

AGENDA
ESCAMBIA COUNTY BOARD OF ADJUSTMENT
December 20, 2017–8:30 a.m.
Escambia County Central Office Complex
3363 West Park Place, Room 104

1. Call to Order.
2. Swearing in of Staff and acceptance of staff as expert witness
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.
4. Proof of Publication and waive the reading of the legal advertisement.
5. Approval of Resume Minutes.
- A. Approval of the November 13, 2017, and November 15, 2017, Board of Adjustment Meeting Minutes.
6. **Consideration of the following cases:**
 - A. **Case No.: V-2018-09**

Address: 14599 Innerarity Point Road
Request: Variance to Increase the Maximum Fence Height in a Residential District From Four Feet to Seven Feet
Requested by: Joseph Passeretti, Agent for Michael and Patricia Addison, Owners
 - B. **Case No.: CU-2017-13**

Address: 1230 Perdido Manor Drive
Request: Conditional Use to Construct Permanent Restrooms in a Park Within the Low Density Residential Zoning District
Requested by: Kenneth C. Horne, Agent for Pensacola Christian College Inc, Owner

C. **Case No.: CU-2017-14**

Address: 4211 Mobile Hwy

Request: Conditional Use to Allow Automobile Sales, Used Autos Only, and Automobile Rental Limited to the Same Restrictions as Used Automobile Sales

Requested by: Edward Vigil, Agent for JoAnn Catanese, Divisional VP, Real Estate Kmart Corporation, Owner

D. **Case No.: CU-2017-15**

Address: 60 Rhett Road

Request: Conditional Use to Allow for an Active Outdoor Recreational Facility in the Commercial (Com) Zoning District

Requested by: Ken Horne, Agent for Pensacola Christian College Inc, Owner

7. Discussion Items.

8. Old/New Business.

9. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, January 17, 2018, at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

10. Adjournment.

Board of Adjustment

5. A.

Meeting Date: 12/20/2017

Attachments

Draft November 13, 2017 Board of Adjustment Meeting Minutes

Draft November 15, 2017 Board of Adjustment Meeting Minutes

DRAFT

RESUMÉ OF THE MEETING OF THE BOARD OF ADJUSTMENT HELD November 13, 2017

CENTRAL OFFICE COMPLEX
3363 WEST PARK PLACE, BOARD CHAMBERS
PENSACOLA, FLORIDA
(8:30 A.M. – 10:33 A.M.)

Present: Auby Smith
Bill Stromquist
Jesse Casey
Judy Gund
Jennifer Rigby
Michael Godwin

Absent: Frederick J. Gant

Staff Present: Andrew Holmer, Division Manager, Planning & Zoning
Horace Jones, Director, Development Services
Kayla Meador, Sr Office Assistant
Kristin Hual, Assistant County Attorney

REGULAR BOA AGENDA

1. Call to Order.
2. Swearing in of Staff and acceptance of staff as expert witness
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.

Motion by Board Member Judy Gund, Seconded by Vice Chairman Bill Stromquist

Motion was made to accept the November 13, 2017 BOA meeting packet.
Vote: 6 - 0 Approved
4. Proof of Publication and waive the reading of the legal advertisement.

Motion by Vice Chairman Bill Stromquist, Seconded by Board Member
Judy Gund

The Clerk provided proof of publication and motion was made to accpet.

Vote: 6 - 0 Approved

5. **Consideration of the following cases:**

A. **CASE NO.: AP-2016-01**

ADDRESS: 1999 Massachusetts Avenue

REQUESTED APPEAL: Appeal of the Development Review Committee
denial of project # PSP160400044, Sean's Outpost

REQUESTED BY: William J. Dunaway, Agent for Sean's Outpost, Inc.

No BOA member acknowledged any ex parte communication regarding this
item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of
interest.

Motion by Vice Chairman Bill Stromquist, Seconded by Board Member
Jennifer Rigby

Motion to disagree with Staff and grant the appeal with a 20 ft buffer
based upon competent and substantial evidence presented by Horace
Jones and Andrew Holmer.

Vote: 6 - 0 Approved

6. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday,
November 15, 2017 at 8:30 a.m., at the Escambia County Central Office
Complex, Room 104, 3363 West Park Place.

7. Adjournment.

DRAFT

RESUMÉ OF THE MEETING OF THE BOARD OF ADJUSTMENT HELD November 15, 2017

CENTRAL OFFICE COMPLEX
3363 WEST PARK PLACE, BOARD CHAMBERS
PENSACOLA, FLORIDA
(8:30 A.M. – 9:09 A.M.)

Present: Auby Smith
Bill Stromquist
Jesse Casey
Judy Gund
Jennifer Rigby
Michael Godwin

Absent: Frederick J. Gant

Staff Present: Allyson Cain, Urban Planner, Planning & Zoning
Andrew Holmer, Division Manager, Planning & Zoning
Caleb MacCartee, Urban Planner, Planning & Zoning
Horace Jones, Director, Development Services
Kayla Meador, Sr Office Assistant
Kristin Hual, Assistant County Attorney

REGULAR BOA AGENDA

1. Call to Order.
2. Swearing in of Staff and acceptance of staff as expert witness
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.

Motion by Vice Chairman Bill Stromquist, Seconded by Board Member Judy Gund

Motion was made to accept the November 15, 2017 BOA Meeting Packet.

Vote: 6 - 0 Approved

4. Proof of Publication and waive the reading of the legal advertisement.

Motion by Vice Chairman Bill Stromquist, Seconded by Board Member
Judy Gund

The Clerk provided proof of publication and motion was made to accept.

Vote: 6 - 0 Approved

5. Approval of Resume Minutes.

- A. Approval of October 18, 2017, Board of Adjustment Meeting Minutes.

Motion by Vice Chairman Bill Stromquist, Seconded by Board Member
Judy Gund

Motion was made to approve the October 18, 2017 Resume Minutes.

Vote: 6 - 0 Approved

6. **Consideration of the following cases:**

- A. **Case No.: V-2017-08**

Address: 1333 La Paz Street

Request: Variance to reduce the side yard setback for a dock
from 10' to 5'

Requested by: O. David Chunn, Jr. and Lori Chunn, Owners

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by Vice Chairman Bill Stromquist, Seconded by Board Member
Judy Gund

Motion was made to agree with Staff's Findings of Fact and approve the
Variance.

Vote: 6 - 0 Approved

- B. **Case No.: CU-2017-11**

Address: 2700 Block Century Boulevard

Request: Conditional Use to construct a 350 foot telecommunications tower in Rural Residential (RR) zoning district

Requested by: Mary Palmer, Agent for Daniel and Deborah Carpenter, Owner

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by Vice Chairman Bill Stromquist, Seconded by Board Member Judy Gund

Motion was made to agree with Staff's Findings of Fact and to approve the Conditional Use.

Vote: 6 - 0 Approved

C. **Case No.: CU-2017-12**

Address: 6919 Pensacola Boulevard

Request: Conditional Use to allow the sale of alcohol within 1000' of a place of worship

Requested by: Jay Patel, Owner of Pavarti Lodging LLC

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by Vice Chairman Bill Stromquist, Seconded by Board Member Michael Godwin

Motion was made to agree with Staff's Findings of Fact and to approve the Conditional Use.

Vote: 6 - 0 Approved

7. Discussion Items.

8. Old/New Business.

9. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, December 20, 2017, at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

10. Adjournment.

Board of Adjustment

6. A.

Meeting Date: 12/20/2017
CASE: V-2017-09
APPLICANT: Joseph Passeretti, Agent for Michael and Patricia Addison, Owners
ADDRESS: 14599 Innerarity Point Rd.
PROPERTY REFERENCE NO.: 15-3S-32-1000-001-017
ZONING DISTRICT: MDR, Medium Density Residential district
FUTURE LAND USE: MU-S, Mixed-Use Suburban

SUBMISSION DATA:

REQUESTED VARIANCE:

The Applicant's are seeking a variance to increase the maximum fence height in a residential district from four feet to seven feet.

RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended), Section: 5-9.4

(a) Fence heights in residential districts. Maximum heights for fences constructed in residential districts, except those on Pensacola Beach, shall be:

Front Yard - 4 Feet (Transparent materials which do not obstruct light, air and visibility)

CRITERIA

Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended), Section 2-6.3 (b)

CRITERION (1)

Special conditions and circumstances exist which are peculiar to the land, structure or building and which are not applicable to other lands, structures or buildings in the same zoning district.

FINDINGS-OF-FACT

The parcel in question is a large, waterfront property with an under construction home on site. The depth of the parcel, setback of the home, and scale of the home all are greater than what would be expected in a typical front yard fence situation. These factors present practical difficulties in designing a fence/gate of a corresponding scale given the four foot height limit. The requested fence height variance would allow for a fence in proportion to the land and home.

CRITERION (2)

The special conditions and circumstances do not result from the actions of the applicant.

FINDINGS-OF-FACT

The size and orientation of the property along with the special conditions noted above were all in place at the time of purchase.

CRITERION (3)

Granting the variance requested will not confer on the applicant any special privilege that is denied by this land development code to other lands, buildings or structures in the same zoning district.

FINDINGS-OF-FACT

Granting the requested variance would not grant a special privilege to this property over that which would be available to other properties facing similar hardships.

CRITERION (4)

Strict application of the provisions of the land development code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development code and would create an unnecessary and undue hardship on the applicant..

FINDINGS-OF-FACT

Strict application of the LDC provision in this case would create a hardship given the unique features of the site.

CRITERION (5)

The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure .

FINDINGS-OF-FACT

Given the characteristics of the site, the requested variance would be necessary to build a fence in reasonable scale with the home on the property.

CRITERION (6)

The granting of the variance will be consistent with the general intent and purpose of the land development code and that such variance will not be injurious to the area or otherwise detrimental to the public welfare.

FINDING-OF-FACT:

Granting the requested variance would be consistent with the general intent and purpose of the land development code and would not be injurious to the area or otherwise detrimental to the public welfare.

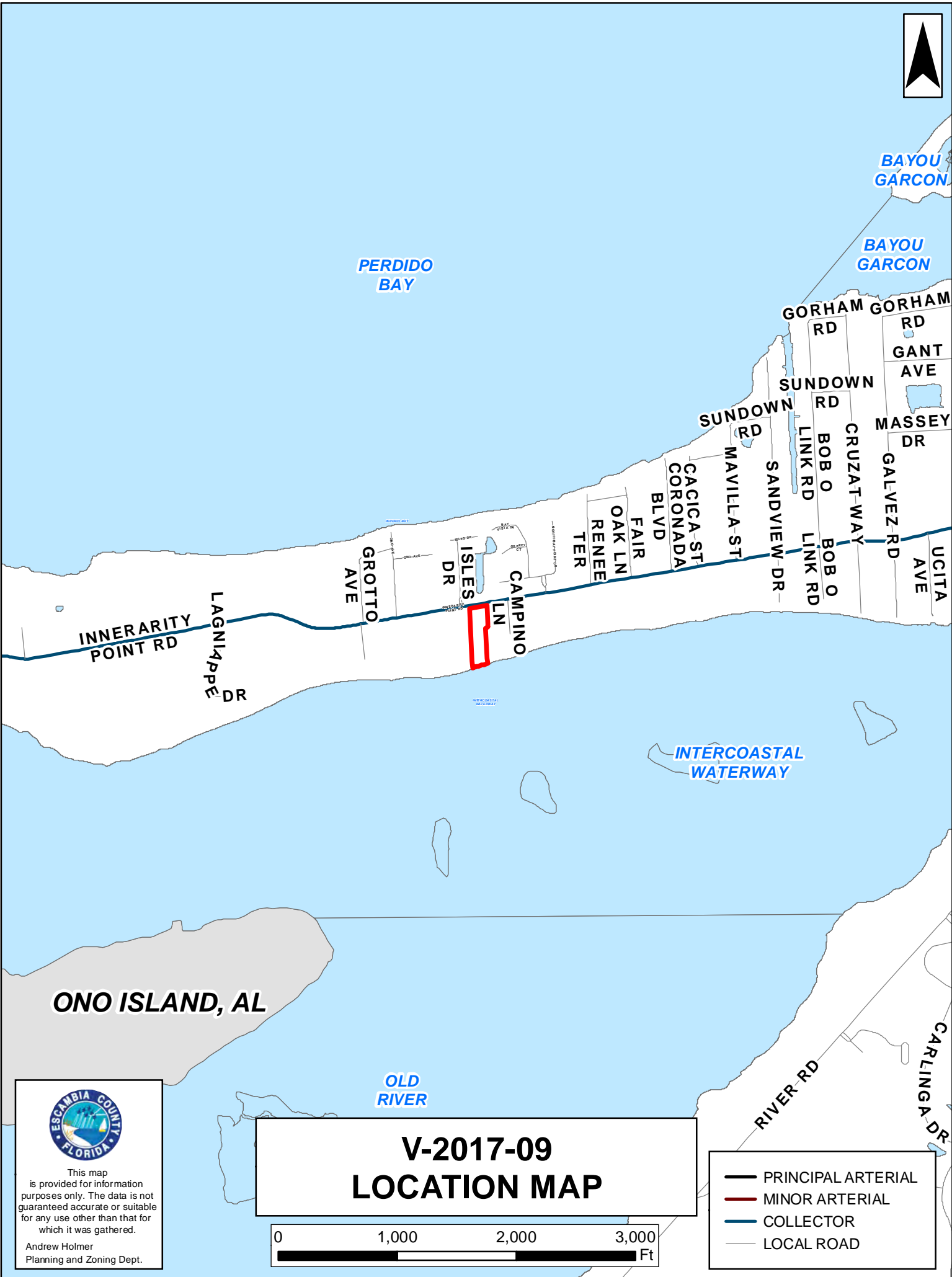
STAFF RECOMMENDATION:

Staff finds that this request meets all of the required criteria and recommends approval of the variance as requested.

Attachments

V-2017-09

V-2017-09



PERDIDO BAY

BAYOU GARCON

BAYOU GARCON

INTERCOASTAL WATERWAY

ONO ISLAND, AL

OLD RIVER



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

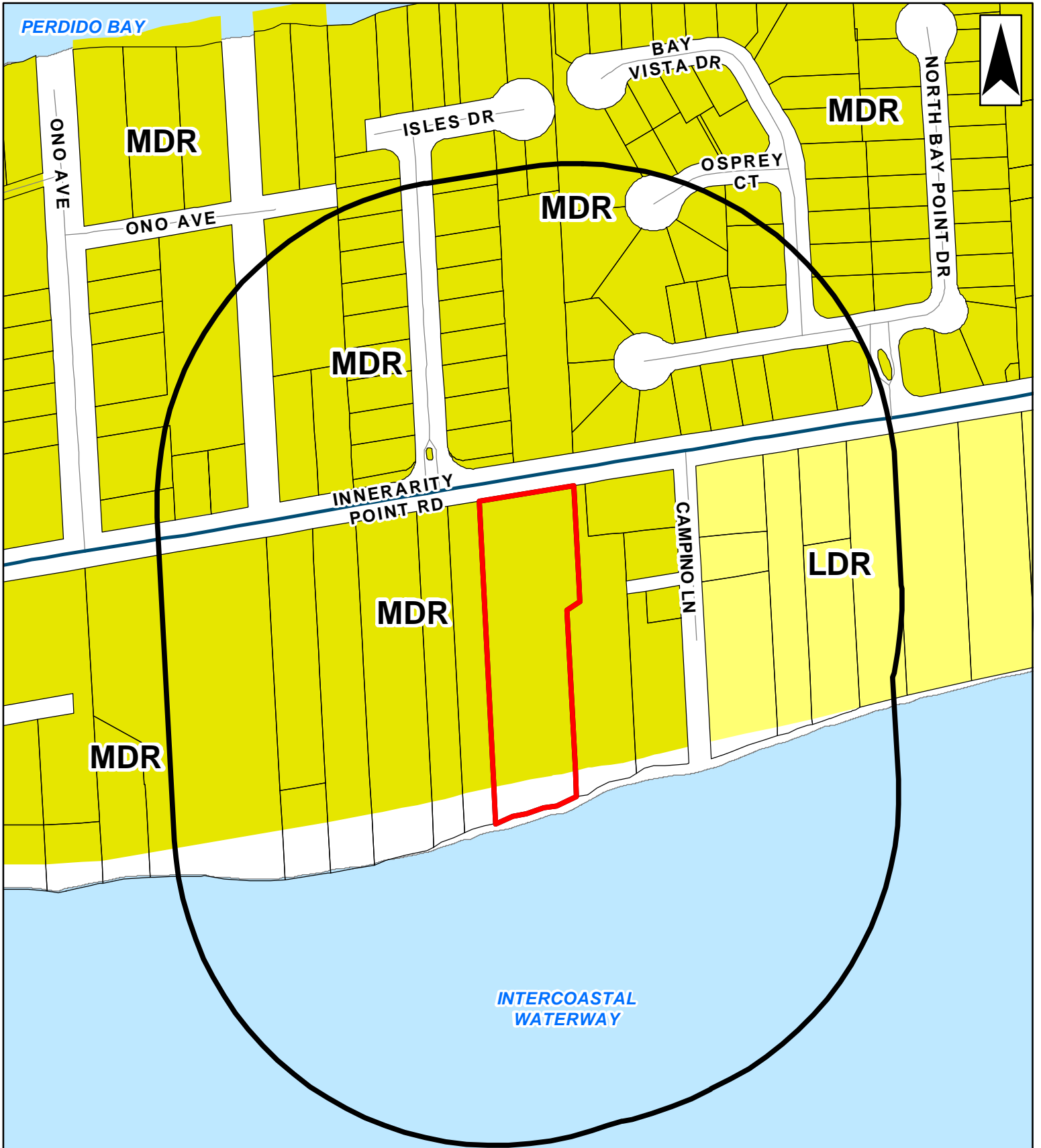
Andrew Holmer
Planning and Zoning Dept.

V-2017-09 LOCATION MAP



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD

PERDIDO BAY



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

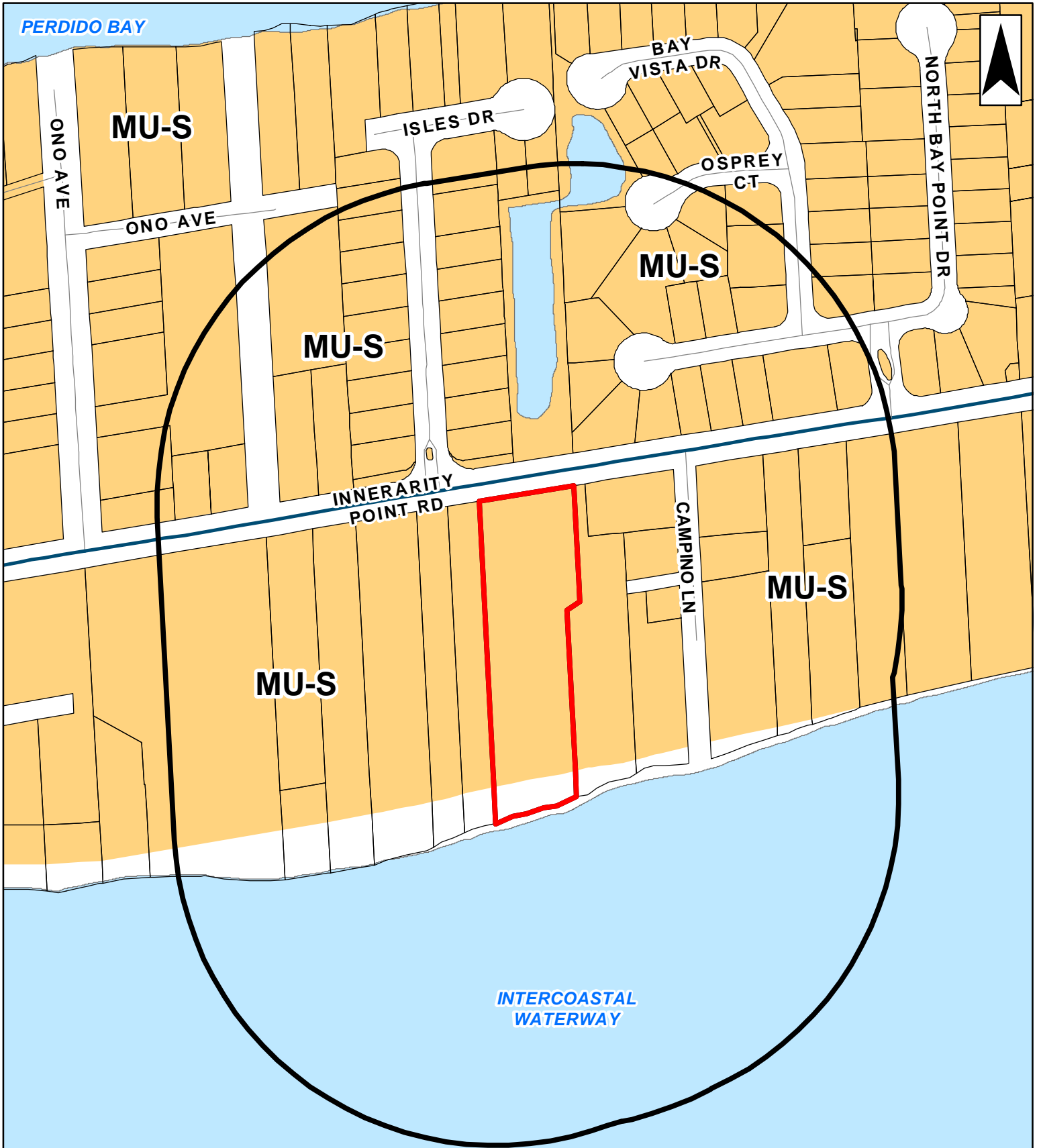
Andrew Holmer
Planning and Zoning Dept.

