Utility Depth)



## 2-1.6 Street Layout

### ~~(d)~~(4) Utilities in road right of ways

No streets or roads under the two-year warranty will be allowed to be open cut, or bored. To accomplish this requirement, common trenching is required whenever possible. The engineer of record shall provide proof of request for all utility layouts (to include but not limited to power, communications, gas, etc.) prior to construction plan approval. Conduit locations for utility roadway crossings shall be included in construction plans. If locations are not provided by the utility, the engineer of record shall provide conduit locations for utility road crossings. Conduit shall be installed with tracer wire and/or other locating methods. The following notes shall be included in the plans: ~~Contractors shall communicate with utility provider(s) a minimum of two weeks prior to curb installation or roadway base installation. Contractors shall ensure integrity of conduit throughout roadway installation.~~

- a. Contractors shall coordinate with utility provider(s) a minimum of two weeks prior to curb installation or roadway base installation. Contractors shall ensure integrity of conduit throughout roadway installation.
- b. New utilities shall be installed at a minimum depth of cover of 30 inches in accordance with the final lot grading plan or from the top of curb, as appropriate.

Utility Depth





# Connectivity (Residential)



- Staff Initiated
- Concerns with multiple S/D lots fronting an arterial or collector
  - Unsafe for residents to be backing out on to these type roadways



# Connectivity (Proposed Language - Residential)



## DSM, Chapter 1, Article 2 – TRANSPORTATION

### 2-1.6 Street Layout

#### (a) Residential.

#### ~~(a)~~ (1) Connectivity

b. Proposed subdivision along arterial or collector roadways, where lots front the arterial or collector, shall provide a single access route within the subdivision to the roadway with the lowest traffic volume. (LDC 5-5.4 (f)(q)).

#### Sec. 5-5.4 Site access.

- (f) **Internal access.** Proposed development along arterial or collector streets shall provide access routes within the development for all uses such that a return to the arterial or collector street is not necessary to access another use within the development.
- (g) **Multiple street frontages.** When a lot or parcel is located at a street intersection or otherwise fronts more than one street, vehicle access for all uses on the lot, including single-family dwellings, may be limited to the roadway with the lowest traffic volume, least operational impact, or lowest functional classification, provided that the restriction is consistent with existing FDOT standards. Potential traffic impacts to residential neighborhoods shall be considered when applying this restriction. Non-access easements may be required on site plans and plats to implement this restriction.

LDC 5:25



# Connectivity (Commercial)



- Staff Initiated
- Concerns with multiple Commercial lots along arterial and collector each with single access
- Item to be removed from recommendation
  - Multiple Legal concerns



# Connectivity (Proposed Language – Commercial)



## **DSM, Chapter 1, Article 2 – TRANSPORTATION**

### **2-1.6 Street Layout**

#### **(b) Commercial Connectivity**

Any proposed commercial site adjacent to another commercial site or vacant site fronting a collector / arterial road with AADT greater than 9000 shall provide internal connectivity with the adjacent lots, unless a hardship can be documented. Hardships can be defined as:

1. Creates a non-conformity.
2. Physical impediment (elevation, structural, etc.).
3. Existing, built-out, configuration of adjacent development.
4. Cost increase of 25% above cost without providing connectivity.
5. Other hardships as determined by Planning Official and County Engineer.

Planning Official and County Engineer shall determine if the inability to provide connectivity is a hardship.



# Questions / Direction



- Direct Staff to:
  1. Bring back All and/or Specific Items (except Commercial Connectivity) via recommendation to next BCC; or
  2. Remand All and/or Specific Items back to Planning Board / PAC for further discussion.



**Committee of the Whole**

9.

**Meeting Date:** 12/13/2018

**Issue:** Ordinance Amending Structure Setbacks and Minimum Lot Widths (Referred from 11/1/18 - 5:47 p.m. PH)

**From:** Horace Jones, Director

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**Information**

**Recommendation:**

Ordinance Amending Structure Setbacks and Minimum Lot Widths (Referred from 11/1/18 - 5:47 p.m. Public Hearing)

(John Fisher and Horace Jones - 15 min)

A. Board Discussion

B. Board Direction

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**Attachments**

Structure Setbacks and Minimum Lot Widths PP

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# Proposed Ordinance Amending Structure Setbacks and Minimum Lot Widths