V-2017-09 500' RADIUS ZONING



- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD

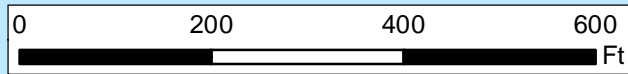
PERDIDO BAY



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2017-09 FUTURE LAND USE



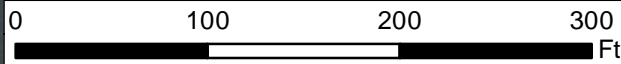
- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2017-09 AERIAL MAP



- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



**NOTICE OF
PUBLIC HEARING
BOARD OF ADJUSTMENT**

TYPE OF REQUEST: VARIANCE

CASE NO: V-2017-09

DATE: 12/20/17 **TIME:** 8:30 AM

LOCATION OF HEARING

ESCAMBIA COUNTY CENTRAL OFFICE COMPLEX
3363 WEST PARK PLACE
BOARD MEETING ROOM

**FOR MORE INFORMATION CALL:
DEVELOPMENT SERVICES AT 595-3475 OR VISIT
WWW.MYESCAMBIA.COM**

**PLEASE DO NOT REMOVE THIS SIGN
PROPERTY OF ESCAMBIA COUNTY**

Notice of Public Hearing Sign



Looking East along
Innerarity Point Rd



Looking Southeast onto site



Looking South onto site



Looking West along Innerarity Point Rd



Looking Northwest
from site



Looking North from site



JOSEPH A. PASSERETTI
BOARD CERTIFIED CONSTRUCTION LAW

BEGGS & LANE RLLP
ATTORNEYS and COUNSELLORS at LAW
SINCE 1883

POST OFFICE Box 12950
PENSACOLA, FLORIDA 32591-2950
TELEPHONE (850) 432-2451
FAX (850) 469-3331

DIRECT DIAL
(850) 469-3307

EMAIL ADDRESS
JAP@BEGGSLANE.COM

E. DIXIE BEGGS
1908 - 2001

BERT H. LANE
1917 - 1981

November 14, 2017

VIA HAND DELIVERY

Andrew Holmer
Escambia County Planning and Zoning
3363 West Park Place
Pensacola, FL 32505

Re: Application for Variance
Michael and Patricia Addison
14599 Innerarity Point Road, Pensacola, FL 32507

Dear Mr. Holmer:

I have been appointed the Authorized Agent in the above matter by Michael and Patricia Addison and enclose the following:

1. Board of Adjustment Application for a Variance
2. Our firm Check No. 094978 in the amount of \$428.50.

If you have any questions or need further information, please contact me. We look forward to getting on the schedule as soon as possible.

Thank you for your assistance.

Sincerely,



Joseph Passeretti

JAP/cv
Enclosure
cc: Client



Escambia County Planning and Zoning

Development Services Department

3363 West Park Place

Pensacola, FL 32505

Phone: (850) 595-3475 • Fax: (850) 595-3481

<http://myescambia.com/business/ds>

Board of Adjustment Application

FOR OFFICE USE ONLY - Case Number: V-2017-09 Accepted by: KM/JF BOA Meeting: _____

Condition Use Request for: _____

Variance Request for: LDC Article 9 Sec. 5-9.4 (Fences) - Adjust Front Yard Fence and Gate Height to 7'.

1. Contact Information:

A. Property Owner/Applicant: Michael and Patricia Addison

Mailing Address: c/o Joseph Passeretti

Business Phone: _____ Cell: _____

Email: _____

B. Authorized Agent (if applicable): Joseph Passeretti

Mailing Address: Beggs & Lane, RLLP, 501 Commendencia Street, Pensacola 32502

Business Phone: _____ Cell: _____

Email: jap@beggslane.com

Note: Owner must complete the attached Agent Affidavit. If there is more than one owner, each owner must complete an Agent Affidavit. Application will be voided if changes to this application are found.

2. Property Information:

A. Existing Street Address: 14599 Innerarity Point Road, Pensacola, FL 32507

Parcel ID (s): 15-3S-32-1000-001-017

B. Total acreage of the subject property: 1.5252

C. Existing Zoning: MDR

FLU Category: MU-S

D. Is the subject property developed (if yes, explain): A single-family home is under construction and nearing completion.

E. Sanitary Sewer: X Septic: _____

3. Amendment Request

A. Please provide a general description of the proposed request, explaining why it is necessary and/or appropriate.

The applicant is seeking a variance to the front yard fence height requirement in residential districts. The fence and gate are consistent with both the neighborhood aesthetic as well as the design concept of the home. The subject lot has allowed for the construction of a large scale residence. The variance is necessary to build a fence that matches the scale of the home which has been built as approved. The Applicant also submits the fence and gate enhance the look of the property as well as provide additional security for the family. Attached hereto as Exhibit 1 are photos of the front elevation of the home. Exhibit 2 is the proposed location of the fence and gate.

B. For Variance Request – Please address ALL the following approval conditions for your Variance request. (use supplement sheets as needed)

1. Special conditions and circumstances exist which are peculiar to the land, structure or building and which are not applicable to other lands, structures or buildings in the same zoning district.

The property is a waterfront property between Innerarity Point Road and the Gulf Intercoastal Waterway. The home is set back from Innerarity Point Road facing the roadway. The proposed fence would be an unobtrusive addition to the area. It is designed to blend in with the existing homes/fences in the area and to provide a measure of privacy and security for family and guests. The fence will provide an attractive entry to anyone traveling in the area as well as a safe and secure spot for family and guests to enjoy the property and its many unique features. Attached hereto as Exhibit 3 is an artist rendering of the proposed fence and gate.

2. The special conditions and circumstances do not result from the actions of the applicant.

The recent construction of the home on the property has not created any special conditions or circumstances on the property. For safety purposes, the owners wish to install a fence and gate along the road. Also, upon completion of the home the applicant submits the proposed fence and gate are in keeping with the appearance of the home and surrounding area but will not interfere with the right of enjoyment of our neighbors in their property. The proposed fence will include an automated gate, stucco knee wall with columns and powder-coated aluminum fencing in between with a maximum height of 6' - 7'.

- 3. Granting the variance requested will not confer on the applicant any special privilege that is denied by this land development code to other lands, buildings or structures in the same zoning district.**

Many of the homes in the area have a front yard fence for the same purpose. Attached as Exhibit 3 are three comparable properties with similar fences near the subject property. The proposed fence and gate are designed to match the home without being obtrusive to the surrounding homes and neighborhoods. As demonstrated by Exhibit 3, the proposed gate and fence are similar to others in the area and would not diminish the surrounding property values or affect the inhabitants of Escambia County in any adverse way.

- 4. Strict application of the provisions of the land development code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development code and would create an unnecessary and undue hardship on the applicant.**

The proposed fence is similar to other fences near the subject property. The structure would allow adequate light and air to adjacent properties. The proposed structure is also the appropriate size and scale needed for a suitable structure that enhances the appearance and value of the home while providing the security that other homeowners in the area enjoy.

- 5. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.**

The variance sought is the minimum necessary to make reasonable use of the Applicant's property. Further, the fence is consistent with similar fences built on nearby properties.

- 6. The granting of the variance will be consistent with the general intent and purpose of the land development code and that such variance will not be injurious to the area or otherwise detrimental to the public welfare.**

The proposed fence does not violate either the spirit or intent of the Land Development Code. As shown in Exhibit 4, other fences along Innerarity Point Road demonstrate the impact the proposed fence will have on the area. We have found numerous similar structures in addition to those depicted in Exhibit 4 that exist in the area. One of the design goals is to match similar nearby fences closely. For example, comparable number 1 included in Exhibit 3 incorporates the same stucco finishes on the knee wall.

7. **Signs and lighting.** All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

4. **Please complete the following form (if applicable): Affidavit of Owner/Limited Power of Attorney**

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY
(if applicable)

As owner of the property located at 14599 Innerarity Point Road, Pensacola, FL 32507
_____, Florida, property reference number(s) 15-3S-32-1000-001-017
_____ I hereby designate Joseph A. Passeretti of
Beggs & Lane, RLLP for the sole purpose of completing this application and making a presentation to the Planning Board and the Board of County Commissioners to request a rezoning on the above referenced property. This Limited Power of Attorney is granted on this _____ day of _____ the year of, _____, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: Joseph A. Passeretti Email: jap@beggslane.com
Address: 501 Commendancia Street, Pensacola, FL 32502 Phone: (850) 432-2451

[Signature]
Signature of Property Owner
[Signature]
Signature of Property Owner

Michael Addison
Printed Name of Property Owner
Patricia Addison
Printed Name of Property Owner

11/13/2017
Date
11/13/2017
Date

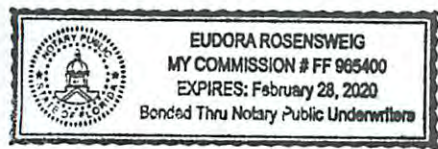
STATE OF Florida COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 13 day of November 20 17, by Michael and Patricia Addison.

Personally Known OR Produced Identification . Type of Identification Produced: _____

[Signature]
Signature of Notary

Eudora Rosensweig
Printed Name of Notary



(Notary Seal)

5. Submittal Requirements

A. ✓ Completed application: All applicable areas of the application shall be filled in and submitted to the Planning and Zoning Department, 3363 West Park Place, Pensacola, FL 32505.

B. Application Fees: To view fees visit the website: <http://myescambia.com/business/board-adjustment> or contact us at 595-3448

Note: Fees include all notices and advertisements required for the public hearing and a \$5 technical fee. Payments must be submitted prior to 3 pm of the closing date of acceptance of application. Please make checks payable to Escambia County. MasterCard and Visa are also accepted.

C. ✓ Legal Proof of Ownership (ex: copy of Tax Notice or Warranty Deed) AND a Certified Boundary Survey (Include Corporation/LLC documentation if applicable.)

D. NA Compatibility Analysis (if applicable): If the subject property does not meet the roadway requirements of Locational Criteria, a compatibility analysis prepared by the applicant is required to provide substantial evidence of unique circumstances regarding the parcel or use that were not anticipated by the alternative criteria. (See "Documented Compatibility" within the request zoning district of the LDC.)

E. ✓ Signed and Notarized Affidavit of Owner/Limited Power of Attorney AND Concurrency Determination Acknowledgement (pages 4 and 5).

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

 Signature of Owner/Agent
Patricia Addison
 Signature of Owner

Michael Addison
 Printed Name Owner/Agent
Patricia Addison
 Printed Name of Owner

11/13/2017
 Date
11/13/2017
 Date

STATE OF Florida COUNTY OF Escambia The foregoing instrument was acknowledged before me this 13 day of November 20 17 by Michael and Patricia Addison

Personally Known OR Produced Identification . Type of Identification Produced: _____

 Signature of Notary

Eudora Rosensweig
 Printed Name of Notary (notary seal)



Exhibit 1





Exhibit 2







Exhibit 3

ADDISON ENTRY GATE/FENCE

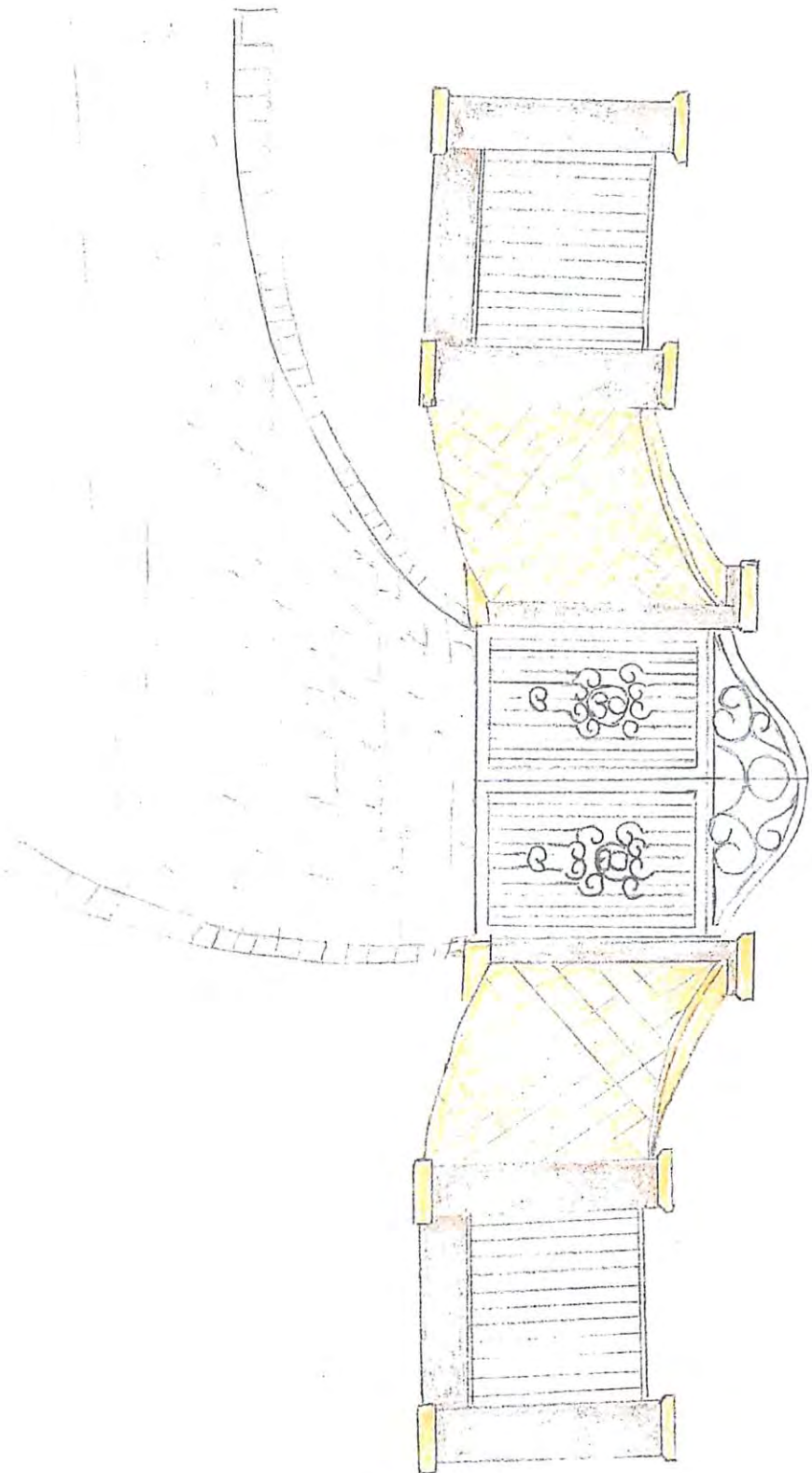


Exhibit 4

Comparable No. 1

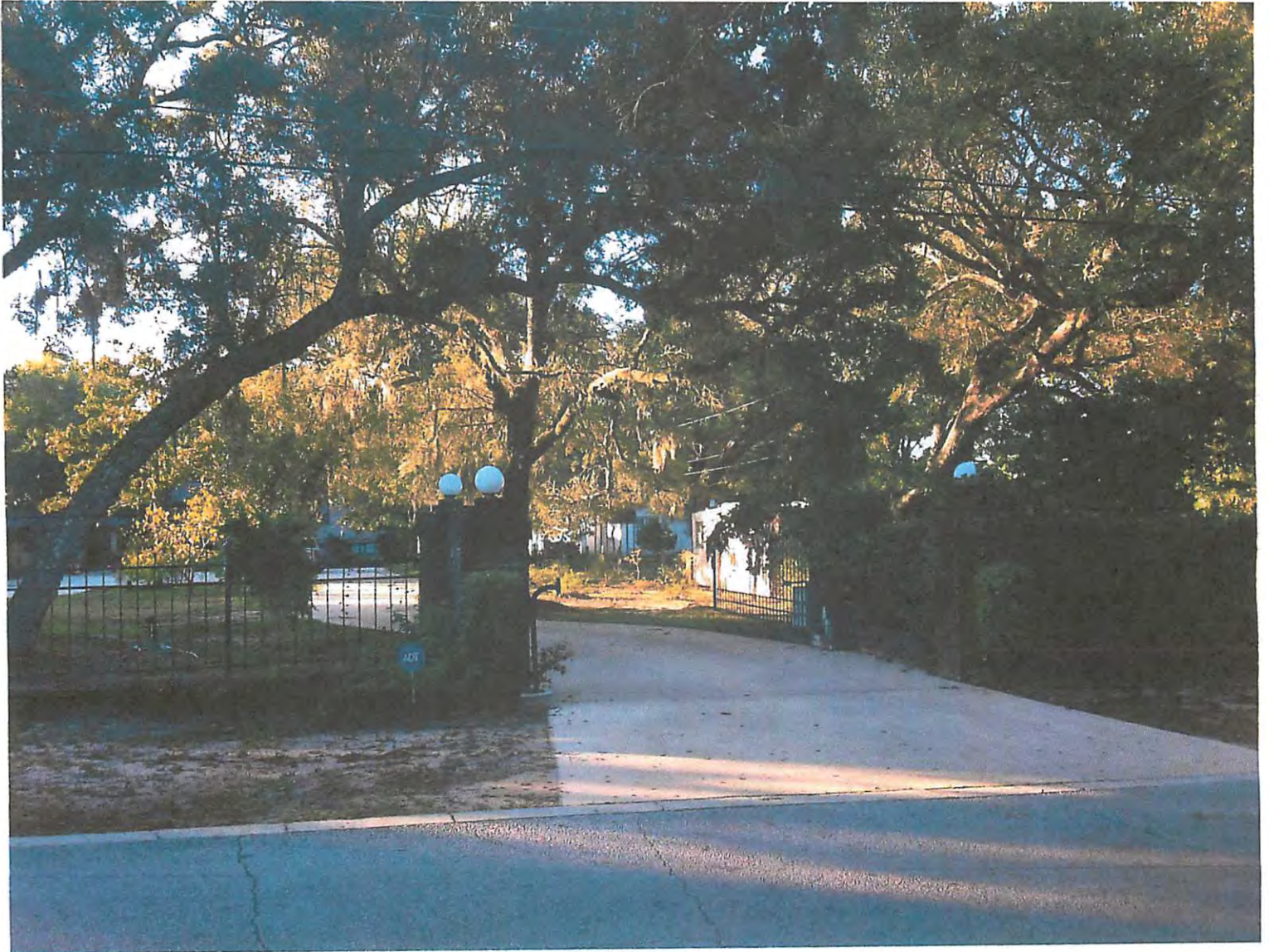


Comparable No. 2



Comparable No. 3





Warranty Deed
(Proof of Ownership)

Recorded in Public Records 06/11/2015 at 09:16 AM OR Book 7358 Page 892,
Instrument #2015043958, Pam Childers Clerk of the Circuit Court Escambia
County, FL Recording \$18.50 Deed Stamps \$4060.00

This Instrument Prepared By:
Kimberly M. Biggs
Gulf Coast Title Agency, LLC
2803 E Cervantes St, Ste A
Pensacola, Florida 32503
(850) 202-6938
15-131

Parcel ID: 153s32-1000-001-017

STATE OF FLORIDA
COUNTY OF ESCAMBIA

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that Angela McNamer, an unmarried woman (herein "Grantor"), for and in consideration of the sum of Ten Dollars and other good and valuable considerations, the receipt, adequacy and sufficiency of which is hereby acknowledged, does hereby bargain, sell, remise, confirm, convey and grant unto Michael Addison and Patricia Addison, husband and wife (herein "Grantee"), whose address is 6200 Pensacola Blvd., Pensacola, FL 32505, and Grantee's heirs, successors and/or assigns, forever, the following described real property located in Escambia County, Florida:

The West 100 feet of the East 150 feet of Block 17, the East 50 feet of Block 17, all of Lot 6, Block 16, the West half of Lot 5, Block 16, all in Innerarity Point, Section 15, Township 3 South, Range 32 West, Escambia County, Florida, according to map recorded in Deed Book 94, at Page 609 of the public records of Escambia County, Florida, less and except property described in Official Records Book 237, Page 333 and Official Records Book 167, Page 321, of the Public Records of Escambia County, Florida.

The subject property is not the homestead of Grantor, nor does it adjoin the homestead of Grantor. No member of Grantor's family resides thereon.

Subject to zoning restrictions, prohibitions and other requirements imposed by governmental authorities; restrictions of record and matters appearing on the Plat, if there is a recorded Plat, affecting the above-described property; easements and mineral reservations of record affecting the property, if any, which are not hereby reimposed; and any liens for ad valorem real property taxes for the year 2015, and subsequent years.

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, free from all exemptions and right of homestead, in fee simple forever. And Grantor covenants that Grantor is well seized of an indefeasible estate in fee simple in said property and has a good right to convey the same; that it is free of lien or encumbrances, and that Grantor, Grantor's heirs, executors, administrators, successors and assigns, will forever warrant and defend title to the above-described property against the lawful claims of all persons whomsoever, subject to the exceptions set forth herein.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hands and seals effective the 10th day of June, 2015.

Signed, sealed and delivered in the presence of:

[Signature]
Name: Serina Bass

[Signature]
Angela McNamer

5764 Cacica St., Unit A, Pensacola, FL 32507

[Signature]
Name: Kimberly M Biggs

STATE OF FLORIDA
COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 10th day of June, 2015, by Angela McNamer, who did not take an oath and who:

 is/are personally known to me.
 produced current FL driver's license as identification.
 produced as identification.

[Signature]
Notary Public

Name of Notary Printed
My Commission Expires:
Commission Number



Board of Adjustment

6. B.

Meeting Date: 12/20/2017
CASE: CU-2017-13
APPLICANT: Kenneth C. Horne, Agent for Pensacola Christian College Inc, Owner
ADDRESS: 1230 Perdido Manor Drive
PROPERTY REFERENCE NO.: 03-2S-32-1000-002-005,
03-2S-32-1000-001-005
ZONING DISTRICT: LDR, Low Density Residential district,
HDMU, High Density Mixed-use district
FUTURE LAND USE: MU-S, Mixed-Use Suburban, MU-U,
Mixed-Use Urban
OVERLAY DISTRICT: N/A

SUBMISSION DATA:

REQUESTED CONDITIONAL USE:

The applicant is seeking conditional use approval to construct permanent restrooms in a park within the Low Density Residential zoning district.

RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Sec. 3-2.5(c)(3)b. Low Density Residential district (LDR).

(c) Conditional uses.

(3) Recreational and entertainment

b. Parks with permanent restrooms or outdoor event lighting.

CRITERIA:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section 2-6.4

CRITERION (a)

General compatibility. The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area.

FINDINGS-OF-FACT:

The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area. The closest residential use in the area is over 500 feet from the proposed restrooms on the parcel(s).

CRITERION (b)

Facilities and services. Public facilities and services, especially those with adopted levels of service, will be available, will provide adequate capacity to serve the proposed use consistent with capacity requirements.

FINDINGS-OF-FACT:

Water will be provided by ECUA and sanitary sewer service will be established with an on-site sewage treatment as stated by the applicant. Additional facilities and services will be reviewed during the site plan review process.

CRITERION (c)

On-site circulation. Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

FINDINGS-OF-FACT:

Ingress to and egress from the site and its structures are sufficient. Additional on-site circulation requirements will be reviewed during the site plan review process.

CRITERION (d)

Nuisances and hazards. The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

FINDINGS-OF-FACT:

The proposed use does not appear to have any associated nuisances and hazards that will effect adjoining properties and other properties in the immediate area.

CRITERION (e)

Solid waste. All on site solid waste containers will be appropriately located for functional access, limited off-site visibility and minimal odor and other nuisance impacts.

FINDINGS-OF-FACT:

According to the applicant, solid waste receptacles are located on-site. The applicant states the receptacles will be maintained by Pensacola Christian College (PCC) staff, and waste will be transferred to the Escambia County Landfill. Additional requirements will be reviewed during the site plan review process.

CRITERION (f)

Screening and buffering. Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

FINDINGS-OF-FACT:

A natural vegetative buffer is located to the north of the proposed use and appears to adequately screen the proposed use from the residential use to the north. Additional screening and buffering requirements will be reviewed during the site plan review process.

CRITERION (g)

Signs and lighting. All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

FINDINGS-OF-FACT:

According to the applicant, minimal signs and lighting will be utilized for the proposed use and will not effect adjoining properties and other properties in the immediate area. Additional sign and lighting requirements will be reviewed during the site plan review process.

CRITERION (h)

Site characteristics. The size, shape, location and topography of the site appear adequate to accommodate the proposed use, including setbacks, intensity, bulk, height, open space and aesthetic considerations.

FINDINGS-OF-FACT:

The site characteristics appear to adequately accommodate the proposed use. Given the overall size of the site, the impact from the addition of restrooms will be minimal.

CRITERION (i)

Use requirements. The proposed use complies with any additional conditional use requirements of the applicable zoning district, use, or other provisions of the LDC.

FINDINGS-OF-FACT:

Staff finds the proposed use will comply with all conditional use requirements of the zoning district and use.

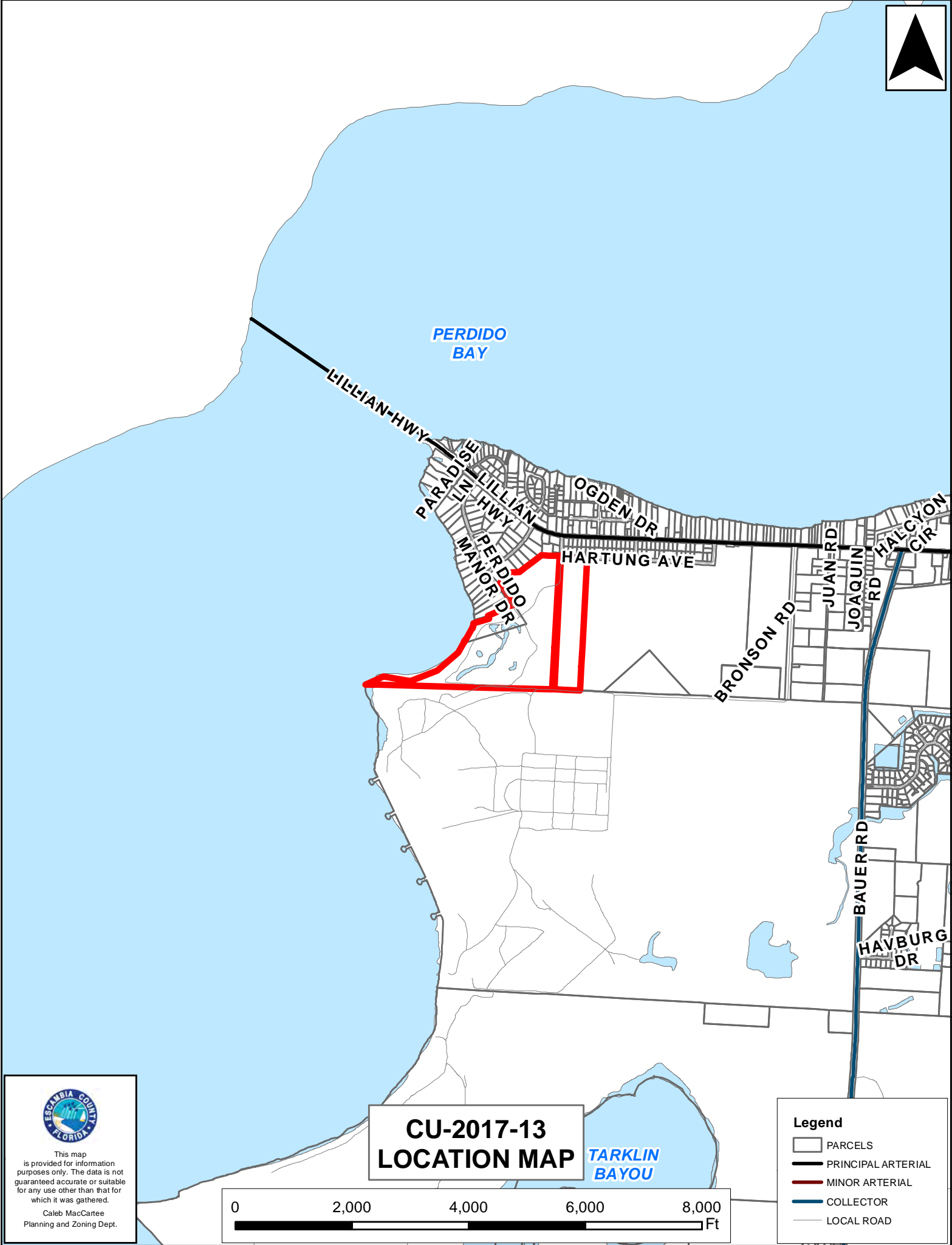
STAFF FINDINGS

Staff recommends approval of this conditional use application.

Attachments

CU-2017-13

CU-2017-13



PERDIDO BAY

LILLIAN-HWY

PARADISE LN
LILLIAN HWY
PERDIDO MANOR DR

OGDEN DR

HARTUNG AVE

BRONSON RD

JUAN RD
JOAQUIN RD

HALCYON CIR

BAUER RD

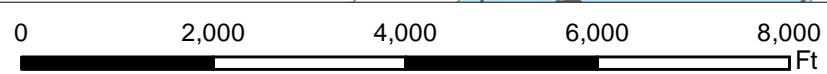
HAVBURG DR

TARKLIN BAYOU

CU-2017-13 LOCATION MAP

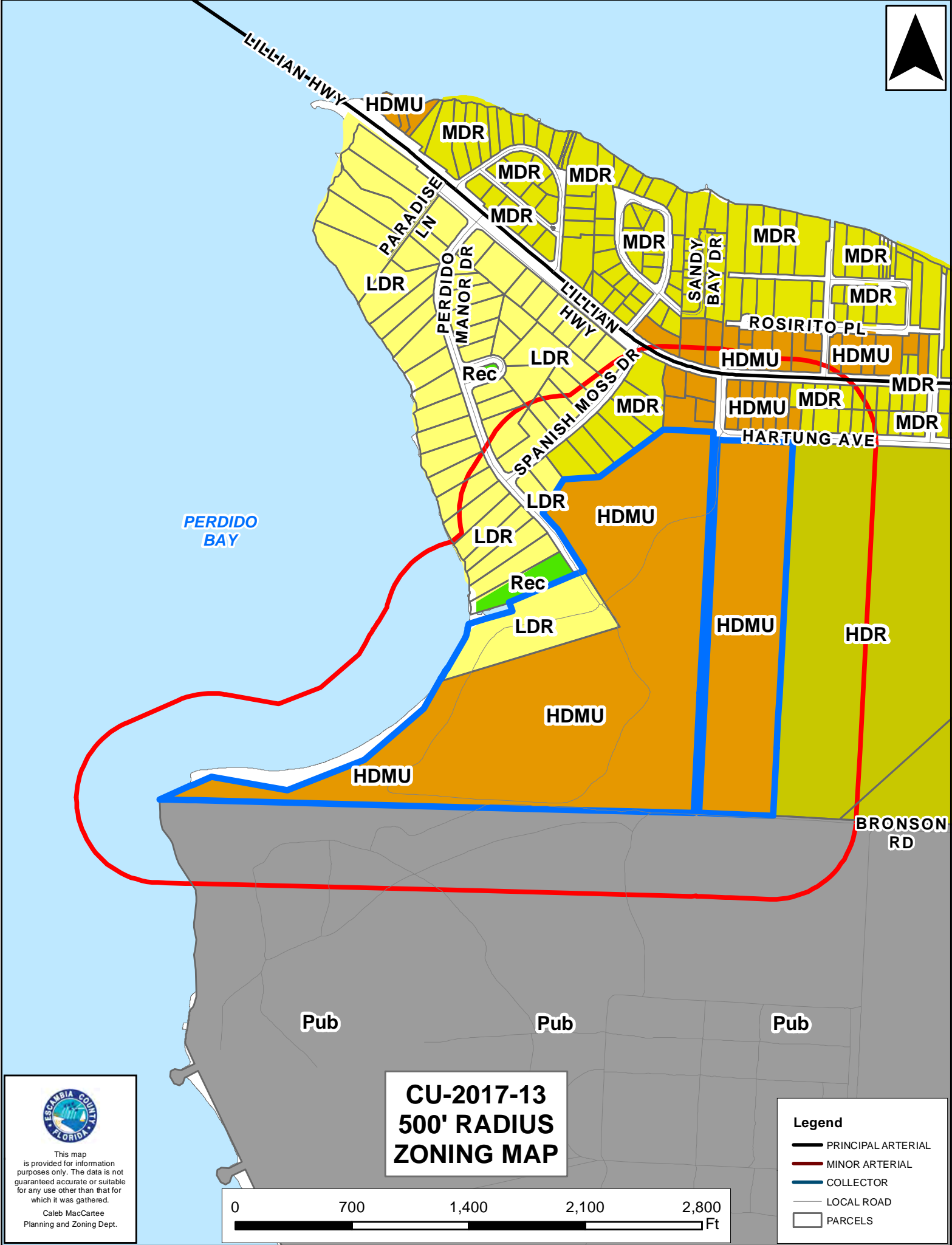
Legend

- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Caleb MacCartee
Planning and Zoning Dept.



PERDIDO BAY

HDMU

MDR

MDR

MDR

MDR

MDR

MDR

MDR

MDR

MDR

LDR

Rec

LDR

MDR

HDMU

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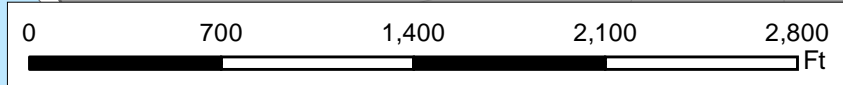
BRONSON RD

Pub


Pub

Pub

CU-2017-13 500' RADIUS ZONING MAP

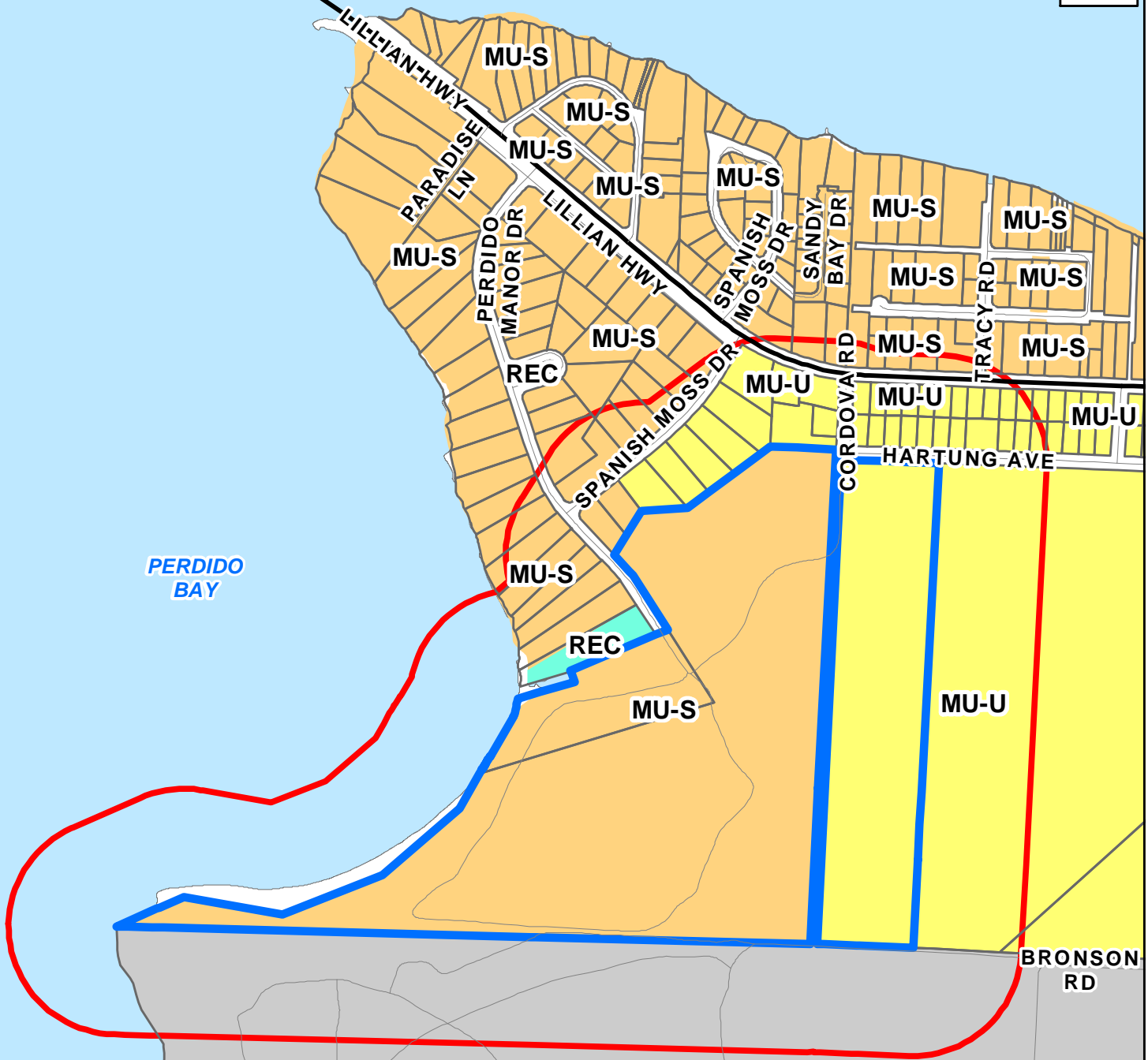


- Legend**
- PRINCIPAL ARTERIAL
 - MINOR ARTERIAL
 - COLLECTOR
 - LOCAL ROAD
 - PARCELS



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Caleb MacCartee
Planning and Zoning Dept.



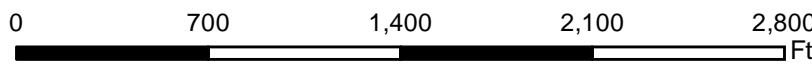
PERDIDO BAY

BRONSON RD

**CU-2017-13
500' RADIUS
FUTURE LAND USE MAP**

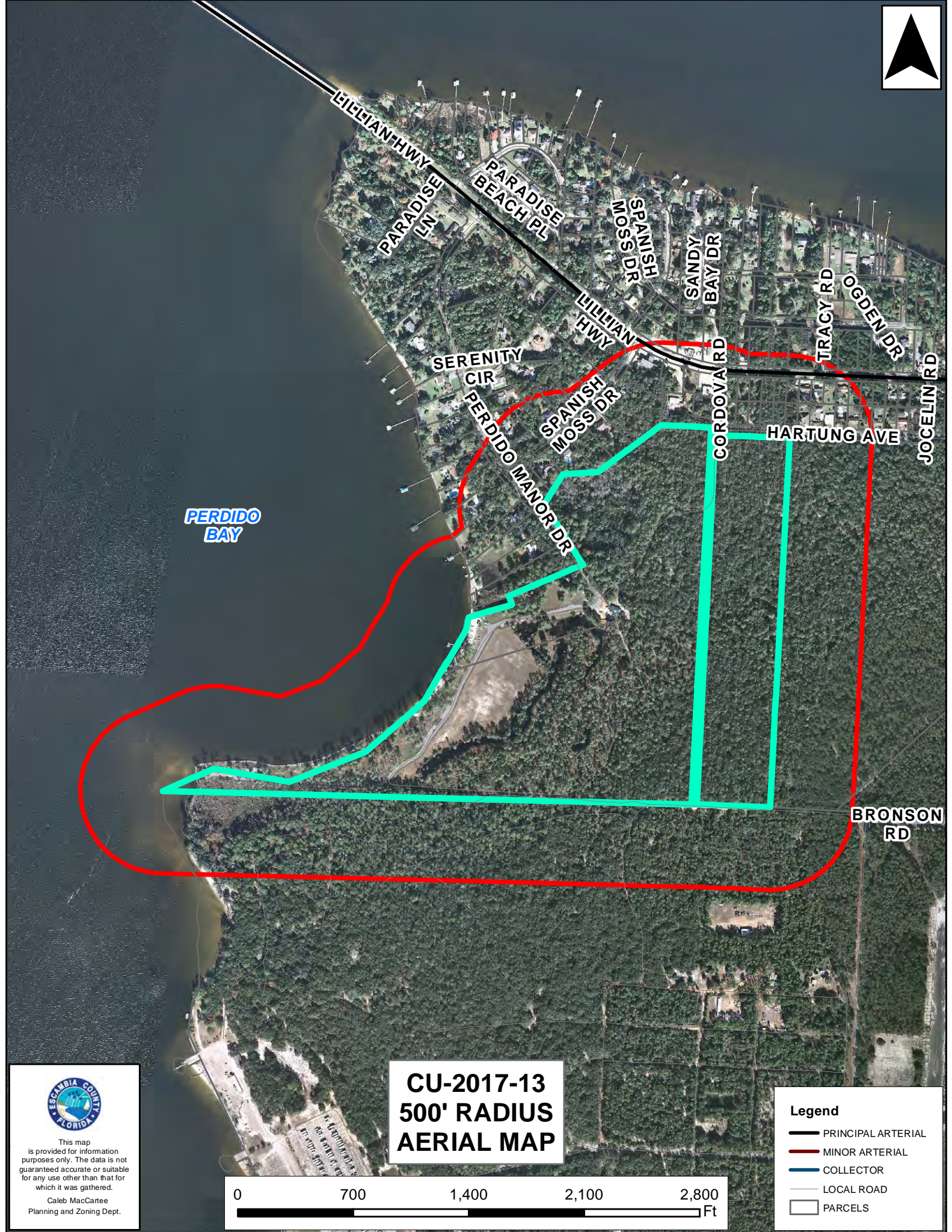
Legend

- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



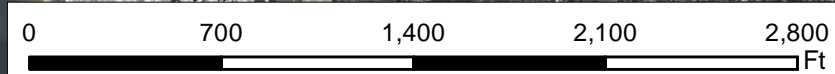
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Caleb MacCartee
Planning and Zoning Dept.




PERDIDO BAY

CU-2017-13 500' RADIUS AERIAL MAP



Legend	
	PRINCIPAL ARTERIAL
	MINOR ARTERIAL
	COLLECTOR
	LOCAL ROAD
	PARCELS



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Caleb MacCartee
Planning and Zoning Dept.



Notice of Public Hearing sign



Looking South toward property
along Perdido Manor Dr



Looking North from property along
Perdido Manor Dr



Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS

October 24, 2017

Mr. Andrew D. Holmer
Development Services Manager
Escambia County
3363 West Park Place
Pensacola, Florida 32505

Re: Conditional Use Application – Pensacola Christian College, Inc.
West Campus Storage Building and Restroom
PSP170900146
KH&A Project No. 2017 22

Dear Mr. Holmer,

On behalf of Pensacola Christian College, Inc., we hereby submit the following items required for review and approval of the Conditional Use Request for the subject project.

1. This letter identifying the project and listing the items submitted.
2. A check payable to Escambia County in the amount of \$1,275.50 for the Conditional use Application submittal fee.
3. A copy of the Conditional Use Application Form & Associated Exhibits (Proof of Ownership Doc & Survey).
4. One (1) set of the proposed site plans with vicinity map.
5. One (1) copy of the DRC Application Form with site design narrative.

The above listed items are submitted both on CD and as a hard copy. I believe this fulfills the requirement for review of this project. If you have any questions or need additional information, feel free to call me.

Very truly yours,

KENNETH HORNE & ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "Kenneth C. Horne", is written over the typed name.

Kenneth C. Horne, PE
President

CC: Mr. Dan Moye, PCC



Escambia County Planning and Zoning
Development Services Department
3363 West Park Place
Pensacola, FL 32505
Phone: (850) 595-3475 • Fax: (850) 595-3481
<http://myescambia.com/business/ds>

Board of Adjustment Application

FOR OFFICE USE ONLY - Case Number: _____ Accepted by: _____ BOA Meeting: _____

Condition Use Request for: Permanent Restrooms in support of existing recreational use in LDR Zone with MU-3 FLU.

1. Contact Information:

A. Property Owner/Applicant: Pensacola Christian College, Inc.

B. Mailing Address: 250 Brent Lane, Pensacola, FL 32503

Business Phone (850) 478-8496 Cell: (N/A)

Email: dmoyle@pcci.edu

C. Authorized Agent (if applicable): Kenneth C. Horne, PE

Mailing Address: 7201 North Ninth Avenue, Pensacola, FL 32504

Business Phone: (850-471-9005) Cell: (850-206-6067)

Email: ken@kh-a.com

Note: Owner must complete the attached Agent Affidavit. If there is more than one owner, each owner must complete an Agent Affidavit. Application will be voided if changes to this application are found.

2. Property Information:

A. Existing Street Address: 1230 Perdido Manor Drive

Parcel ID (s): 03-2S-32-1000-002-005, 03-2S-32-1000-001-005

B. Total acreage of the subject property: 92.96

C. Existing Zoning: "LDR", &

HDMU FLU Category: MU-3

D. Is the subject property developed (if yes, explain): Yes. The property is currently developed as a recreational facility supporting water related activities and field sports.

E. Sanitary Sewer: _____ Septic: X

3. Amendment Request

- A. Please provide a general description of the proposed request, explaining why it is necessary and/or appropriate.

The request is to allow construction of a permanent restroom facility to support the day-use recreational activities at the site. The permanent structure will be more aesthetically appealing than the temporary facilities currently in use and will afford a more economical solution for the small amount of waste generated by use of the facility.

- B. For Variance Request – **NA**

- C. For Conditional Use Request – Please address ALL the following approval conditions for your Conditional Use request. (use supplement sheets as needed)

1. General compatibility. The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area.

The proposed addition of a permanent restroom facility will be entirely benign relative to any potential impacts on the neighborhood or surrounding properties. The entire recreational facility is within a controlled perimeter with locked gate and resident overseer ensuring no illicit activity within the restroom facility. The facility will be more aesthetically appealing when viewed from Perdido Bay than portable facilities. It will be designed to comply with ALL applicable provisions of the Escambia County Land Development Code. This will be ensured by the standard Development Review process.

2. Facilities and services. Public facilities and services, especially those with adopted levels of service, will be available; will provide adequate capacity to serve the proposed use consistent with capacity requirements.

Water service is provided by the Emerald Coast Utilities Authority (ECUA). Sanitary sewer service for the small amount of waste generated will be achieved by provision of an on-site sewage treatment system in accordance with Chapter 64E-6, FAC, Standards for Onsite Sewage Treatment and Disposal Systems. This will be reviewed and approved by the Escambia County office of the Florida Department of Health.