(Referred from November 1, 2018, 5:47 p.m. Public Hearing)



**DEFINE THE MINIMUM WIDTH FOR LOTS  
FRONTING SHORT RADIUS RIGHT-OF-WAY CURVES**



# CUL-DE-SAC DEFINITION



THE LDC DOES NOT CURRENTLY ADDRESS SHARP OR SHORT CURVES

THE LDC DOES ADDRESS CUL-DE-SACS

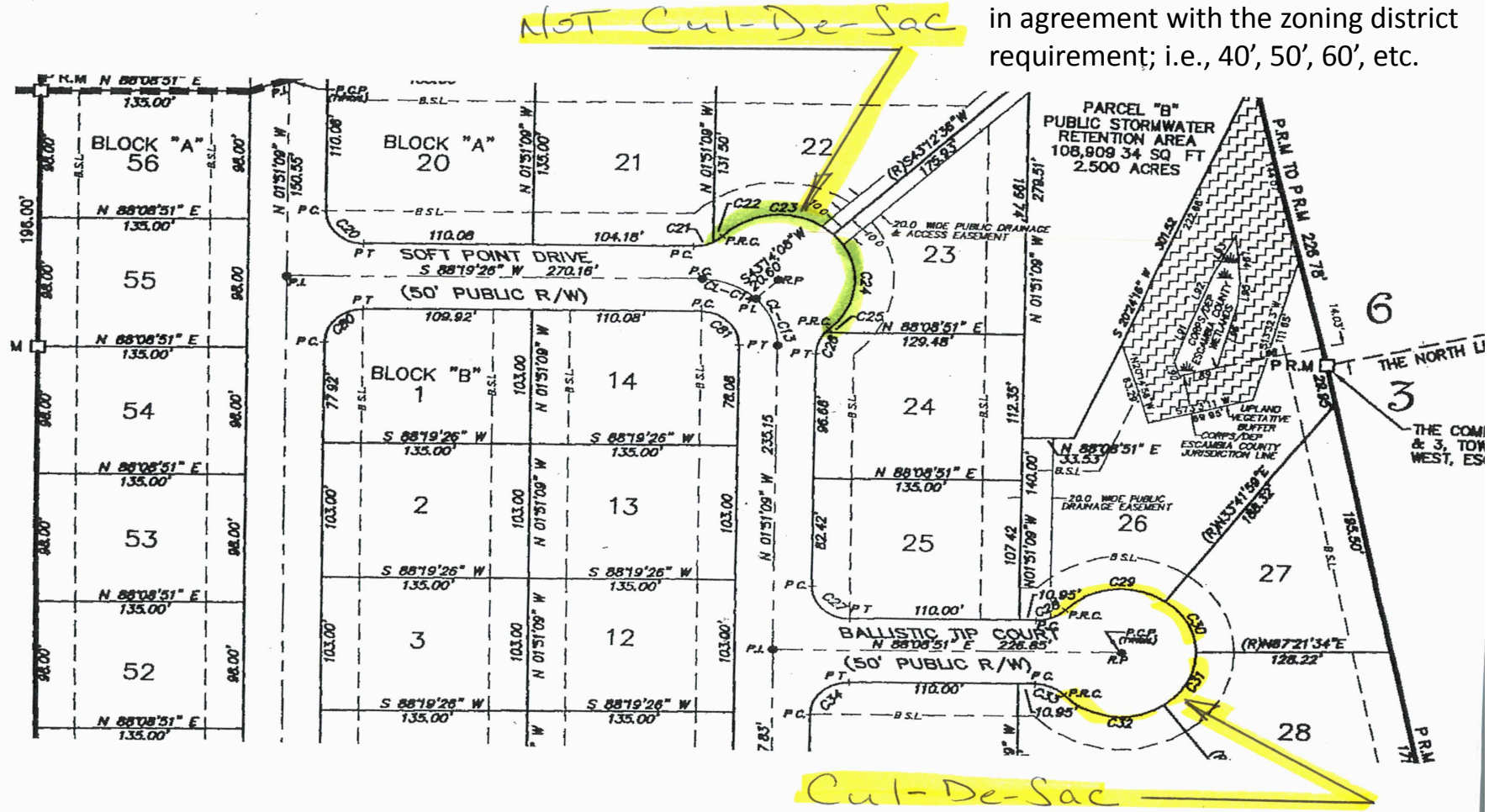
*Cul-de-sac.* A local street with one end open to traffic and the other end terminated by a vehicular turnaround. For the purposes of determining required minimum lot width, the term “cul-de-sac” refers only to the vehicular turnaround at the closed end of the street. The LDC requires a minimum lot width of 20’ at the street right-of-way for cul-de-sacs.