Stormwater will be managed by provision of a small stormwater treatment facility treating the runoff from the roof of the proposed facilities. (No new asphalt pavement of parking is required or proposed as this was constructed under previously approved and completed Development Orders). Approval for the stormwater management has already been granted by the Florida Department of Environmental Protection under permit number 0128840-009-EI/17 issued on September 28, 2017. Escambia County tentative approval has also been granted by sign-off on the Stormwater Disposition Sheet as part of the Escambia County Development Review process.

3. On-site circulation. Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

No Changes in current access provisions are proposed.

4. Nuisances and hazards. The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

The existing recreational use is consistent with surrounding uses. The site is bordered on the north by an unimproved Escambia County Park parcel and on the south by a US Navy Bronson Field recreational area. The scale and or intensity of the existing use will not be altered by the addition of the proposed permanent restroom facilities. The proposed facility will not generate noise, dust, smoke, odor, vibration, electrical interference, or other nusances or hazards to adjoining properties.

5. Solid waste. All on-site solid waste containers will be appropriately located for functional access, limited off-site visibility and minimal odor and other nuisance impacts.

Solid Waste receptacles are located on site and serviced by Pensacola Christian College staff with waste transferred to the Escambia County Landfill.

6. Screening and buffering. Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

The proposed facilities will be more aesthetically pleasing than the currently approved portable restrooms. The facilities are separated from the nearest residential property by an existing unimproved Escambia County Park parcel.

7. Signs and lighting. All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

No new signage or lighting is proposed for the project with the exception of Mens/Womens identifiers on the structure and wayfinding lighting on the structure. The proposed facility will be developed in accordance with all Escambia County Land Development Code Requirements.

4. Please complete the following form (if applicable): Affidavit of Owner/Limited Power of Attorney

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY
(if applicable)

As owner of the property located at 1230 Perdido Manor Drive, Florida,
property reference number(s) 03-25-32-1000-002-005, 03-25-32-1000-001-005

I hereby designate Kenneth C. Horne, PE or designee for the sole purpose of completing this application and making a presentation to the Board of Adjustment, Planning Board and/or the Board of County Commissioners to request a rezoning on the above referenced property. This Limited Power of Attorney is granted on this _____ day of _____ the year of _____, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: Kenneth C. Horne, PE Email: ken@kh-a.com
Address: 7201 North Ninth Avenue Phone: (850) 471-9005

Troy Shoemaker
Signature of Property Owner

Dr. Troy Shoemaker, President, PCCI
Printed Name of Property Owner

10/26/17
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF FLORIDA COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 26 day of October 2017,
by Troy A. Shoemaker.

Personally Known X. Produced Identification - type of identification produced:

Karen L. Zila
Signature of Notary

Karen L. Zila
Printed Name of Notary



KAREN L. ZILA
Commission # 00118847
Expires June 26, 2021
Bonded thru Budget Notary Services

5. Submittal Requirements

A. _____ Completed application: All applicable areas of the application shall be filled in and submitted to the Planning and Zoning Department, 3363 West Park Place, Pensacola, FL 32505.

B. _____ Application Fees: To view fees visit the website:

<http://myescambia.com/business/board-adjustment> or contact us at 595-3448

Note: Fees include all notices and advertisements required for the public hearing and a \$5 technical fee. Payments must be submitted prior to 3 pm of the closing date of acceptance of application. Please make checks payable to Escambia County. MasterCard and Visa are also accepted.

C. _____ Legal Proof of Ownership (ex: copy of Tax Notice or Warranty Deed) AND a Certified Boundary Survey (Include Corporation/ LLC documentation if applicable.)

D. _____ Compatibility Analysis (if applicable): If the subject property does not meet the roadway requirements of Locational Criteria, a compatibility analysis prepared by the applicant is required to provide substantial evidence of unique circumstances regarding the parcel or use that were not anticipated by the alternative criteria. (See "Documented Compatibility" within the request zoning district of the LDC.)

E. _____ Signed and Notarized Affidavit of Owner/ Limited Power of Attorney AND Concurrency Determination Acknowledgement (pages 4 and 5).

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Kenneth C. Horne
Signature of Owner/ Agent

Kenneth C. Horne
Printed Name Owner/ Agent

10/24/17
Date

Signature of Owner

Printed Name of Owner

Date

STATE OF Florida COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 24th day of October 2017, by Kenneth C. Horne.

Personally Known Produced Identification - type of identification produced: _____

Belinda G. Rowell
Signature of Notary

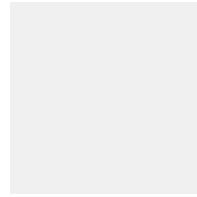
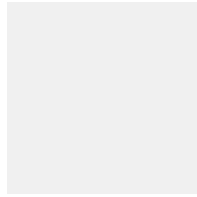
Belinda G. Rowell
Printed Name of Notary

(Notary Seal)

BELINDA G. ROWELL
NOTARY PUBLIC, STATE OF FLORIDA
Commission No. GG 24815
My Commission Expires Nov. 7, 2020

PROOF OF OWNERSHIP

Source: Escambia County Property Appraiser



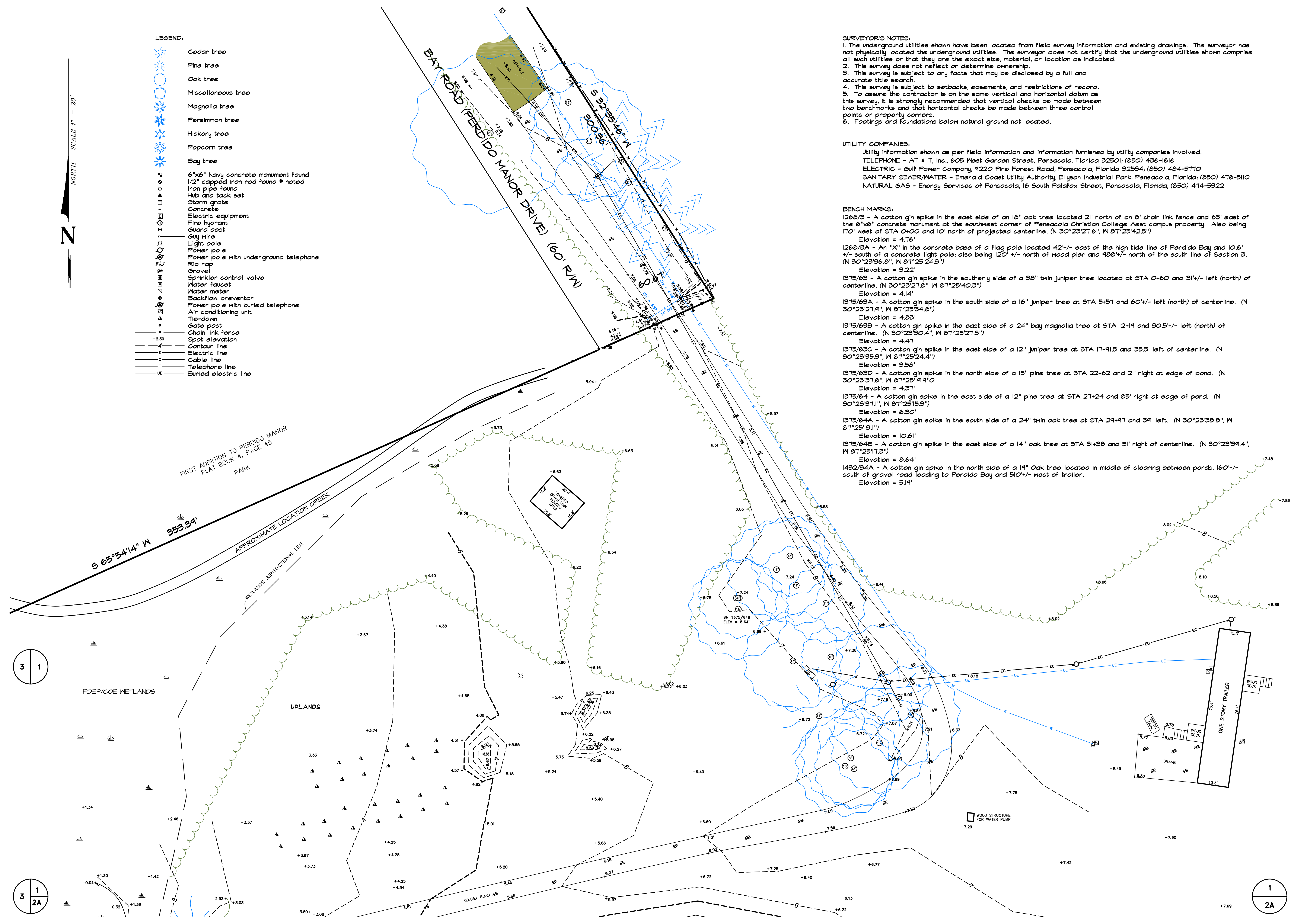
Navigate Mode
 Account
 Reference

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2" style="text-align: left;">General Information</th> </tr> <tr> <td style="width: 20%;">Reference:</td> <td>032S321000002005</td> </tr> <tr> <td>Account:</td> <td>102787050</td> </tr> <tr> <td>Owners:</td> <td>PENSACOLA CHRISTIAN COLLEGE INC</td> </tr> <tr> <td>Mail:</td> <td>PO BOX 18000 PENSACOLA, FL 32523</td> </tr> <tr> <td>Situs:</td> <td>1230 PERDIDO MANOR DR 32506</td> </tr> <tr> <td>Use Code:</td> <td>SINGLE FAMILY RESID</td> </tr> <tr> <td>Taxing Authority:</td> <td>COUNTY MSTU</td> </tr> <tr> <td>Schools (Elem/Int/High):</td> <td>BLUE ANGELS/BAILEY/ESCAMBIA</td> </tr> <tr> <td>Tax Inquiry:</td> <td>Open Tax Inquiry Window</td> </tr> <tr> <td colspan="2">Tax Inquiry link courtesy of Scott Lunsford Escambia County Tax Collector</td> </tr> </table>	General Information		Reference:	032S321000002005	Account:	102787050	Owners:	PENSACOLA CHRISTIAN COLLEGE INC	Mail:	PO BOX 18000 PENSACOLA, FL 32523	Situs:	1230 PERDIDO MANOR DR 32506	Use Code:	SINGLE FAMILY RESID	Taxing Authority:	COUNTY MSTU	Schools (Elem/Int/High):	BLUE ANGELS/BAILEY/ESCAMBIA	Tax Inquiry:	Open Tax Inquiry Window	Tax Inquiry link courtesy of Scott Lunsford Escambia County Tax Collector		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="5" style="text-align: left;">Assessments</th> </tr> <tr> <th style="text-align: left;">Year</th> <th style="text-align: right;">Land</th> <th style="text-align: right;">Imprv</th> <th style="text-align: right;">Total</th> <th style="text-align: right;"><u>Cap Val</u></th> </tr> <tr> <td>2017</td> <td style="text-align: right;">\$310,017</td> <td style="text-align: right;">\$130,196</td> <td style="text-align: right;">\$440,213</td> <td style="text-align: right;">\$440,213</td> </tr> <tr> <td>2016</td> <td style="text-align: right;">\$403,522</td> <td style="text-align: right;">\$127,716</td> <td style="text-align: right;">\$531,238</td> <td style="text-align: right;">\$531,238</td> </tr> <tr> <td>2015</td> <td style="text-align: right;">\$403,522</td> <td style="text-align: right;">\$18,050</td> <td style="text-align: right;">\$421,572</td> <td style="text-align: right;">\$421,572</td> </tr> <tr> <td colspan="5" style="text-align: center;">Disclaimer</td> </tr> <tr> <td colspan="5" style="text-align: center;">Amendment 1/Portability Calculations</td> </tr> <tr> <td colspan="5" style="text-align: center;">★ File for New Homestead Exemption Online</td> </tr> </table>	Assessments					Year	Land	Imprv	Total	<u>Cap Val</u>	2017	\$310,017	\$130,196	\$440,213	\$440,213	2016	\$403,522	\$127,716	\$531,238	\$531,238	2015	\$403,522	\$18,050	\$421,572	\$421,572	Disclaimer					Amendment 1/Portability Calculations					★ File for New Homestead Exemption Online				
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Parcel Information

NORTH SCALE 1" = 20'

- LEGEND:**
- Cedar tree
 - Pine tree
 - Oak tree
 - Miscellaneous tree
 - Magnolia tree
 - Persimmon tree
 - Hickory tree
 - Popcorn tree
 - Bay tree
 - 6'x6' Navy concrete monument found
 - 1/2" capped iron rod found # noted
 - Iron pipe found
 - Hub and tack set
 - Storm grate
 - Concrete
 - Electric equipment
 - Fire hydrant
 - Guard post
 - Guy wire
 - Light pole
 - Power pole
 - Power pole with underground telephone
 - Rip rap
 - Gravel
 - Sprinkler control valve
 - Water faucet
 - Water meter
 - Backflow preventer
 - Power pole with buried telephone
 - Air conditioning unit
 - Tie-down
 - Gate post
 - Chain link fence
 - Spot elevation
 - Contour line
 - Electric line
 - Cable line
 - Telephone line
 - Buried electric line



SURVEYOR'S NOTES:

- The underground utilities shown have been located from field survey information and existing drawings. The surveyor has not physically located the underground utilities. The surveyor does not certify that the underground utilities shown comprise all such utilities or that they are the exact size, material, or location as indicated.
- This survey does not reflect or determine ownership.
- This survey is subject to any facts that may be disclosed by a full and accurate title search.
- This survey is subject to setbacks, easements, and restrictions of record.
- To assure the contractor is on the same vertical and horizontal datum as this survey, it is strongly recommended that vertical checks be made between two benchmarks and that horizontal checks be made between three control points or property corners.
- Footings and foundations below natural ground not located.

UTILITY COMPANIES:

Utility information shown as per field information and information furnished by utility companies involved.

TELEPHONE - AT & T, Inc., 605 West Garden Street, Pensacola, Florida 32501; (850) 436-1616

ELECTRIC - Gulf Power Company, 9220 Pine Forest Road, Pensacola, Florida 32534; (850) 484-5710

SANITARY SEWER/WATER - Emerald Coast Utility Authority, Elyson Industrial Park, Pensacola, Florida; (850) 476-5110

NATURAL GAS - Energy Services of Pensacola, 16 South Palafox Street, Pensacola, Florida; (850) 474-5322

BENCH MARKS:

1268/3 - A cotton gin spike in the east side of an 18" oak tree located 21' north of an 8' chain link fence and 63' east of the 6'x6' concrete monument at the southwest corner of Pensacola Christian College West campus property. Also being 170' west of STA 0+00 and 10' north of projected centerline. (N 30°23'21.6", W 81°25'42.5")
Elevation = 4.76'

1268/3A - An "X" in the concrete base of a flag pole located 42' +/- east of the high tide line of Perdido Bay and 10.6' +/- south of a concrete light pole; also being 120' +/- north of wood pier and 988' +/- north of the south line of Section 3. (N 30°23'36.8", W 81°25'24.3")
Elevation = 3.22'

1375/63 - A cotton gin spike in the southerly side of a 38" twin Juniper tree located at STA 0+60 and 31' +/- left (north) of centerline. (N 30°23'21.8", W 81°25'40.3")
Elevation = 4.14'

1375/63A - A cotton gin spike in the south side of a 16" Juniper tree at STA 5+57 and 60' +/- left (north) of centerline. (N 30°23'21.4", W 81°25'54.8")
Elevation = 4.83'

1375/63B - A cotton gin spike in the east side of a 24" bay magnolia tree at STA 12+19 and 30.5' +/- left (north) of centerline. (N 30°23'30.4", W 81°25'27.3")
Elevation = 4.47'

1375/63C - A cotton gin spike in the east side of a 12" Juniper tree at STA 17+91.5 and 35.5' left of centerline. (N 30°23'35.3", W 81°25'24.4")
Elevation = 3.58'

1375/63D - A cotton gin spike in the north side of a 15" pine tree at STA 22+62 and 21' right at edge of pond. (N 30°23'31.6", W 81°25'19.4")
Elevation = 4.37'

1375/64 - A cotton gin spike in the east side of a 12" pine tree at STA 27+24 and 85' right at edge of pond. (N 30°23'31.1", W 81°25'15.3")
Elevation = 6.30'

1375/64A - A cotton gin spike in the south side of a 24" twin oak tree at STA 29+47 and 39' left. (N 30°23'38.8", W 81°25'13.1")
Elevation = 10.61'

1375/64B - A cotton gin spike in the east side of a 14" oak tree at STA 31+38 and 51' right of centerline. (N 30°23'39.4", W 81°25'17.3")
Elevation = 8.64'

1432/34A - A cotton gin spike in the north side of a 19" Oak tree located in middle of clearing between ponds, 160' +/- south of gravel road leading to Perdido Bay and 510' +/- west of trailer.
Elevation = 5.19'

Measurements made in accordance with United States Standards.

Bearing Reference: NORTH BASED ON THE WEST R/W LINE OF BRONSON ROAD AS N.O. 08/41'E

Ordered By: MR. BOB CHAPPELL Elevation Reference: NAVD 88

Encroachments: SURVEYS ON FILE WITH THIS FIRM D.O.T. R/W MAPS SECTION 48101-2806, RECORDED PLATS: PERDIDO MANOR (P.B. 2, P. 45), 1ST ADDITION TO PERDIDO MANOR (P.B. 4, P. 45) AND NAVY POINT (P.B. 3, P. 57), TAX MAPS: PUBLIC RECORDS: AERIAL PHOTOS:

A SPECIFIC PURPOSE SURVEY: RE-STAKE WETLAND LINES, TOPOGRAPHIC SURVEY, TREE LOCATION AND LOCATION OF IMPROVEMENTS IN A PORTION OF SECTIONS 2 & 3, T-2-S, R-32-W PENSACOLA CHRISTIAN COLLEGE

PITTMAN, WILKINSON & ASSOCIATES, INC.

LAND SURVEYORS

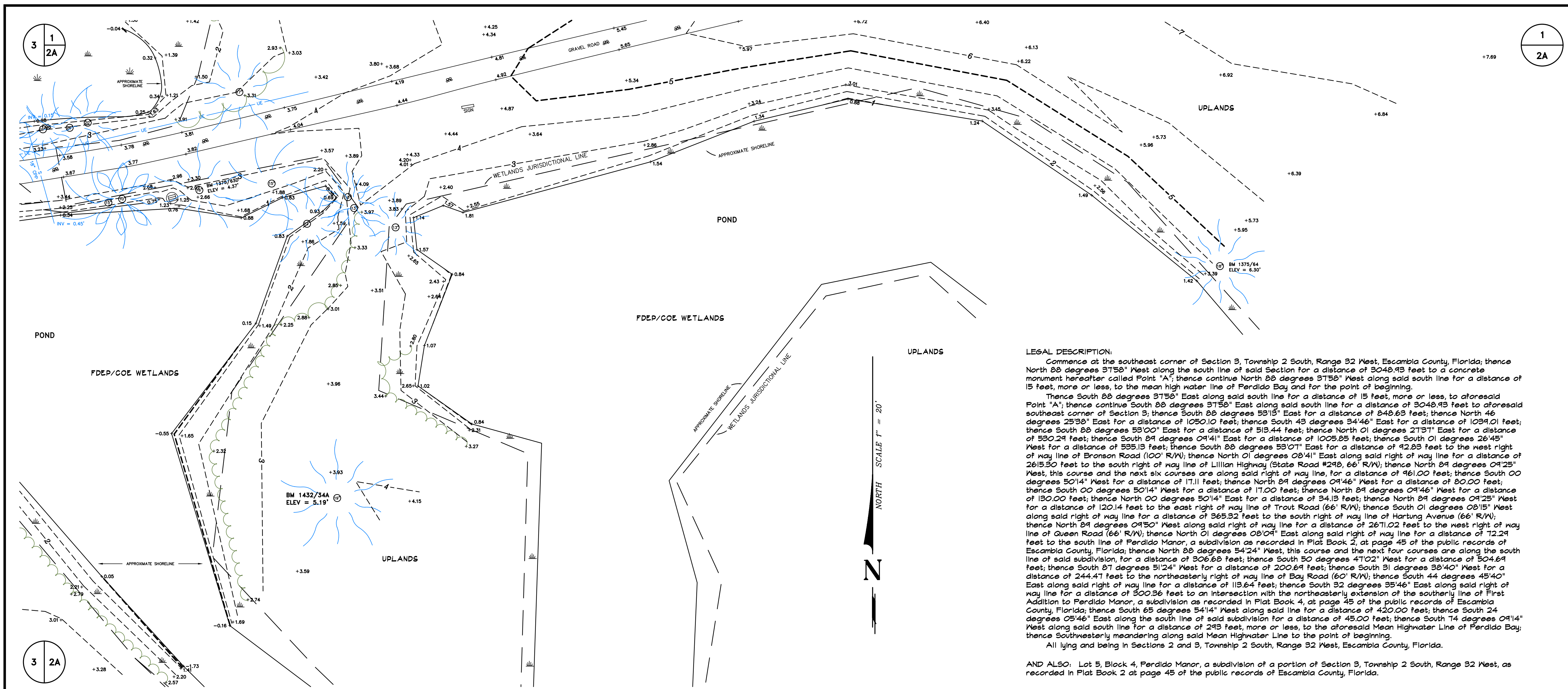
700 NORTH NINTH AVENUE
PENSACOLA, FL 32501
Phone (850) 434-6666 fax (850) 434-6661
Email: pgsurvey@satcom.net

I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

Walter J. Glaze PSM #6190

David D. Glaze PSM #5605

SHEET	1
OF	6
LB No. 70715	NOT VALID UNLESS MARKED WITH EMBOSSED SEAL AND SIGN BY SURVEYOR
Scale:	1" = 20'
File No.	C-6489
Job No.	34670-11
Date of Plot	5-4-11
Date of Survey	4-27-11
FB 1492	PG 24-40
FB	PG
FB	PG
Drawn by:	PMJ



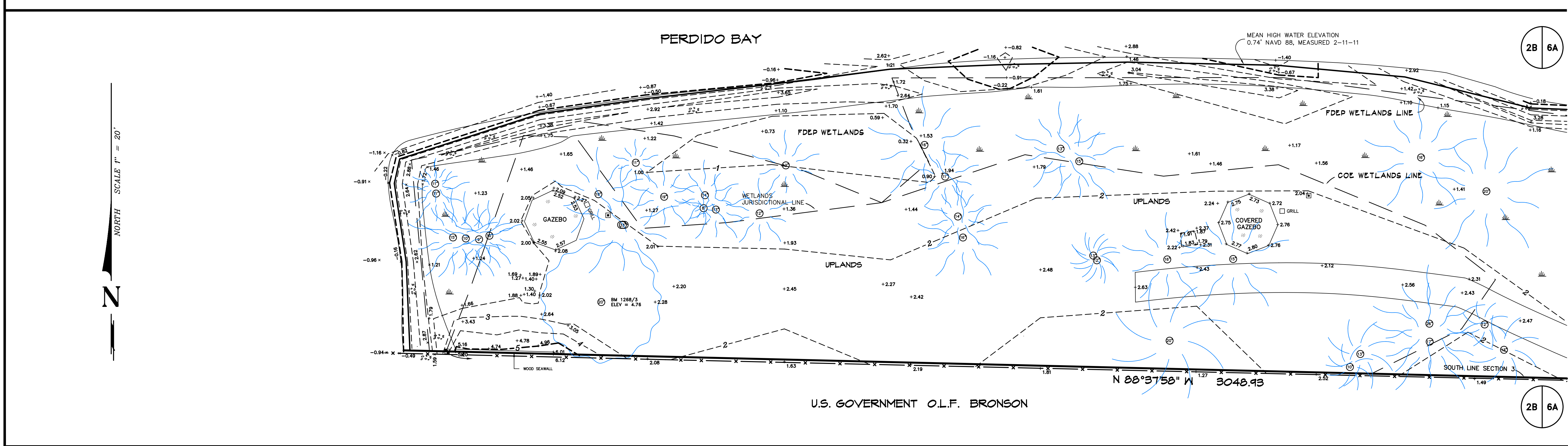
LEGAL DESCRIPTION:

Commence at the southeast corner of Section 3, Township 2 South, Range 32 West, Escambia County, Florida; thence North 88 degrees 37'58" West along the south line of said Section for a distance of 3048.93 feet to a concrete monument hereafter called Point "A"; thence continue North 88 degrees 37'58" West along said south line for a distance of 15 feet, more or less, to the mean high water line of Perdido Bay and for the point of beginning.

Thence South 88 degrees 37'58" East along said south line for a distance of 15 feet, more or less, to aforesaid Point "A"; thence continue South 88 degrees 37'58" East along said south line for a distance of 3048.93 feet to aforesaid southeast corner of Section 3; thence South 88 degrees 37'58" East for a distance of 848.63 feet; thence North 46 degrees 25'38" East for a distance of 1050.10 feet; thence South 48 degrees 34'46" East for a distance of 1039.01 feet; thence South 88 degrees 37'58" East for a distance of 513.44 feet; thence North 01 degrees 27'37" East for a distance of 530.24 feet; thence South 89 degrees 04'41" East for a distance of 1005.85 feet; thence South 01 degrees 26'45" West for a distance of 535.13 feet; thence South 88 degrees 37'58" East for a distance of 92.83 feet to the west right of way line of Bronson Road (100' R/W); thence North 01 degrees 08'41" East along said right of way line for a distance of 2615.30 feet to the south right of way line of Lillian Highway (State Road #298, 66' R/W); thence North 89 degrees 04'25" West, this course and the next six courses are along said right of way line, for a distance of 961.00 feet; thence South 00 degrees 50'14" West for a distance of 17.11 feet; thence North 89 degrees 04'46" West for a distance of 80.00 feet; thence South 00 degrees 50'14" West for a distance of 17.00 feet; thence North 89 degrees 04'46" West for a distance of 130.00 feet; thence North 00 degrees 50'14" East for a distance of 34.13 feet; thence North 89 degrees 04'25" West for a distance of 120.14 feet to the east right of way line of Trout Road (66' R/W); thence South 01 degrees 08'15" West along said right of way line for a distance of 365.32 feet to the south right of way line of Harburg Avenue (66' R/W); thence North 89 degrees 04'50" West along said right of way line for a distance of 2671.02 feet to the west right of way line of Queen Road (66' R/W); thence North 01 degrees 08'41" East along said right of way line for a distance of 72.24 feet to the south line of Perdido Manor, a subdivision as recorded in Plat Book 2, at page 45 of the public records of Escambia County, Florida; thence North 88 degrees 54'24" West, this course and the next four courses are along the south line of said subdivision, for a distance of 306.68 feet; thence South 50 degrees 47'02" West for a distance of 504.64 feet; thence South 87 degrees 51'24" West for a distance of 200.64 feet; thence South 31 degrees 38'40" West for a distance of 244.47 feet to the northeasterly right of way line of Bay Road (60' R/W); thence South 44 degrees 45'40" East along said right of way line for a distance of 113.64 feet; thence South 32 degrees 35'46" East along said right of way line for a distance of 300.36 feet to an intersection with the northeasterly extension of the southerly line of First Addition to Perdido Manor, a subdivision as recorded in Plat Book 4, at page 45 of the public records of Escambia County, Florida; thence South 65 degrees 54'14" West along said line for a distance of 420.00 feet; thence South 24 degrees 05'46" East along the south line of said subdivision for a distance of 45.00 feet; thence South 74 degrees 04'14" West along said south line for a distance of 243 feet, more or less, to the aforesaid Mean Highwater Line of Perdido Bay; thence Southwesterly meandering along said Mean Highwater Line to the point of beginning.

All lying and being in Sections 2 & 3, Township 2 South, Range 32 West, Escambia County, Florida.

AND ALSO: Lot 5, Block 4, Perdido Manor, a subdivision of a portion of Section 3, Township 2 South, Range 32 West, as recorded in Plat Book 2 at page 45 of the public records of Escambia County, Florida.



U.S. GOVERNMENT O.L.F. BRONSON

N 88°37'58" W 3048.93

Measurements made in accordance with United States Standards.
 Bearing Reference: NORTH BASED ON THE MEAN R/W LINE OF BRONSON ROAD AS N.O. 08'41" E
 Ordered By: MR. BOB CHAPPELL - Elevation Reference: NAVD 88
 Encroachments: SURVEYS ON FILE WITH THIS FIRM D.O.T. R/W MAPS SECTION 4818-2806 RECORDED PLATS: PERDIDO MANOR (P.B. 2, P. 45), 1ST ADDITION TO PERDIDO MANOR (P.B. 4, P. 45) AND NAVY POINT (P.B. 3, P. 51); TAX MAPS: PUBLIC RECORDS; AERIAL PHOTOS;
 A SPECIFIC PURPOSE SURVEY: RE-STAKE WETLAND LINES, TOPOGRAPHIC SURVEY, TREE LOCATION AND LOCATION OF IMPROVEMENTS IN A PORTION OF SECTIONS 2 & 3, T-2-S, R-32-W PENSACOLA CHRISTIAN COLLEGE

PILLITMAN, WILKINSON & ASSOCIATES, INC.
LAND SURVEYORS
 700 NORTH NINTH AVENUE
 PENSACOLA, FL 32501
 Phone (850) 434-6666 Fax (850) 434-6661
 Email: pgsurvey@earthlink.net

I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

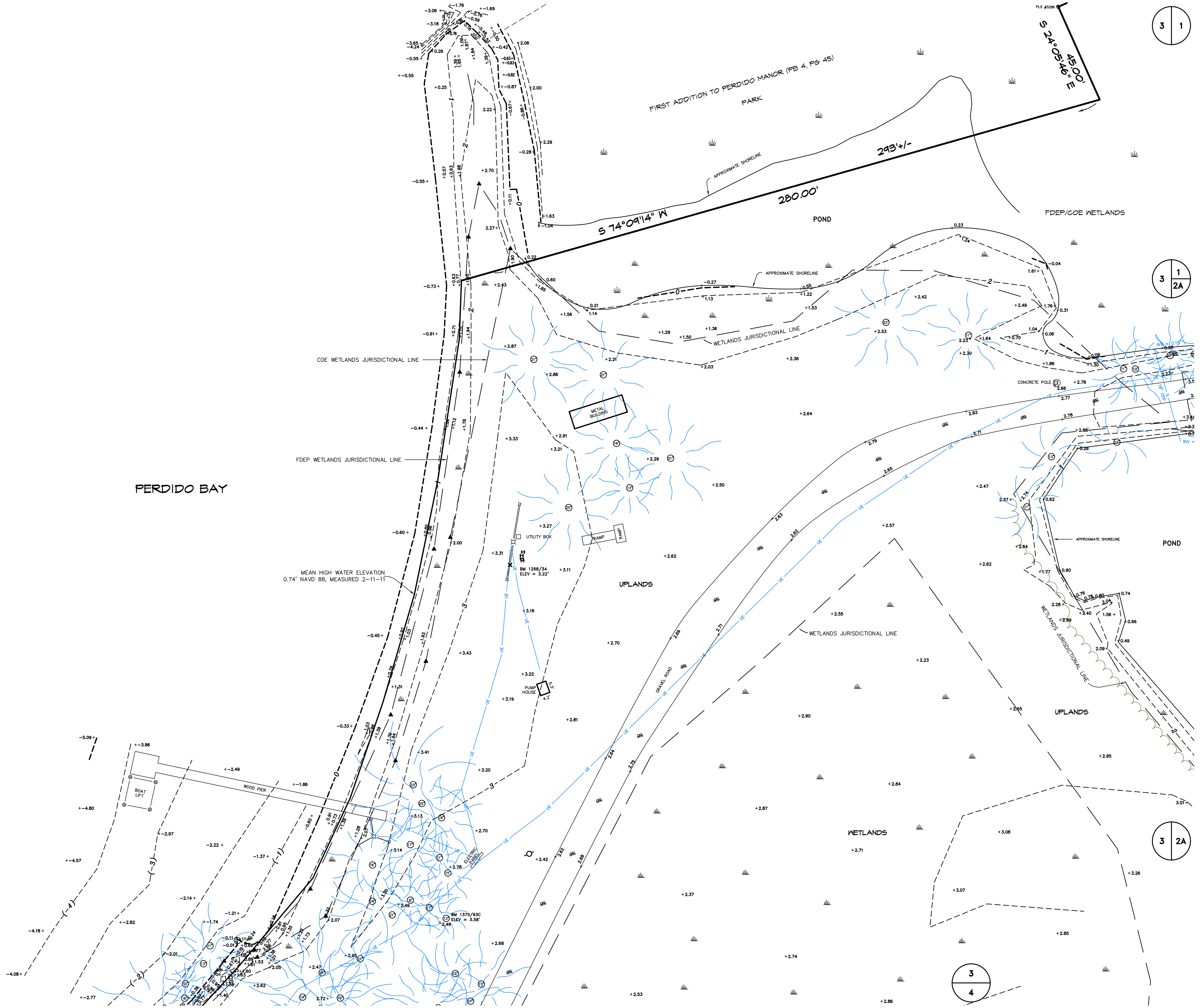
Walter J. Glaze PSM #6190
David D. Glaze PSM #5605

SHEET	2
OF	6
LB No. 70715	NOT VALIDATED
	UNLESS MARKED WITH EMBOSSED SEAL AND SIGN BY SURVEYOR

Scale: 1" = 20'
 File No. C-6440
 Job No. 24678-11
 Date of Plot: 5-4-11
 Date of Survey: 4-27-11
 FB 1492 PG 24-40
 FB PG
 FB PG
 Drawn by: PML

NORTH SCALE 1" = 20'

3
4



3
1

3
1
2A

3
2A

Measurements made in accordance with United States Standards.
 Bearing Reference: NORTH BASED ON THE WEST R/W LINE OF BRONSON ROAD AS N 01° 08' 41" E
 Ordered By: MR. BOB CHAPPELL Elevation Reference: NAVD 88
 Encroachments: SURVEYS ON FILE WITH THIS FIRM D.O.T. R/W MAPS SECTION 48101-2806 RECORDED PLATS: PERDIDO MANOR (PB. 2, P. 45), 1ST ADDITION TO PERDIDO MANOR (PB. 4, P. 45) AND NAVY POINT (PB. 5, P. 51); TAX MAPS: PUBLIC RECORDS; AERIAL PHOTOS;
 A SPECIFIC PURPOSE SURVEY: RE-STAKE WETLAND LINES, TOPOGRAPHIC SURVEY, TREE LOCATION AND LOCATION OF IMPROVEMENTS IN A PORTION OF SECTIONS 2 & 3, T-2-S, R-92-N PENSACOLA CHRISTIAN COLLEGE

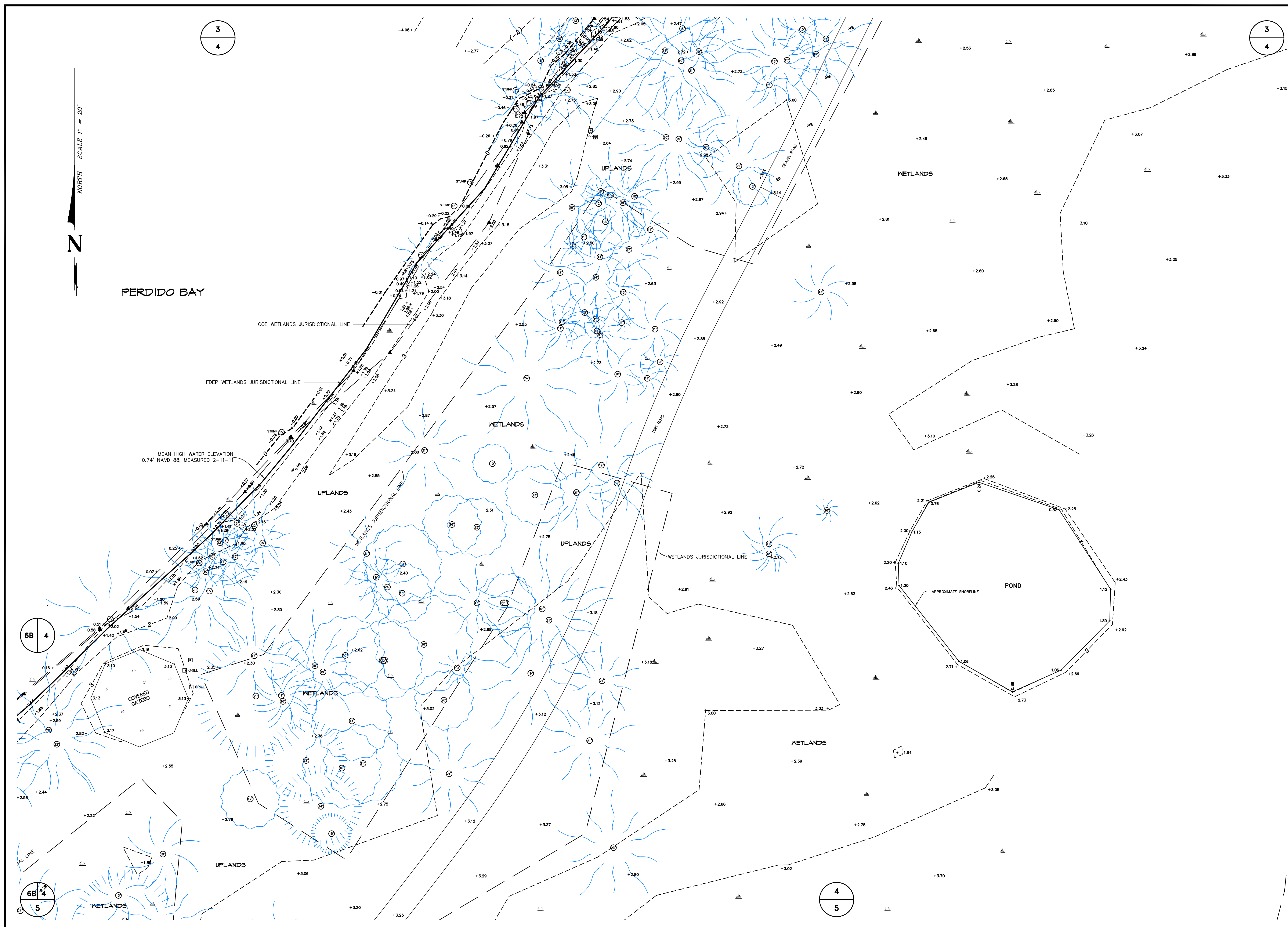
WILLIAM'S
PGA ASSOCIATES, INC.
 LAND SURVEYORS, INC.
 700 NORTH NINTH AVENUE
 PENSACOLA, FL 32501
 Phone (850) 434-6666 Fax (850) 434-6661
 Email: pgsurvey@bellsouth.net

I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze
 PSM #5605

Walter J. Glaze
 PSM #6190

SHEET	3
OF	6
LB No. 70715	NOT VALIDATED
	UNLESS PRINTED WITH EMBOSSED SEAL AND SIGN BY SURVEYOR
Scale:	1" = 20'
File No.:	C-6491
Job No.:	24670-11
Date of Plot:	5-4-11
Date of Survey:	4-27-11
FB 1422 PG	24-40
FB PG	
FB PG	
Drawn by:	PMJ



PERDIDO BAY

COE WETLANDS JURISDICTIONAL LINE

FDEP WETLANDS JURISDICTIONAL LINE

MEAN HIGH WATER ELEVATION
0.74' NAVD 88, MEASURED 2-11-11

UPLANDS

WETLANDS

UPLANDS

UPLANDS

WETLANDS JURISDICTIONAL LINE

WETLANDS

POND

APPROXIMATE SHORELINE

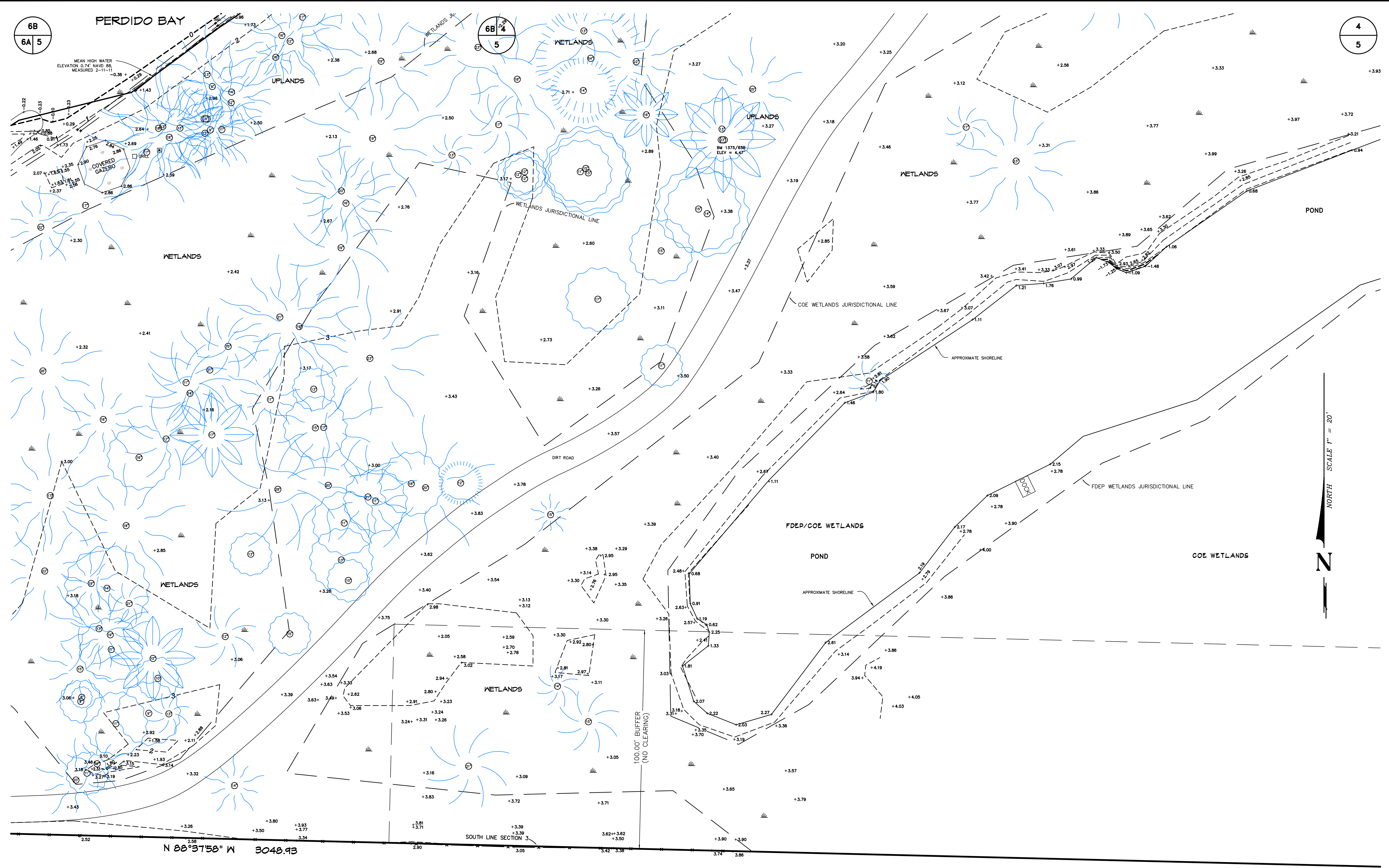
Measurements made in accordance with United States Standards.
 Bearing Reference: NORTH BASED ON THE WEST R/M LINE OF BRONSON ROAD AS N 01°08'41" E
 Ordered By: MR. BOB CHAPPELL Elevation Reference: NAVD 88
 Encroachments: _____
 Source of Information: SURVEYS ON FILE WITH THIS FIRM D.O.T. R/M MAPS SECTION 48101-2806 RECORDED PLATS: PERDIDO MANOR (P.B. 2, P. 45), 1ST ADDITION TO PERDIDO MANOR (P.B. 4, P. 45) AND NAVY POINT (P.B. 3, P. 51); TAX MAPS: PUBLIC RECORDS; AERIAL PHOTOS: _____
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WALTER J. GLATZ
 LAND SURVEYORS, INC.
 700 NORTH NINTH AVENUE
 PENSACOLA, FL 32501
 Phone: (850) 434-6666 Fax: (850) 434-6661
 Email: pglatz@glatzsurvey.com

I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze
 PSM #5605
 Walter J. Glaze
 PSM #6190

SHEET	4
OF	6
LB No. 7075	NOT VALID UNLESS MARKED WITH EMBOSSED SEAL AND SIGN BY SURVEYOR
Scale:	1" = 20'
File No.:	C-6442
Job No.:	24670-11
Date of Plot:	5-4-11
Date of Survey:	4-27-11
FB 1422 PG	24-40
FB PG	PG
FB PG	PG
Drawn by:	PMJ