# CUL-DE-SAC DEPICTION



On a curve (not a Cul-de-Sac), the minimum lot width required has to be in agreement with the zoning district requirement; i.e., 40', 50', 60', etc.



For a new lot with the majority of its frontage along the outside of a street right-of-way curve whose radius is 100 feet or less, the minimum lot width at the right-of-way is 40 percent of the radius length, but not less than 20 feet.



# EXPLANATION OF CHANGES

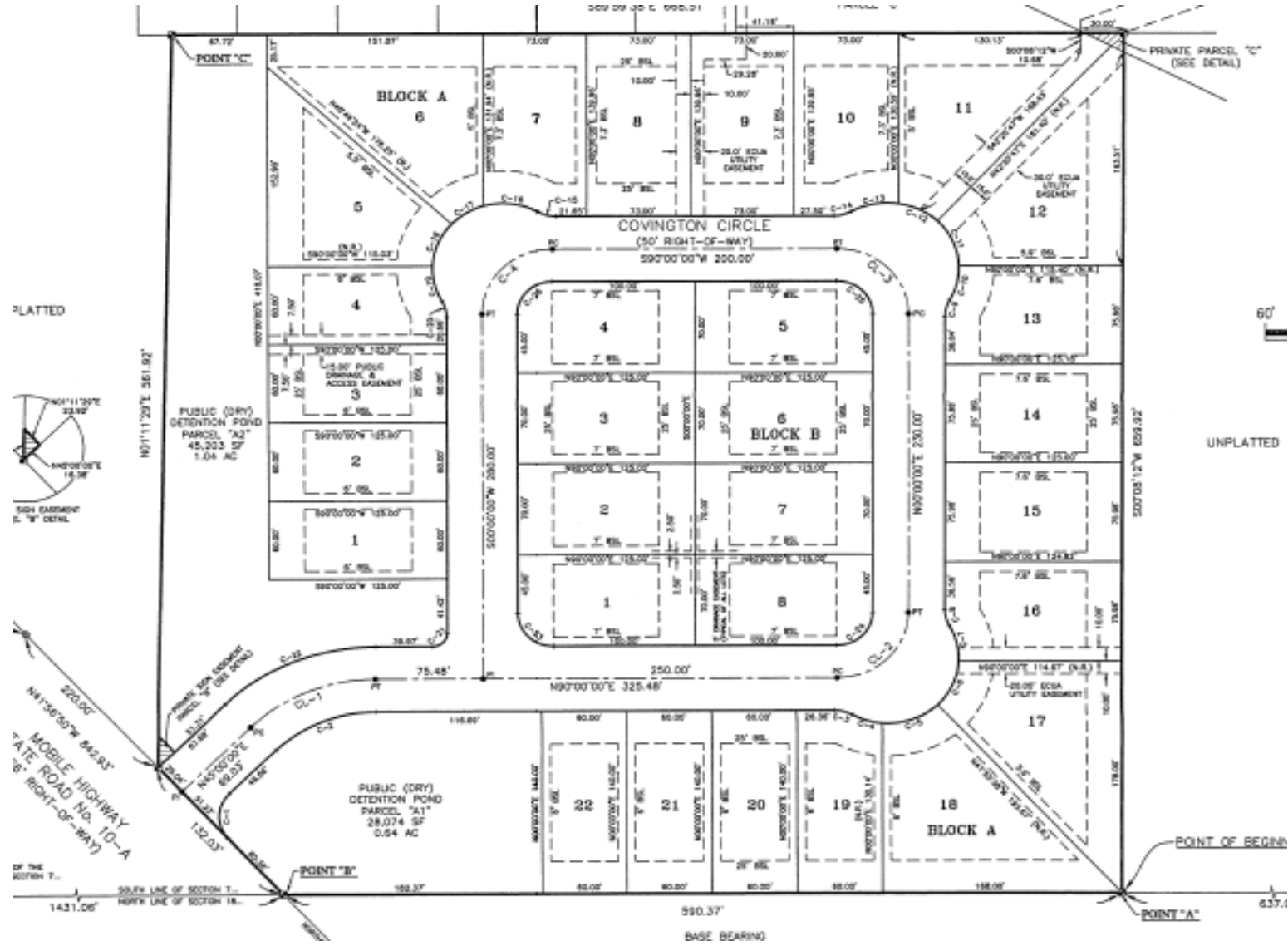


- THIS ISSUE BECAME MORE PREVALENT WHEN FRONT BUILDING SETBACK LINES WERE REMOVED FROM ALL ZONING DISTRICTS.
- MAKING THE FOLLOWING CHANGES UNDERLINED BELOW WOULD HELP RESOLVE THE DESIGN ISSUES FOR ENGINEERS AND DEVELOPERS.