6B
6A 5

6B
4 5

4
5

6A 5

N 88°37'58" W 3048.93

U.S. GOVERNMENT O.L.F. BRONSON

Measurements made in accordance with United States Standards.
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 Ordered By: MR. BOB CHAPPELL Elevation Reference: NAVD 88
 Encroachments: SURVEYS ON FILE WITH THIS FIRM D.O.T. R/W MAPS SECTION 4810C-2806 RECORDED PLATS: PERDIDO MANOR (P.B. 2, P. 45), 1ST ADDITION TO PERDIDO MANOR (P.B. 4, P. 45) AND NAVY POINT (P.B. 3, P. 51); TAX MAPS: PUBLIC RECORDS; AERIAL PHOTOS;
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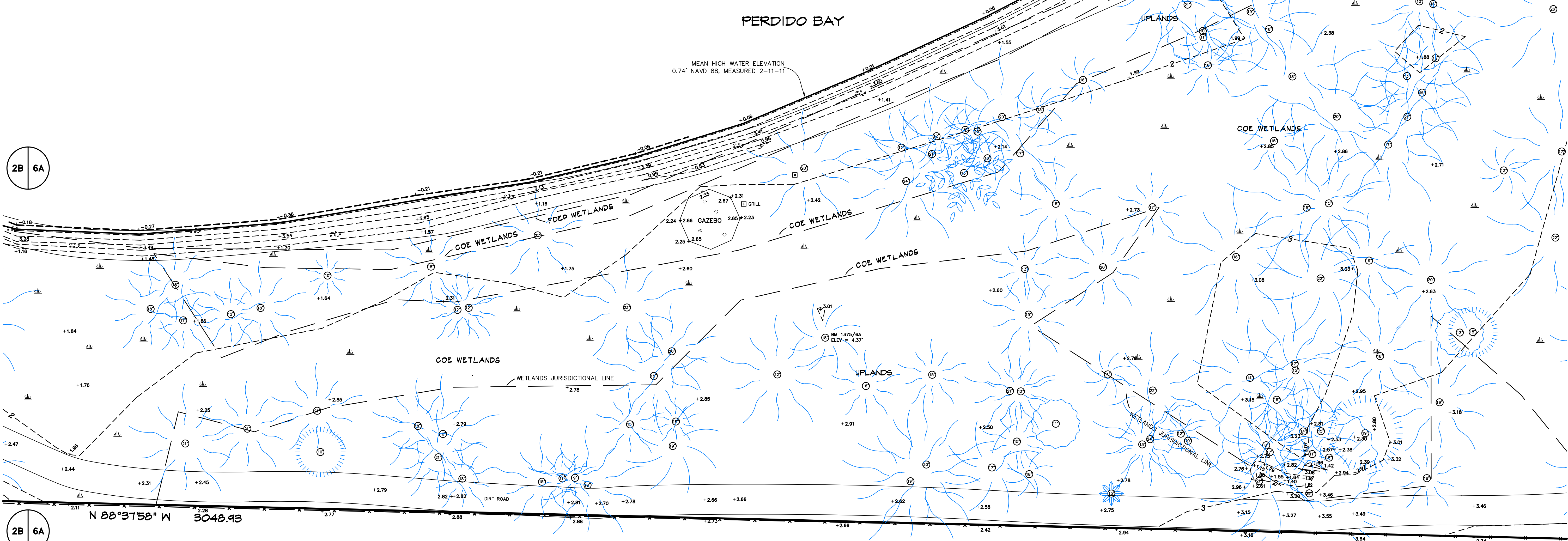
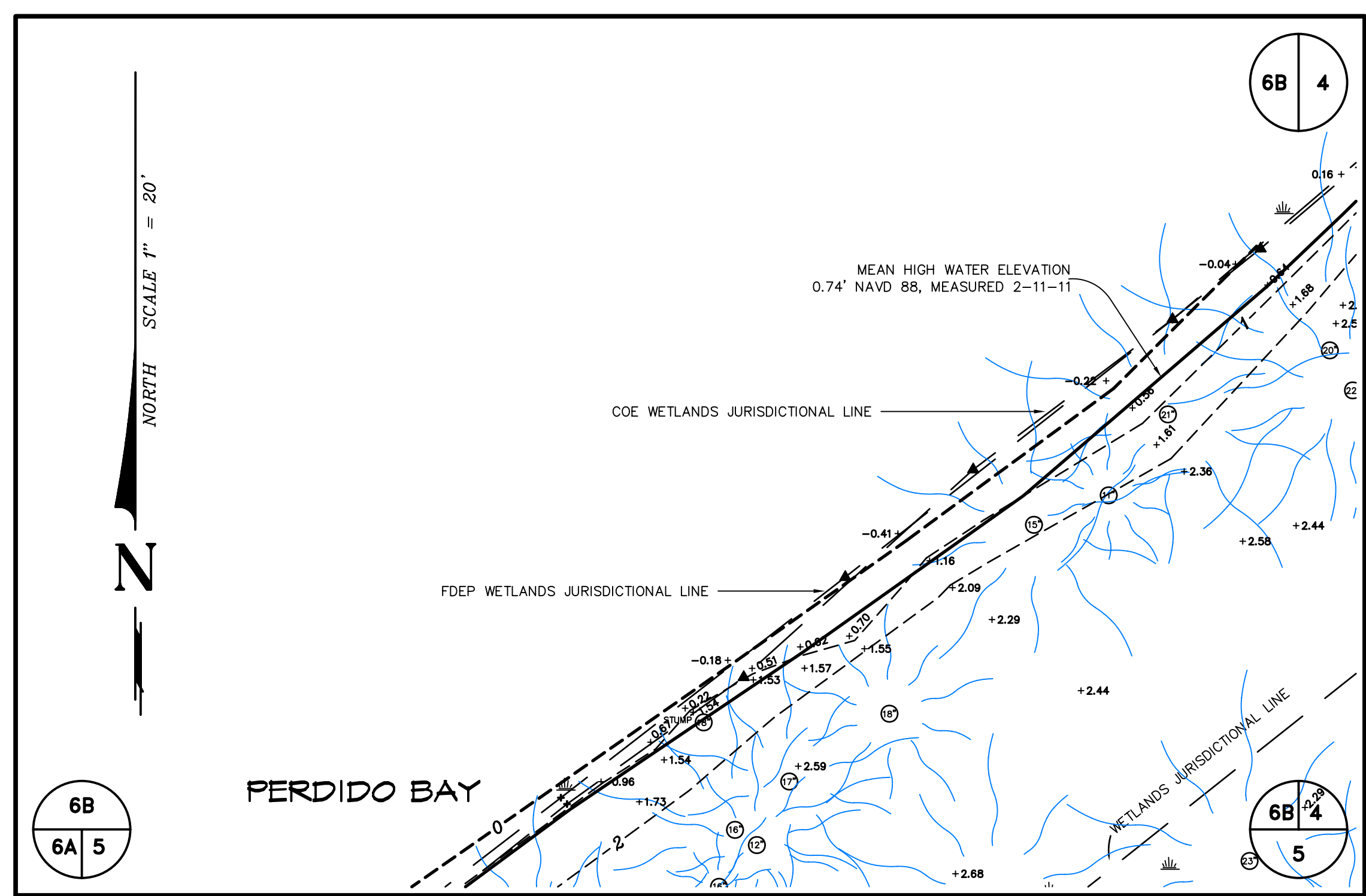
WILLIAM, W & S
PCALANZ
LAND SURVEYORS, INC.
 700 NORTH NINTH AVENUE
 PENSACOLA, FL 32501
 Phone (850) 434-6666 fax (850) 434-6661
 Email: pgsurvey@pcalanz.com

I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze
 PSM #5605

Walter J. Glaze
 PSM #6190

SHEET	5
OF	6
LB No. 7075	UNLESS PRINTED WITH EMBOSSED SEAL AND SIGN BY SURVEYOR
Scale: 1" = 20'	
File No.	C-6443
Job No.	24670-II
Date of Plot	5-4-11
Date of Survey	4-27-11
FB 1482 PG 24-40	
FB	PG
FB	PG
Drawn by:	PML



Measurements made in accordance with United States Standards.

Bearing Reference: NORTH BEASED ON THE WEST R/W LINE OF BRONSON ROAD AS N 01°08'41" E

Ordered By: MR. BOB CHAPPELL Elevation Reference: NAVD 88

Encroachments: SURVEYS ON FILE WITH THIS FIRM D.O.T. R/W MAPS SECTION 48101-2806 RECORDED PLATS: PERDIDO MANOR (P.B. 2, P. 45), 1ST ADDITION TO PERDIDO MANOR (P.B. 4, P. 45) AND NAVY POINT (P.B. 3, P. 51); TAX MAPS: PUBLIC RECORDS; AERIAL PHOTOS;

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WALTER J. GLAZE & ASSOCIATES, INC.
LAND SURVEYORS

700 NORTH NINTH AVENUE
PENSACOLA, FL 32501
Phone (850) 434-6666 Fax (850) 434-6661
Email: pglaze@glazeinc.com

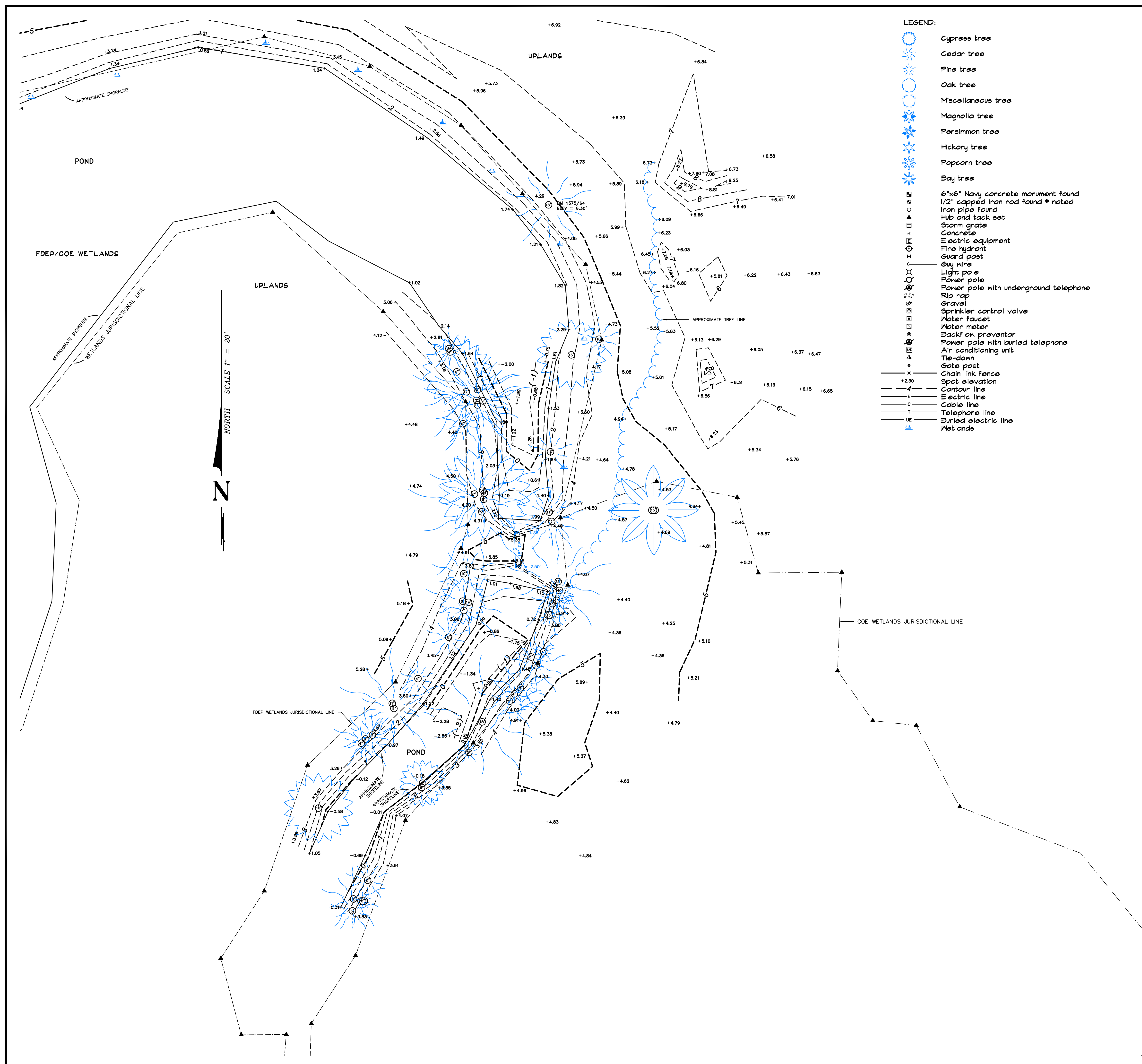
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David D. Glaze PSM #5605

Walter J. Glaze PSM #6190

SHEET	6
OF	6
LB No. 7075	
NOT VALID UNLESS MARKED WITH EMBOSSED SEAL AND SIGN BY SURVEYOR	
Scale: 1" = 20'	
File No. C-6443A	
Job No. 34670-11	
Date of Plot 5-4-11	
Date of Survey 4-27-11	
FB 1492 PG 24-40	
FB PG	
FB PG	
Drawn by: PML	

U.S. GOVERNMENT O.L.F. BRONSON



- LEGEND:**
- Cypress tree
 - Cedar tree
 - Pine tree
 - Oak tree
 - Miscellaneous tree
 - Magnolia tree
 - Persimmon tree
 - Hickory tree
 - Popcorn tree
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 - Concrete
 - Electric equipment
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 - Power pole
 - Power pole with underground telephone
 - Rip rap
 - Gravel
 - Sprinkler control valve
 - Water faucet
 - Water meter
 - Backflow preventor
 - Power pole with buried telephone
 - Air conditioning unit
 - Tie-down
 - Gate post
 - Chain link fence
 - Spot elevation
 - Contour line
 - Electric line
 - Cable line
 - Telephone line
 - Buried electric line
 - Wetlands

SURVEYOR'S NOTES:

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- Footings and foundations below natural ground not located.

UTILITY COMPANIES:

Utility information shown as per field information and information furnished by utility companies involved.

TELEPHONE - AT & T, Inc., 605 West Garden Street, Pensacola, Florida 32501; (850) 436-1616

ELECTRIC - Gulf Power Company, 4220 Pine Forest Road, Pensacola, Florida 32534; (850) 484-5770

SANITARY SEWER/WATER - Emerald Coast Utility Authority, Elyson Industrial Park, Pensacola, Florida; (850) 476-5110

NATURAL GAS - Energy Services of Pensacola, 16 South Palafox Street, Pensacola, Florida; (850) 474-5322

BENCH MARKS:

1268/3 - A cotton gin spike in the east side of an 18' oak tree located 21' north of an 8' chain link fence and 63' east of the 6'x6' concrete monument at the southwest corner of Pensacola Christian College West campus property. Also being 170' west of STA 0+00 and 10' north of projected centerline. (N 30°23'27.6", W 87°25'42.5")
Elevation = 4.76'

1268/3A - An "X" in the concrete base of a flag pole located 42'± east of the high tide line of Perdido Bay and 10.6' ± south of a concrete light pole; also being 120' ± north of wood pier and 98.6' ± north of the south line of Section 3. (N 30°23'36.8", W 87°25'24.3")
Elevation = 3.22'

1375/63 - A cotton gin spike in the southerly side of a 38' twin Juniper tree located at STA 0+60 and 31'± left (north) of centerline. (N 30°23'27.8", W 87°25'40.3")
Elevation = 4.14'

1375/63A - A cotton gin spike in the south side of a 16" Juniper tree at STA 5+57 and 60'± left (north) of centerline. (N 30°23'27.9", W 87°25'34.8")
Elevation = 4.83'

1375/63B - A cotton gin spike in the east side of a 24" bay magnolia tree at STA 12+19 and 30.5'± left (north) of centerline. (N 30°23'30.4", W 87°25'27.3")
Elevation = 4.47'

1375/63C - A cotton gin spike in the east side of a 12" Juniper tree at STA 17+15 and 35.5' left of centerline. (N 30°23'35.3", W 87°25'24.4")
Elevation = 3.58'

1375/63D - A cotton gin spike in the north side of a 15" pine tree at STA 22+62 and 21' right at edge of pond. (N 30°23'37.6", W 87°25'14.9")
Elevation = 4.37'

1375/64 - A cotton gin spike in the east side of a 12" pine tree at STA 27+24 and 25' right at edge of pond. (N 30°23'31.1", W 87°25'15.3")
Elevation = 6.30'

1375/64A - A cotton gin spike in the south side of a 24" twin oak tree at STA 29+47 and 39' left. (N 30°23'38.8", W 87°25'13.1")
Elevation = 10.61'

1375/64B - A cotton gin spike in the east side of a 14" oak tree at STA 31+38 and 51' right of centerline. (N 30°23'34.4", W 87°25'17.3")
Elevation = 8.64'

1432/34A - A cotton gin spike in the north side of a 19" Oak tree located in middle of clearing between ponds, 160'± south of gravel road leading to Perdido Bay and 510'± west of trailer.
Elevation = 5.19'

LEGAL DESCRIPTION:

Commence at the southeast corner of Section 3, Township 2 South, Range 32 West, Escambia County, Florida; thence North 88 degrees 37'58" West along the south line of said Section for a distance of 3048.93 feet to a concrete monument hereafter called Point "A"; thence continue North 88 degrees 37'58" West along said south line for a distance of 15 feet, more or less, to the mean high water line of Perdido Bay and for the point of beginning.

Thence South 88 degrees 37'58" East along said south line for a distance of 15 feet, more or less, to aforesaid Point "A"; thence continue South 88 degrees 37'58" East along said south line for a distance of 3048.93 feet to aforesaid southeast corner of Section 3; thence South 88 degrees 53'18" East for a distance of 848.63 feet; thence North 46 degrees 25'38" East for a distance of 1050.10 feet; thence South 43 degrees 34'46" East for a distance of 1034.01 feet; thence South 88 degrees 53'00" East for a distance of 513.44 feet; thence North 01 degrees 27'37" East for a distance of 530.29 feet; thence South 84 degrees 04'41" East for a distance of 1005.85 feet; thence South 01 degrees 26'45" West for a distance of 535.13 feet; thence South 88 degrees 53'07" East for a distance of 42.83 feet to the west right of way line of Bronson Road (100' R/W); thence North 01 degrees 08'41" East along said right of way line for a distance of 2615.30 feet to the south right of way line of Lillian Highway (State Road #298, 66' R/W); thence North 84 degrees 04'25" West, this course and the next six courses are along said right of way line, for a distance of 961.00 feet; thence South 00 degrees 50'14" West for a distance of 17.11 feet; thence North 84 degrees 04'46" West for a distance of 80.00 feet; thence South 00 degrees 50'14" West for a distance of 17.00 feet; thence North 84 degrees 04'46" West for a distance of 130.00 feet; thence North 00 degrees 50'14" East for a distance of 34.13 feet; thence North 84 degrees 04'25" West for a distance of 120.14 feet to the east right of way line of Trout Road (66' R/W); thence South 01 degrees 08'15" West along said right of way line for a distance of 365.32 feet to the south right of way line of Hartung Avenue (66' R/W); thence North 84 degrees 04'50" West along said right of way line for a distance of 2671.02 feet to the west right of way line of Queen Road (66' R/W); thence North 01 degrees 08'04" East along said right of way line for a distance of 72.29 feet to the south line of Perdido Manor, a subdivision as recorded in Plat Book 2, at page 45 of the public records of Escambia County, Florida; thence North 88 degrees 54'24" West, this course and the next four courses are along the south line of said subdivision, for a distance of 306.68 feet; thence South 50 degrees 47'02" West for a distance of 504.64 feet; thence South 87 degrees 51'24" West for a distance of 200.64 feet; thence South 31 degrees 38'40" West for a distance of 244.47 feet to the northeasterly right of way line of Bay Road (60' R/W); thence South 44 degrees 45'40" East along said right of way line for a distance of 113.64 feet; thence South 32 degrees 35'46" East along said right of way line for a distance of 302.36 feet to an intersection with the northeasterly extension of the southerly line of First Addition to Perdido Manor, a subdivision as recorded in Plat Book 4, at page 45 of the public records of Escambia County, Florida; thence South 65 degrees 54'14" West along said line for a distance of 420.00 feet; thence South 24 degrees 05'46" East along the south line of said subdivision for a distance of 45.00 feet; thence South 74 degrees 04'14" West along said south line for a distance of 243 feet, more or less, to the aforesaid Mean Highwater Line of Perdido Bay; thence Southwesterly meandering along said Mean Highwater Line to the point of beginning.

All lying and being in Sections 2 and 3, Township 2 South, Range 32 West, Escambia County, Florida.

AND ALSO: Lot 5, Block 4, Perdido Manor, a subdivision of a portion of Section 3, Township 2 South, Range 32 West, as recorded in Plat Book 2 at page 45 of the public records of Escambia County, Florida.

Measurements made in accordance with United States Standards.

Bearing Reference: NORTH BASED ON THE WEST R/W LINE OF BRONSON ROAD AS N.O. 1008/4. E

Ordered By: MR. BOB CHAPPELL Elevation Reference: NAVD 88

Encroachments: SURVEYS ON FILE WITH THIS FIRM D.O.T. R/W MAPS SECTION 48101-2806 RECORDED PLATS: PERDIDO MANOR (P.B. 2, P. 45), 1ST ADDITION TO PERDIDO MANOR (P.B. 4, P. 45) AND NAVY POINT (P.B. 3, P. 57); TAX MAPS: PUBLIC RECORDS: AERIAL PHOTOS:

A SPECIFIC PURPOSE SURVEY: RE-STAKE WETLAND LINES, TOPOGRAPHIC SURVEY, TREE LOCATION AND LOCATION OF IMPROVEMENTS IN A PORTION OF SECTIONS 2 & 3, T-2-S, R-32-W PENSACOLA CHRISTIAN COLLEGE

WILLIAM, WILKINSON, WILKINSON & ASSOCIATES, INC.
LAND SURVEYORS

700 NORTH NINTH AVENUE
PENSACOLA, FL 32501
Phone: (850) 434-6666 Fax: (850) 434-6661
Email: pgsurvey@earthlink.net

I hereby certify that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze PSM #5605
Walter J. Glaze PSM #6190

SHEET	1
OF	1
Scale:	1" = 20'
File No.	C-6537
Job No.	24772-11
Date of Plot	6-9-11
Date of Survey	6-9-11
FB 1422	PG 45-48
FB	PG
FB	PG
Drawn by:	PMJ

WEST CAMPUS STORAGE BUILDING AND RESTROOM FOR PENSACOLA CHRISTIAN COLLEGE, INC.