- For a new lot with the majority of its frontage along the outside of a street right-of-way curve whose radius is 100 feet or less, the minimum lot width at the right-of-way is 40 percent of the radius length, but not less than 20 feet. The minimum width for all other new lots is 60 feet at the right-of-way.
- OR
- For a new lot with the majority of its frontage along the outside of a street right-of-way curve whose radius is 100 feet or less, the minimum lot width at the right-of-way is 40 percent of the radius length, but not less than 20 feet. The minimum width for all other new lots is as follows:



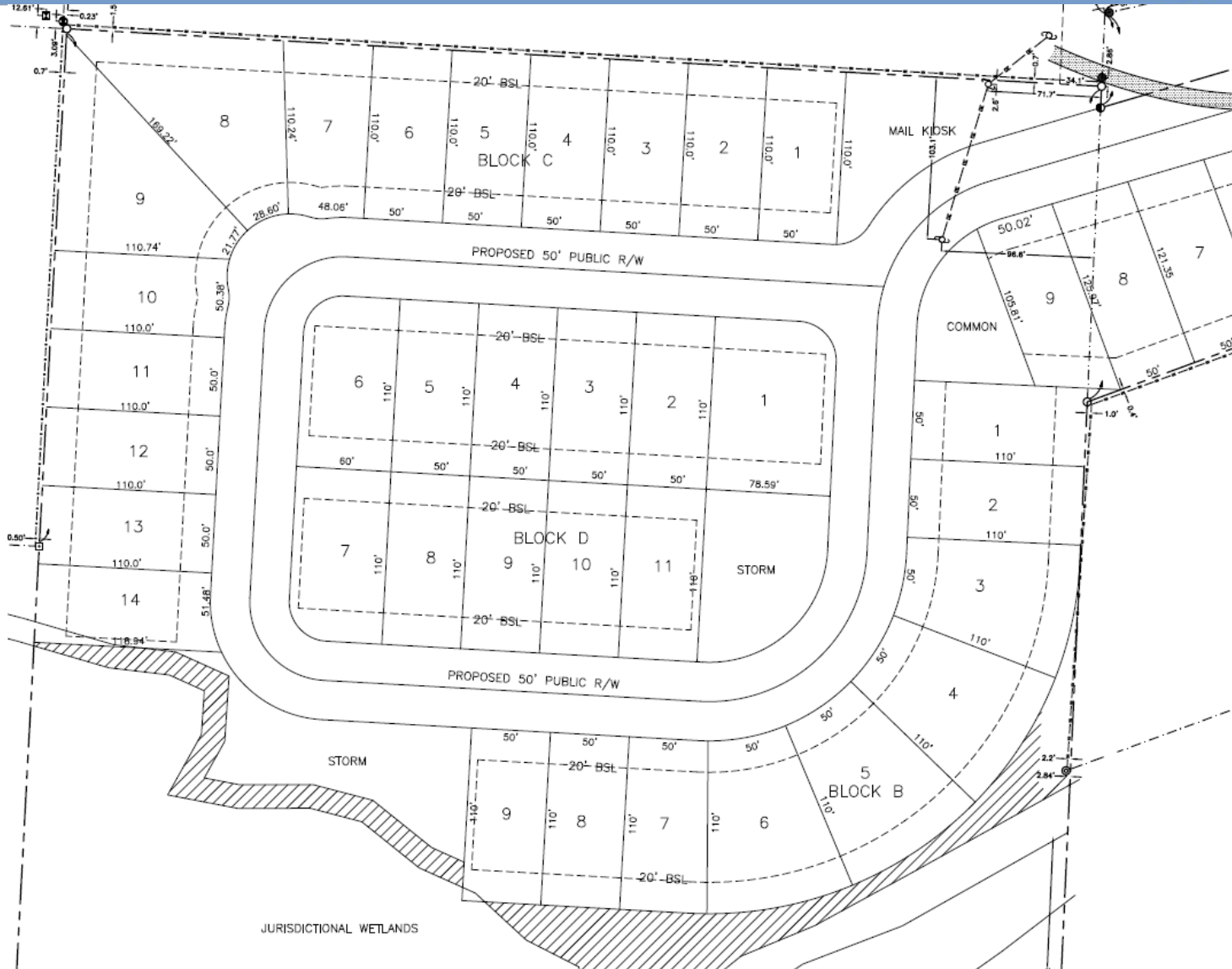
# EXAMPLE OF NON-COMPLIANT LOT WIDTHS *my* escambia