UTILITY COMPANIES:
 UTILITY INFORMATION SHOWN AS PER FIELD INFORMATION
 TELEPHONE - BELL SOUTH TELECOMMUNICATIONS, INC.,
 605 WEST GARDEN STREET, PENSACOLA, FLORIDA 32501
 (850) 436-1616
 ELECTRIC - GULF POWER COMPANY,
 9220 PINE FOREST ROAD, PENSACOLA, FLORIDA 32534
 (850) 484-5770
 WATER - ESCAMBIA COUNTY UTILITY AUTHORITY
 ELLISON INDUSTRIAL PARK, PENSACOLA, FLORIDA
 (850) 476-5110

GENERAL NOTES

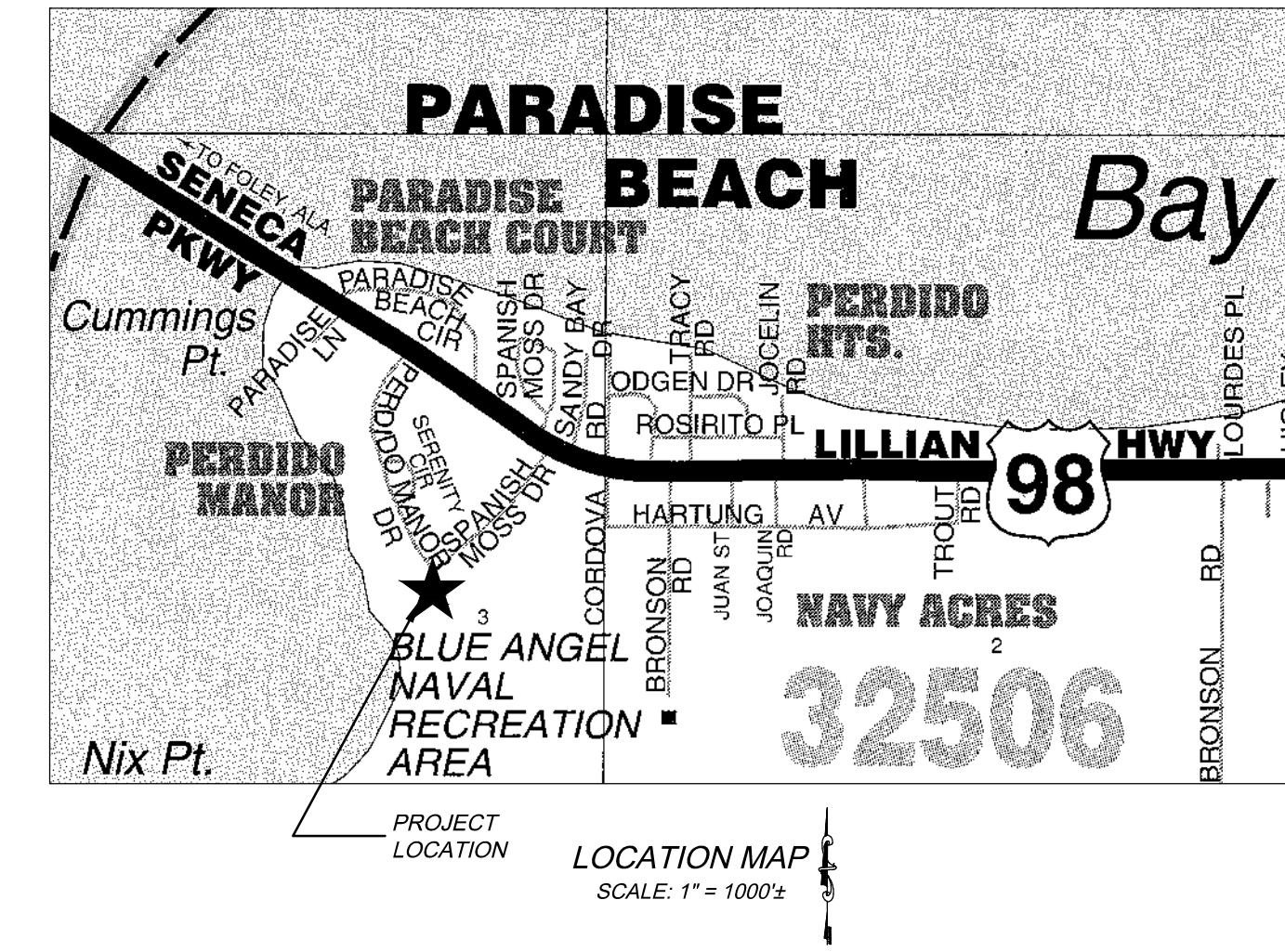
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
2. IF EXISTING UTILITY LINES ARE DISTURBED DUE TO CONSTRUCTION ACTIVITY THEY WILL BE RELOCATED AS PER UTILITY COMPANY AND PENSACOLA CHRISTIAN COLLEGE REQUIREMENTS. NOTIFY SUNSHINE UTILITIES 48 HOURS PRIOR TO DIGGING (800-432-4770).
3. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH DAMAGING OR DISRUPTING EXISTING UTILITY LINES. THE CONTRACTOR SHALL PAY FOR ALL COSTS TO REPAIR OR REPLACE SAID LINE, AND ALL COST INCURRED BY OWNER FOR DISRUPTION OF SAID LINE, INCLUDING DOWNTIME.
4. THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND, MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHOULD NOTIFY THE PROJECT ENGINEER IMMEDIATELY UPON ENCOUNTERING ANY UNEXPECTED STRUCTURE, UTILITY LINE, OR OTHER UNUSUAL CONDITION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK. EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY BY PITTMAN-GLAZE AND ASSOCIATES AND PREVIOUS CONSTRUCTION PLANS.
5. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITY, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF LOCATING, PRESERVING AND PROTECTING SAID UTILITY OR STRUCTURE.
6. ALL VALVE BOXES SHALL BE SET FLUSH WITH FINISHED GRADE.
7. EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR AT ALL TIMES AS PER ESCAMBIA COUNTY REQUIREMENTS.
8. THE CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO PREVENT AND CONTROL EROSION AND SEDIMENTATION. AREAS OF CONTROL AND TYPICAL SECTION OF BARRIERS ARE SUGGESTIONS ONLY AND DO NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TO PREVENT AND CONTROL EROSION AND SEDIMENTATION.
9. ALL SITE WORK MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, UNLESS NOTED OTHERWISE IN THE CONSTRUCTION DOCUMENTS.
10. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
11. THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING. COORDINATE SITE VISIT WITH OWNER.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION TO THE TESTING REQUIREMENTS OUTLINED IN THE CONSTRUCTION DOCUMENTS.
13. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND THE CONTRACT.
14. STAGING AREA AND EQUIPMENT STORAGE SHALL BE AS DESIGNATED BY THE OWNER.
15. CONTRACTOR SHALL DELIVER THE STAGING AREA TO THE OWNER ON OR BEFORE THE DATE OF COMPLETION OF CONSTRUCTION AND SAME SHALL BE IN AS GOOD AS OR BETTER CONDITION AS EXISTED PRIOR TO CONSTRUCTION.
16. CONTRACTOR SHALL SECURE THE PROJECT SITE AT THE END OF EACH DAY AND ON WEEKENDS.
17. CONTRACTOR EMPLOYEE PARKING SHALL BE DESIGNATED BY THE OWNER.
18. THE CONTRACTOR SHALL NOT BLOCK OR OBSTRUCT ANY ROADS OR DRIVES WITHOUT FIRST RECEIVING PERMISSION FROM PENSACOLA CHRISTIAN COLLEGE TO DO SO.
19. CONTRACTOR IS RESPONSIBLE FOR PREVENTING THE TRANSFER OF MUD/DIRT/DEBRIS FROM CONSTRUCTION VEHICLES ONTO CAMPUS AND PUBLIC ROADS. CONTRACTOR IS RESPONSIBLE FOR CLEANUP OF SAME.
20. CONTRACTOR SHALL CLEANUP THE ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWICE PER WEEK. THIS SHALL INCLUDE PLACING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, BUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE PER WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN HIS BID.
21. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY CONTRACTOR PRIOR TO OBTAINING C.O.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING HIS OWN QUANTITIES AND SHALL PROVIDE SAME ON APPROPRIATE FORM IN THE PROJECT MANUAL AND SUBMIT WITH HIS BID. CONTRACTOR SHALL PROVIDE UNIT PRICES WITH HIS QUANTITIES. FOR ANY ADDITIONAL WORK FOR WHICH THERE IS NO UNIT PRICE, CONTRACTOR SHALL SUBMIT ITEMIZED COST IN A FORM SATISFACTORY TO THE ENGINEER/ARCHITECT.
23. JOBSITE SAFETY IS THE EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL OSHA AND OTHER APPLICABLE SAFETY REQUIREMENTS SHALL BE STRICTLY ADHERED TO.

24. CONTRACTOR WILL ADHERE TO PENSACOLA CHRISTIAN COLLEGE'S CONTRACTOR'S CODE OF CONDUCT AT ALL TIMES WHILE ON CAMPUS.
25. CONTRACTOR IS CAUTIONED THAT ALL MATERIAL SUBMITTALS, DESIGN MIXES AND OTHER SUBMITTALS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION OR CONSTRUCTION. SHOULD INSTALLATION OR CONSTRUCTION OCCUR PRIOR TO APPROVAL, CONTRACTOR MAY BE REQUIRED TO REMOVE AND REPLACE SAME AT HIS OWN EXPENSE.
26. CONTRACTOR IS RESPONSIBLE FOR CONTACTING, COORDINATING AND ASSISTING GEOTECHNICAL ENGINEER WITH ALL TESTING. SHOULD TESTING NOT BE DONE OR NOT OCCUR AT THE APPROPRIATE TIME, THE CONTRACTOR MAY BE REQUIRED TO REMOVE OR UNCOVER WORK AND REPLACE AT HIS OWN EXPENSE.
27. AT THE COMPLETION OF THE PROJECT AND PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE TO OWNER AND ENGINEER, A "REDLINE MARK-UP" SET OF ASBUILT DRAWINGS SHOWING ALL UTILITIES (INCLUDING ELECTRICAL, TELEPHONE, GAS AND STORM) INSTALLED, AND EXISTING UTILITIES UNCOVERED DURING THE COURSE OF THE WORK. ASBUILT DRAWINGS SHALL BE CLEAN, NEAT AND LEGIBLE. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION, WHICH SHOW ASBUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, DIMENSIONS, ETC.
28. CONTRACTOR IS TO PERFORM ALL EXCAVATION THAT IS IN CLOSE PROXIMITY TO GAS LINES, FIBER OPTICS AND ELECTRICAL LINES BY HAND. WHILE EXCAVATING AROUND GAS LINES, THE CONTRACTOR SHALL HAVE AN EMPLOYEE AT THE SHUT-OFF VALVE, AT THE READY TO CLOSE THE VALVE IF NECESSARY.

ESCAMBIA COUNTY REQUIRED NOTES:

(CONTRACTOR TO ADHERE TO THESE NOTES IN ADDITION TO OTHER NOTES, PLANS AND PROJECT MANUAL)

1. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND AND SWALES TOPS AND SIDES SHALL BE SODDED.
2. SEDIMENT SHALL BE RETAINED ON THE SITE OF DEVELOPMENT.
3. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
4. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, RETENTION AREA, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
5. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
6. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.
7. ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE RESIDENTIAL STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
8. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
9. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
10. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
11. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL RUNOFF DURING ALL PHASES OF CONSTRUCTION.
12. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
13. ALL DISTURBED AREAS WITHIN COUNTY RIGHT-OF-WAY TO BE STABILIZED WITH SOD.



PROPERTY OWNER:
 PENSACOLA CHRISTIAN COLLEGE INC.
 250 BRENT LANE, PENSACOLA, FLORIDA 32504
 850-969-1610
 DEVELOPER:
 PENSACOLA CHRISTIAN COLLEGE INC.
 PROJECT ADDRESS:
 1230 PERDIDO MANOR DR.
 PENSACOLA, FL 32506
 PROPERTY ID:
 03-2S-32-1000-002-005 (7.02 ACRES)
 ZONED:
 LDR
 REC
 FUTURE LAND USE:
 MU-3
 PLANS PREPARED BY:
 KENNETH HORNE & ASSOCIATES
 AUGUST 2017
 FLOOD ZONE "X" PER FIRM MAP 12033C0345 G PANEL
 345 DATED SEP. 29 2006
 POTABLE WATER SERVICE AVAILABILITY - ECUA
 LOCATION AND SIZE OF ANY WATER LINES - AS SHOWN
 LOCATION OF FIRE HYDRANTS - AS SHOWN
 ADJACENT PROPERTY OWNERS
 NORTH: ESCAMBIA COUNTY PARK
 SOUTH: PENSACOLA CHRISTIAN COLLEGE
 EAST: PENSACOLA CHRISTIAN COLLEGE
 WEST: PERDIDO BAY

Sheet Number	Sheet Title
C001	CIVIL COVER SHEET AND GENERAL NOTES
C101	EXISTING CONDITIONS
C201	STAKING PLAN
C202	DRAINFIELD PLAN
C301	GRADING PLAN
C401	DETAILS
C402	DETAILS

NO.	DATE	
1		
2		
3		
4		
5		
6		

THE DRAWING IS THE PROPERTY OF
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 ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

KENNETH C. HORNE
 FL. P.E. 40149

Kenneth Horne & Associates, Inc.
 CIVIL ENGINEERS

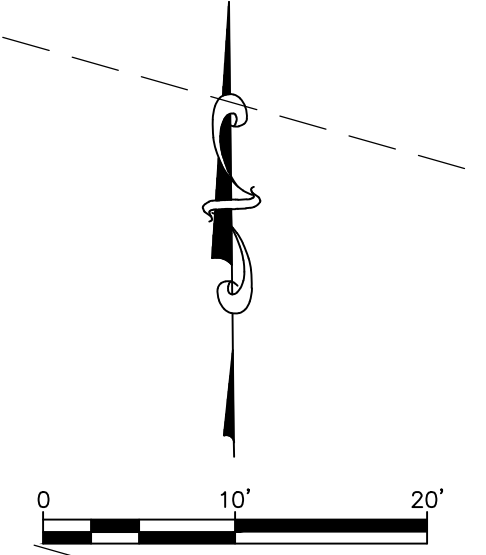
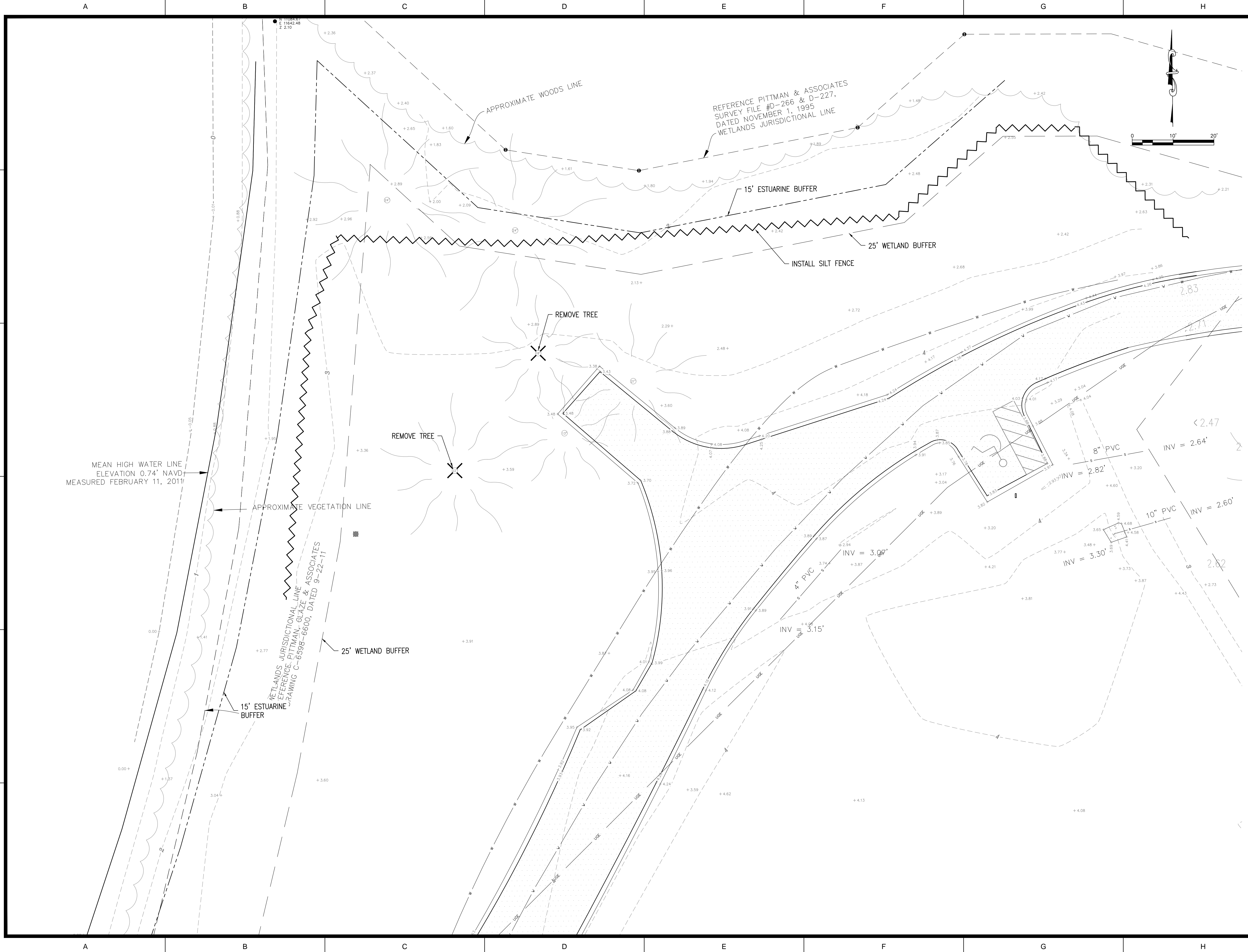
PO BOX 10669, PENSACOLA, FLORIDA 32524
 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-9005 info@kha-a.com FAX (850) 471-0093

FL. CERTIFICATE OF AUTHORIZATION NO. 8288

PENSACOLA CHRISTIAN COLLEGE	WEST CAMPUS STORAGE BLDG & RR	FLORIDA
COVER SHEET AND GENERAL NOTES	ESCAMBIA COUNTY	

DRAWN BY: PLC	DESIGNED BY: KHA	CHECKED BY: KHA	DATE: 9/18/17	SCALE: AS SHOWN	NOT FOR CONSTRUCTION	DATE:
PROJECT NO: 2017-22						
C001						
SHEET: 1 OF 7						

S:\Pcc Projects\2017-22 W Campus Storage Bldg & RR\DWG\CIVIL\17-22_C10X.dwg, Sep 18, 2017 - 1:49:31PM, Lee



NO.	DATE	REVISIONS

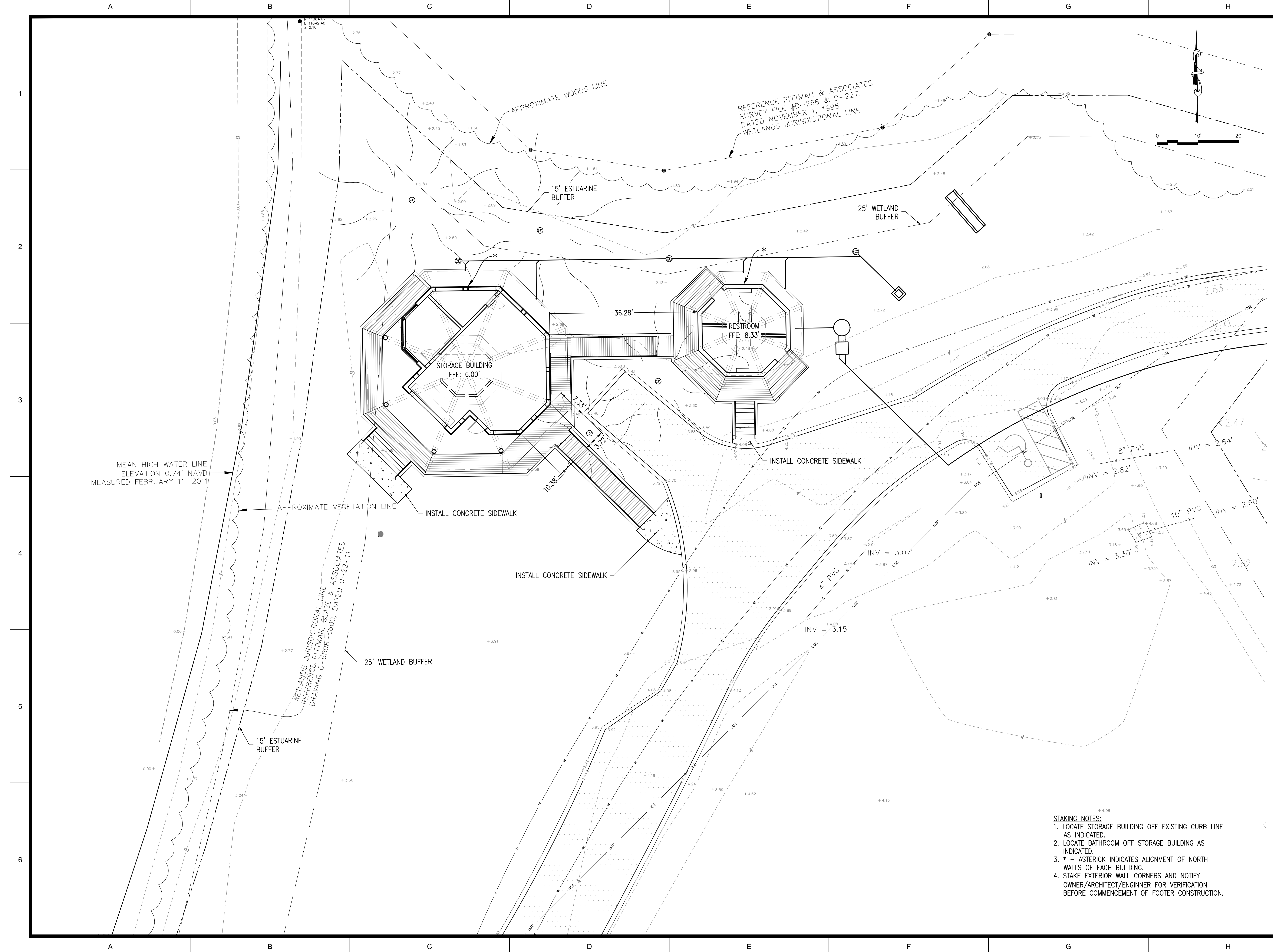
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KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE
REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON
ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.
KENNETH C. HORNE
FL. PE. 40149

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL. CERTIFICATE OF AUTHORIZATION NO. 6268

PENSACOLA CHRISTIAN COLLEGE
WEST CAMPUS STORAGE BLDG & RR
EXISTING CONDITIONS
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: PLC	PROJECT NO: 2017-22
DESIGNED BY: KHA	C101
CHECKED BY: KHA	SHEET: 2 OF 7
DATE: 9/18/17	
SCALE: AS SHOWN	
NOT FOR CONSTRUCTION	
BY: DATE:	