EXAMPLE OF NON-COMPLIANT LOT WIDTHS WITH TODAY'S LDC - NOT CUL-DE-SACS BY DEFINITION.





# EXAMPLE OF SHORT CURVES







# MISCELLANEOUS CHANGES



- Page 3 lines 6-10. Added language of multiple street frontage for corner and other lots; Removed existing language from LDC Chapter 3 for corner lot setbacks as stated in each zoning district (this is duplicative language). The added language will address corner lot setback requirements.
- Page 11 lines 18-21. Deleted “Ten feet on each side”. Added “On each side of a single-family detached dwelling, 10 feet or 10 percent of the lot width at the street right-of-way, whichever is less, but at least five feet. For all other structures, including any group of attached townhomes ten feet on each side (new).”
- Page 12 lines 6-8. Removed language requiring that the minimum width for all other new lots is 100’ at the street right-of-way. Retained existing language requiring “No Minimum lot width required by zoning.” (HC/LI).



# MISCELLANEOUS CHANGES – Cont.



- Page 13 Lines 13-16. Added language “On each side of for single-family detached dwelling on an existing lot of record, 10 feet or 10 percent of the lot width at the street right-of-way, whichever is less, but at least five feet.” Removed the term “Fifteen” and replaced with the number “15” for other structures.
- Page 16 Line 10. Removed “ten” and added “five” for side yard setback. Five was in the original LDC language for R-1PK. Only change is to put back the original language as stated in the old R-1 PK. This is a housekeeping item for correction only.

**Committee of the Whole**

10.

**Meeting Date:** 12/13/2018

**Issue:** Discussion on CSX

**From:** Steven Barry, District 5 Commissioner

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**Information**

**Recommendation:**

Discussion on CSX

(Commissioner Barry - 15 min)

A. Board Discussion

B. Board Direction

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**Attachments**

*No file(s) attached.*

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**Committee of the Whole**

**11.**

**Meeting Date:** 12/13/2018

**Issue:** Tent Pop-Up Auto Sales

**From:** Alison Rogers, County Attorney

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**Information**

**Recommendation:**

Tent Pop-Up Auto Sales

(Commissioner Barry and Alison Rogers - 10 min)

A. Board Discussion

B. Board Direction

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**Attachments**

Ordinance - Option 1

Ordinance - Option 2

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ORDINANCE NUMBER 2016-\_\_\_\_\_

**AN ORDINANCE OF ESCAMBIA COUNTY, FLORIDA, AMENDING PART III OF THE ESCAMBIA COUNTY CODE OF ORDINANCES, THE LAND DEVELOPMENT CODE OF ESCAMBIA COUNTY, FLORIDA, AS AMENDED, AMENDING CHAPTER 3, ARTICLE 2, SECTION 3-2.11 “HEAVY COMMERCIAL AND LIGHT INDUSTRIAL DISTRICT (HCLI),” TO ADD CRITERIA FOR TEMPORARY SALES OF AUTOMOBILES AS A PERMITTED USE IN HCLI; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Legislature of the State of Florida has, in Chapter 125, Florida Statutes, conferred upon local governments the authority to adopt regulations designed to promote the public health, safety, and general welfare of its citizenry; and

**WHEREAS**, the Board of County Commissioners finds that establishing criteria for temporary sales of automobiles promotes these interests and serves an important public purpose;

**NOW, THEREFORE, BE IT ORDAINED** by the Board of County Commissioners of Escambia County that the following regulation is hereby adopted.

**Section 1.** Part III of the Escambia County Code of Ordinances, the Land Development Code of Escambia County, Chapter 3, Article 2, Section 3-2.11. “Heavy Commercial and Light Industrial district (HCLI),” subsection (b) “Permitted uses,” is hereby amended as follows:

**Sec. 3-2.11 Heavy Commercial and Light Industrial district (HC/LI).**

**(b) Permitted uses.** Permitted uses within the HC/LI district are limited to the following:

**(1) Residential.** Any residential uses if outside of the Industrial (I) future land use category and part of a predominantly commercial development, excluding new or expanded manufactured (mobile) home parks and subdivisions. See also conditional uses in this district.

**(2) Retail sales.** Retail sales, including sales of alcoholic beverages, sales of automotive fuels, and sales of new and used automobiles, motorcycles, boats, and manufactured (mobile) homes. Temporary sales of automobiles are permitted when conducted by a licensed dealership with a permanent sales location within the County.

**(3) Retail services.**

- a. Car washes, automatic or manual, full service or self-serve.
- b. Child care facilities.
- c. Hotels, motels and all other public lodging, including boarding and rooming houses.
- d. Personal services, including those of beauty shops, health clubs, pet groomers, dry cleaners and tattoo parlors.
- e. Professional services, including those of realtors, bankers, accountants, engineers, architects, dentists, physicians, and attorneys.
- f. Rental of automobiles, trucks, utility trailers and recreational vehicles.
- g. Repair services, including appliance repair, furniture refinishing and upholstery, watch and jewelry repair, small engine and motor services, and major motor vehicle and boat service and repair, but excluding outdoor work or storage.
- h. Restaurants and brewpubs, including on-premises consumption of alcoholic beverages, drive-in and drive-through service, and brewpubs with the distribution of on-premises produced alcoholic beverages for off-site sales. The parcel boundary of any restaurant or brewpub with drive-in or drive-through service shall be at least 200 feet from any LDR or MDR zoning district unless separated by a 50-foot or wider street right-of-way.
- i. Taxi and limousine services.

See also conditional uses in this district.

**(4) Public and civic.**

- a. Broadcast stations with satellite dishes and antennas, including towers.
- b. Cemeteries, including family cemeteries.
- c. Community service facilities, including auditoriums, libraries, museums, and neighborhood centers.
- d. Educational facilities, including preschools, K-12, colleges, and vocational schools.
- e. Emergency service facilities, including law enforcement, fire fighting, and medical assistance.
- f. Funeral establishments.
- g. Homeless shelters.
- h. Hospitals.
- i. Offices for government agencies or public utilities.
- j. Places of worship.

**k.** Public utility structures, including telecommunications towers, but excluding industrial uses not otherwise permitted.

See also conditional uses in this district.  
(Ord. No. 2015-24, § 1, 7-7-15)

**(5) Recreation and entertainment.**

**a.** Commercial entertainment facilities, indoor or outdoor, including movie theatres, amusement parks, and stadiums, but excluding motorsports facilities. Carnival-type amusements shall be at least 500 feet from any residential district. Bars, nightclubs, and adult entertainment are prohibited in areas with the zoning designation HC/LI-NA or areas zoned ID-CP or ID-1 prior to adoption of HC/LI zoning.

**b.** Commercial recreation facilities, passive or active, including those for walking, hiking, bicycling, camping, recreational vehicles, swimming, skateboarding, bowling, court games, field sports, and golf, but excluding off-highway vehicle uses and outdoor shooting ranges. Campgrounds and recreational vehicle parks require a minimum lot area of five acres.

**c.** Marinas, private and commercial.

**d.** Parks, with or without permanent restrooms or outdoor event lighting.

See also conditional uses in this district.

**(6) Industrial and related.**

**a.** Light industrial uses, including research and development, printing and binding, distribution and wholesale warehousing, and manufacturing, all completely within the confines of buildings and without adverse off-site impacts.

**b.** Marinas, industrial.

**c.** Microbreweries, microdistilleries, and microwineries, except in areas with the zoning designation HC/LI-NA or areas zoned ID-CP or ID-1 prior to adoption of HC/LI zoning.

See also conditional uses in this district.

**(7) Agricultural and related.**

**a.** Food produced primarily for personal consumption by the producer, but no farm animals.

**b.** Nurseries and garden centers, including adjoining outdoor storage or display of plants.

**c.** Veterinary clinics, excluding outside kennels.

See also conditional uses in this district.

**(8) Other uses.**

- a. Billboards structures, excluding areas zoned ID-CP, GBD, or GID prior to adoption of HC/LI zoning.
- b. Building or construction trades shops and warehouses, including on-site outside storage.
- c. Bus leasing and rental facilities.
- d. Deposit boxes for donation of used items when placed as an accessory structure on the site of a charitable organization.
- e. Outdoor adjacent display of plants by garden shops and nurseries.
- f. Outdoor sales.
- g. Outdoor storage of trailered boats and operable recreational vehicles, excluding repair, overhaul or salvage activities.
- h. Parking garages and lots, commercial.
- i. Sales and outdoor display of prefabricated storage sheds.
- j. Self-storage facilities, including vehicle rental as an accessory use.

**Section 2. Severability.**

If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, the holding shall in no way affect the validity of the remaining portions of this ordinance.

**Section 3. Inclusion in the code.**

The Board of County Commissioners intends that the provisions of this ordinance will be codified as required by Section 125.68, Florida Statutes (2015), and that the sections of this ordinance may be renumbered or relettered and the word “ordinance” may be changed to “section,” “article,” or such other appropriate word or phrase in order to accomplish its intentions.

**INTENTIONALLY LEFT BLANK**



**Section 4. Effective date.**

This ordinance shall become effective upon filing with the Department of State.

DONE AND ENACTED this \_\_\_\_ day of \_\_\_\_\_, 2016.

BOARD OF COUNTY COMMISSIONERS  
ESCAMBIA COUNTY, FLORIDA

By: \_\_\_\_\_

, Chairman

ATTEST: Pam Childers  
Clerk of the Circuit Court

By: \_\_\_\_\_

Deputy Clerk

Date Executed: \_\_\_\_\_

(SEAL)

ENACTED:

FILED WITH THE DEPARTMENT OF STATE:

EFFECTIVE DATE:

ORDINANCE NUMBER 2016-\_\_\_\_\_

**AN ORDINANCE OF ESCAMBIA COUNTY, FLORIDA, AMENDING PART III OF THE ESCAMBIA COUNTY CODE OF ORDINANCES, THE LAND DEVELOPMENT CODE OF ESCAMBIA COUNTY, FLORIDA, AS AMENDED, AMENDING CHAPTER 3, ARTICLE 2, SECTION 3-2.11 “HEAVY COMMERCIAL AND LIGHT INDUSTRIAL DISTRICT (HCLI),” TO ADD CRITERIA FOR TEMPORARY SALES OF AUTOMOBILES AS A PERMITTED USE IN HCLI; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Legislature of the State of Florida has, in Chapter 125, Florida Statutes, conferred upon local governments the authority to adopt regulations designed to promote the public health, safety, and general welfare of its citizenry; and

**WHEREAS**, the Board of County Commissioners finds that establishing criteria for temporary sales of automobiles promotes these interests and serves an important public purpose;

**NOW, THEREFORE, BE IT ORDAINED** by the Board of County Commissioners of Escambia County that the following regulation is hereby adopted.

**Section 1.** Part III of the Escambia County Code of Ordinances, the Land Development Code of Escambia County, Chapter 3, Article 2, Section 3-2.11. “Heavy Commercial and Light Industrial district (HCLI),” subsection (b) “Permitted uses,” is hereby amended as follows:

**Sec. 3-2.11 Heavy Commercial and Light Industrial district (HC/LI).**

**(b) Permitted uses.** Permitted uses within the HC/LI district are limited to the following:

**(1) Residential.** Any residential uses if outside of the Industrial (I) future land use category and part of a predominantly commercial development, excluding new or expanded manufactured (mobile) home parks and subdivisions. See also conditional uses in this district.

**(2) Retail sales.** Retail sales, including sales of alcoholic beverages, sales of automotive fuels, and sales of new and used automobiles, motorcycles, boats, and manufactured (mobile) homes. Temporary sales of automobiles are permitted when conducted by a licensed dealership with a permanent sales location within the County or with a County temporary land use certificate issued by the Development Services Department.

**(3) Retail services.**

- a. Car washes, automatic or manual, full service or self-serve.
- b. Child care facilities.
- c. Hotels, motels and all other public lodging, including boarding and rooming houses.
- d. Personal services, including those of beauty shops, health clubs, pet groomers, dry cleaners and tattoo parlors.
- e. Professional services, including those of realtors, bankers, accountants, engineers, architects, dentists, physicians, and attorneys.
- f. Rental of automobiles, trucks, utility trailers and recreational vehicles.
- g. Repair services, including appliance repair, furniture refinishing and upholstery, watch and jewelry repair, small engine and motor services, and major motor vehicle and boat service and repair, but excluding outdoor work or storage.
- h. Restaurants and brewpubs, including on-premises consumption of alcoholic beverages, drive-in and drive-through service, and brewpubs with the distribution of on-premises produced alcoholic beverages for off-site sales. The parcel boundary of any restaurant or brewpub with drive-in or drive-through service shall be at least 200 feet from any LDR or MDR zoning district unless separated by a 50-foot or wider street right-of-way.
- i. Taxi and limousine services.

See also conditional uses in this district.

**(4) Public and civic.**

- a. Broadcast stations with satellite dishes and antennas, including towers.
- b. Cemeteries, including family cemeteries.
- c. Community service facilities, including auditoriums, libraries, museums, and neighborhood centers.
- d. Educational facilities, including preschools, K-12, colleges, and vocational schools.
- e. Emergency service facilities, including law enforcement, fire fighting, and medical assistance.
- f. Funeral establishments.
- g. Homeless shelters.
- h. Hospitals.
- i. Offices for government agencies or public utilities.
- j. Places of worship.

k. Public utility structures, including telecommunications towers, but excluding industrial uses not otherwise permitted.

See also conditional uses in this district.  
(Ord. No. 2015-24, § 1, 7-7-15)

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c. Veterinary clinics, excluding outside kennels.

See also conditional uses in this district.

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**Section 3. Inclusion in the code.**

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**Section 4. Effective date.**

This ordinance shall become effective upon filing with the Department of State.

DONE AND ENACTED this \_\_\_\_ day of \_\_\_\_\_, 2016.

BOARD OF COUNTY COMMISSIONERS  
ESCAMBIA COUNTY, FLORIDA

By: \_\_\_\_\_, Chairman

ATTEST: Pam Childers  
Clerk of the Circuit Court

By: \_\_\_\_\_ Date Executed: \_\_\_\_\_

Deputy Clerk

(SEAL)

ENACTED:

FILED WITH THE DEPARTMENT OF STATE:

EFFECTIVE DATE:

**Committee of the Whole**

**12.**

**Meeting Date:** 12/13/2018

**Issue:** Wheelchair Ramp Partnership Pilot Project

**From:** Meredith Reeves

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**Information**

**Recommendation:**

Wheelchair Ramp Partnership Pilot Project

(Meredith Reeves - 10 min)

A. Board Discussion

B. Board Direction

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**Attachments**

Wheelchair Ramp Pilot Project

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# Wheelchair Ramp Partnership Pilot Project

Committee of the Whole  
12/13/18



# POTENTIAL PARTNER AGENCIES

CIVITAN INTERNATIONAL FOUNDATION

COUNCIL ON AGING OF WEST FLORIDA

HABITAT FOR HUMANITY

RAY OF HOPE

- *Obstacles to doing more ramps are lack of volunteers and material costs.*

# Preliminary Process

- \$50,000 in CDBG funding available
- Solicit RFP for partner agencies
  - County provides funds for materials
    - Average estimated ramp cost \$1000 (will vary based on property and conditions)
  - Agency provides volunteer labor
    - County partnering with multiple agencies
- Eligibility/Referrals
  - Client to be income eligible (at or below 80% area median income)
    - County NED to screen client for eligibility
    - Referrals come through each agency
  - Owner occupied property
  - Property taxes current
  - Provided as a grant

# Board Direction

**Committee of the Whole**

**13.**

**Meeting Date:** 12/13/2018

**Issue:** Mobility Enhancement Grant Pilot Project Start Date

**From:** Mike Crittenden, Director, Mass Transit

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**Information**

**Recommendation:**

Mobility Enhancement Grant Pilot Project Start Date  
(Mike Crittenden and Tonya Ellis - 10 min)

- A. Board Discussion
  - B. Board Direction
- 

**Attachments**

*No file(s) attached.*

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