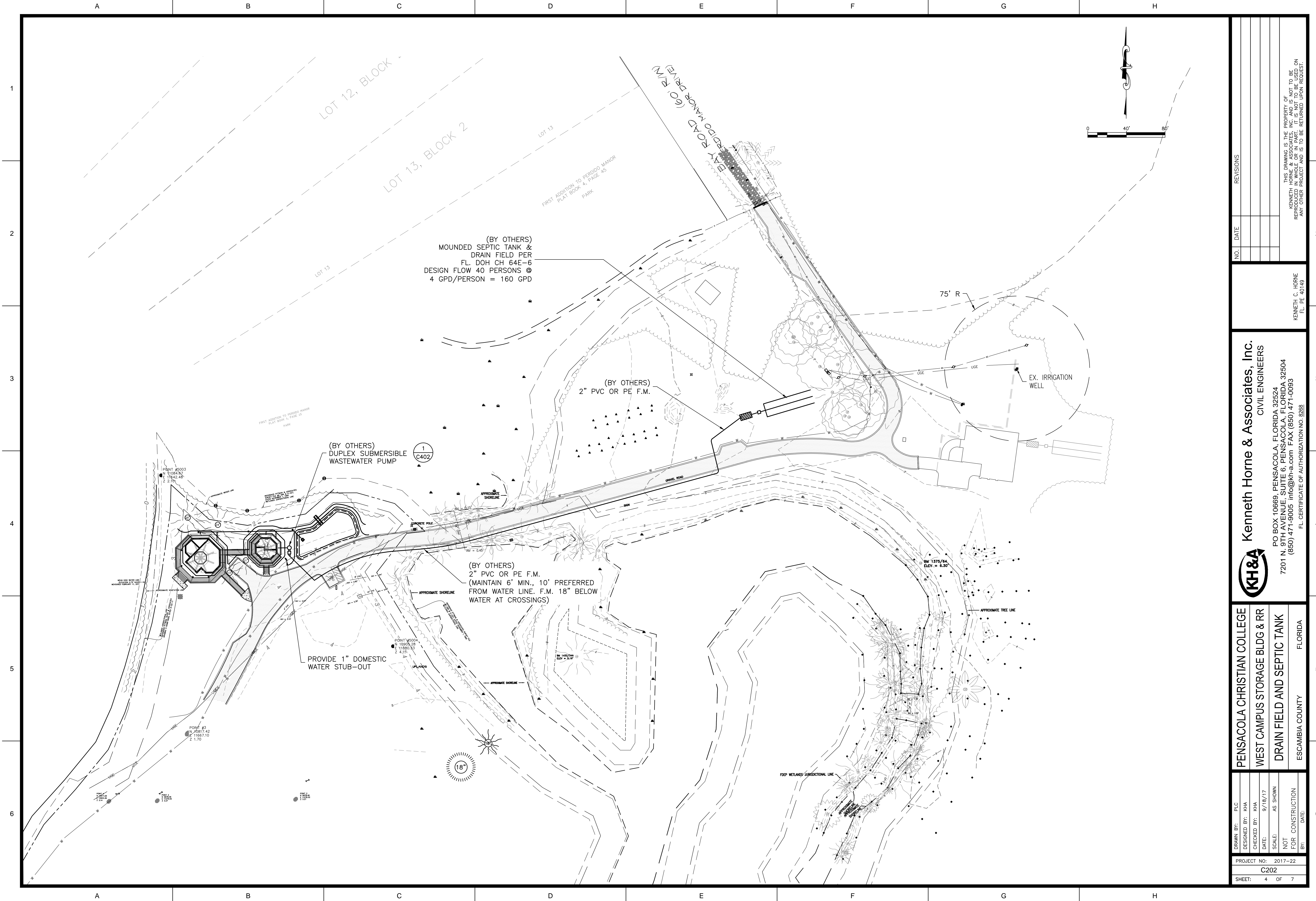
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- STAKING NOTES:**
1. LOCATE STORAGE BUILDING OFF EXISTING CURB LINE AS INDICATED.
 2. LOCATE BATHROOM OFF STORAGE BUILDING AS INDICATED.
 3. * - ASTERICK INDICATES ALIGNMENT OF NORTH WALLS OF EACH BUILDING.
 4. STAKE EXTERIOR WALL CORNERS AND NOTIFY OWNER/ARCHITECT/ENGINEER FOR VERIFICATION BEFORE COMMENCEMENT OF FOOTER CONSTRUCTION.

DRAWN BY: PLC		DESIGNED BY: KHA		CHECKED BY: KHA		DATE: 9/18/17	
PROJECT NO: 2017-22		SCALE: AS SHOWN		NOT FOR CONSTRUCTION		DATE:	
SHEET: 3 OF 7		PROJECT NO: 2017-22		C201		DATE:	
PENSACOLA CHRISTIAN COLLEGE WEST CAMPUS STORAGE BLDG & RR				KH&A Kenneth Home & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093			
STAKING PLAN				FL. CERTIFICATE OF AUTHORIZATION NO. 8268 KENNETH C. HORNE FL. PE. 40149			
ESCAMBIA COUNTY				FLORIDA			
NO.		DATE		REVISIONS			

S:\Pcc Projects\2017-22 W Campus Storage Bldg & RR\DWGS\CIVIL\17-22_C202_DRAINFIELD.dwg, Sep 18, 2017 - 11:52:10PM, Lee



(BY OTHERS)
 MOUNDED SEPTIC TANK &
 DRAIN FIELD PER
 FL. DOH CH 64E-6
 DESIGN FLOW 40 PERSONS @
 4 GPD/PERSON = 160 GPD

(BY OTHERS)
 2" PVC OR PE F.M.

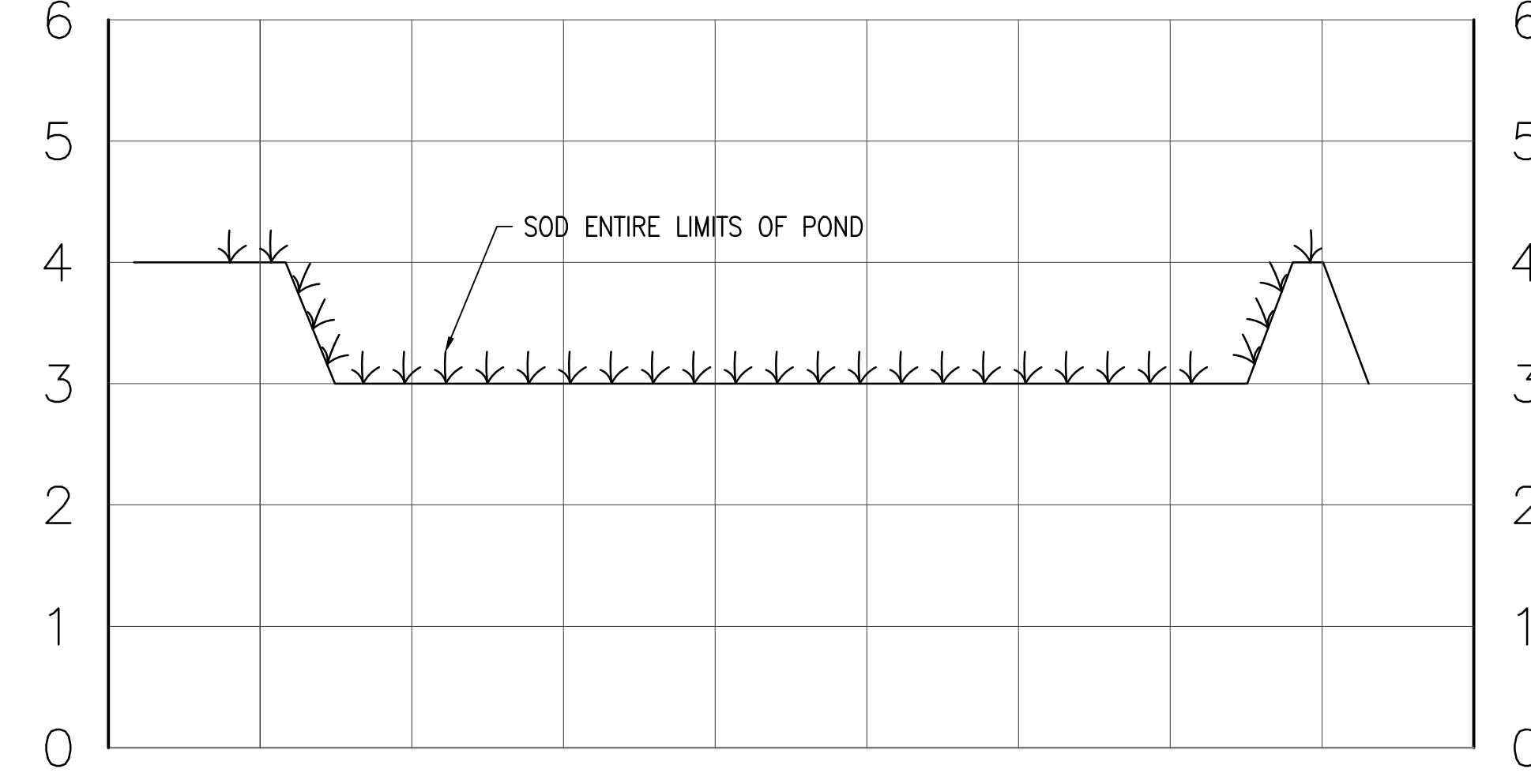
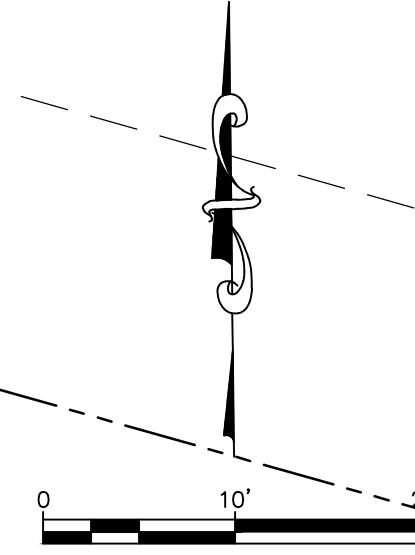
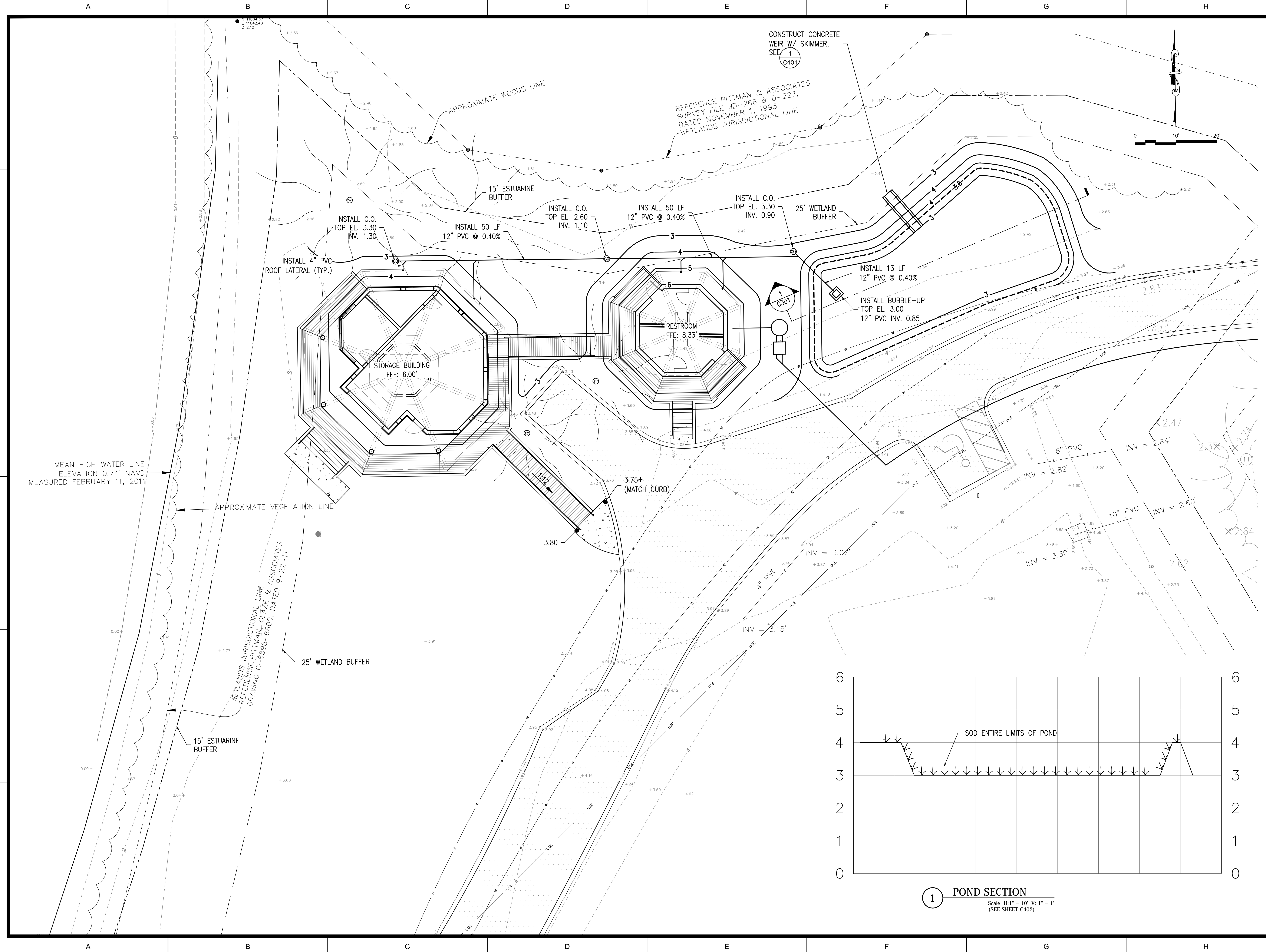
(BY OTHERS)
 DUPLEX SUBMERSIBLE
 WASTEWATER PUMP

(BY OTHERS)
 2" PVC OR PE F.M.
 (MAINTAIN 6' MIN., 10' PREFERRED
 FROM WATER LINE. F.M. 18" BELOW
 WATER AT CROSSINGS)

PROVIDE 1" DOMESTIC
 WATER STUB-OUT

DRAWN BY: PLC		PROJECT NO: 2017-22 C202 SHEET: 4 OF 7
DESIGNED BY: KHA		
CHECKED BY: KHA		
DATE: 9/18/17		
SCALE: AS SHOWN		FOR CONSTRUCTION BY: _____ DATE: _____
NOT FOR CONSTRUCTION		
PENSACOLA CHRISTIAN COLLEGE WEST CAMPUS STORAGE BLDG & RR DRAIN FIELD AND SEPTIC TANK ESCAMBIA COUNTY FLORIDA		
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 8268 KENNETH C. HORNE FL. PE 40149		
REVISIONS		
NO.	DATE	

S:\Pcc Projects\2017-22 W Campus Storage Bldg & RR\DWG\CIVIL\17-22_C30X.dwg, Sep 18, 2017 - 1:53:14PM, Lee



1 POND SECTION
Scale: H:1" = 10' V: 1" = 1'
(SEE SHEET C402)

CONSTRUCT CONCRETE WEIR W/ SKIMMER, SEE **1 C401**

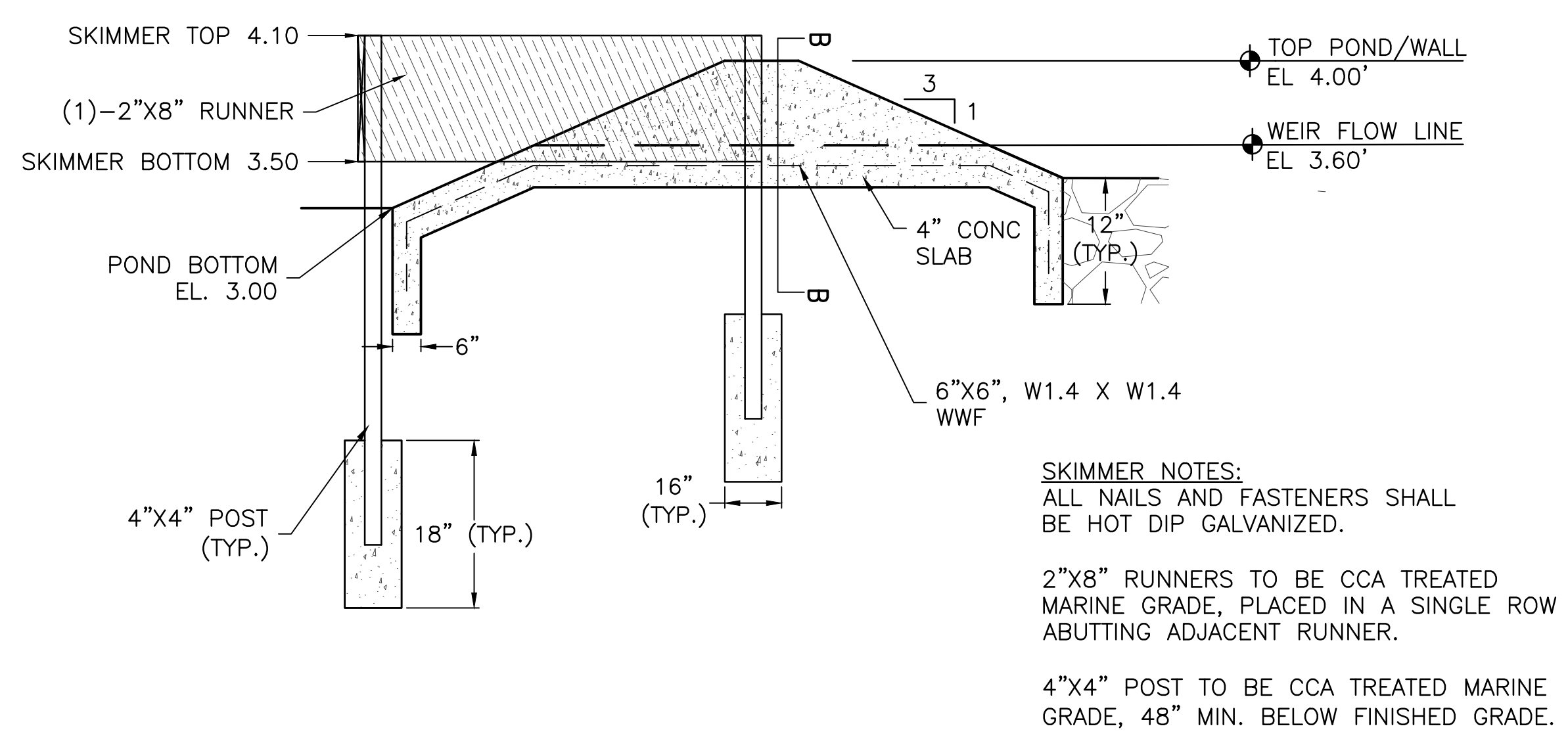
REFERENCE PITTMAN & ASSOCIATES SURVEY FILE #D-266 & D-227, DATED NOVEMBER 1, 1995 WETLANDS JURISDICTIONAL LINE

WETLANDS JURISDICTIONAL LINE
REFERENCE PITTMAN, GLAZE & ASSOCIATES DRAWING C-6598-6600, DATED 9-22-11

MEAN HIGH WATER LINE
ELEVATION 0.74' NAVD
MEASURED FEBRUARY 11, 2011

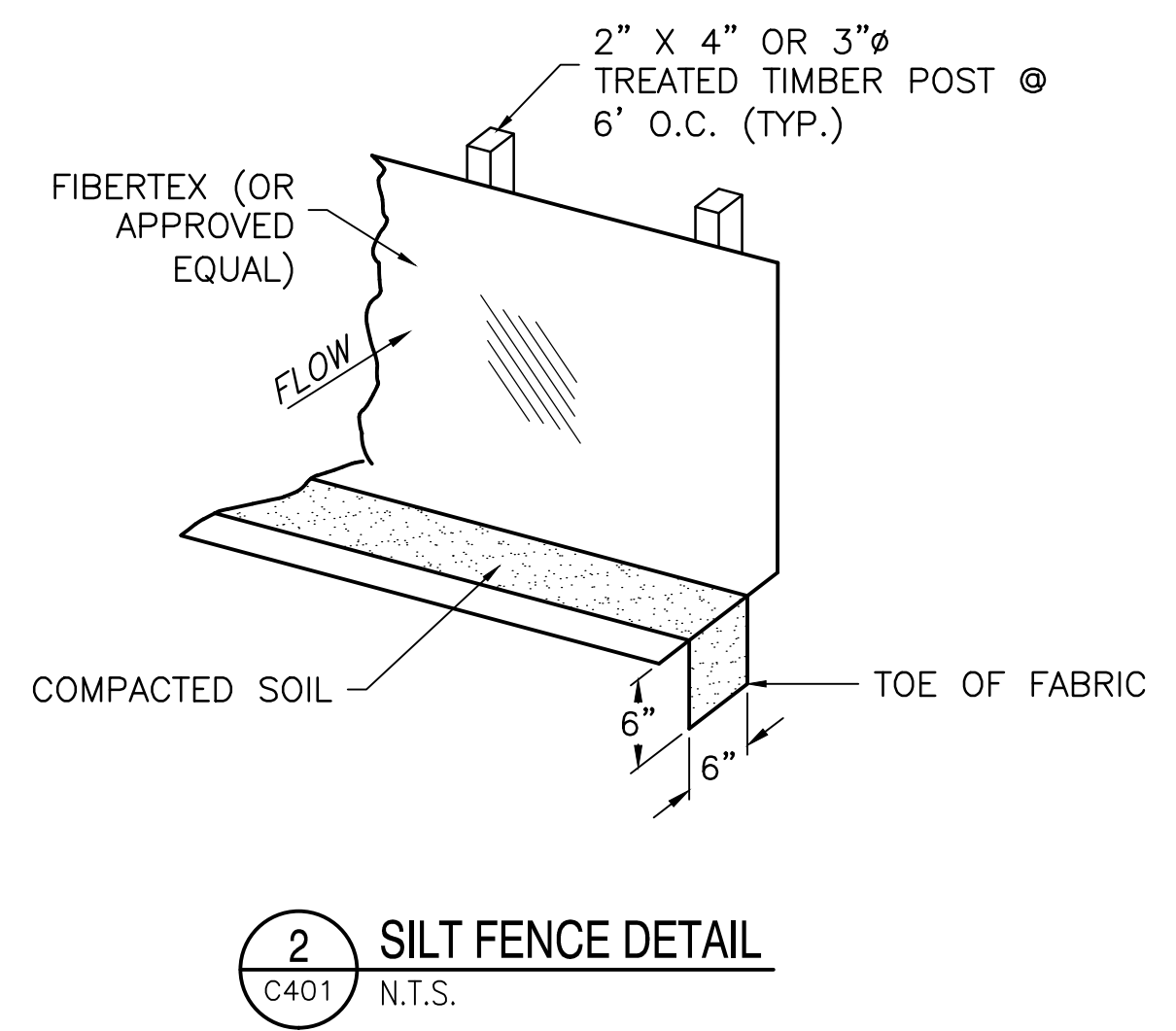
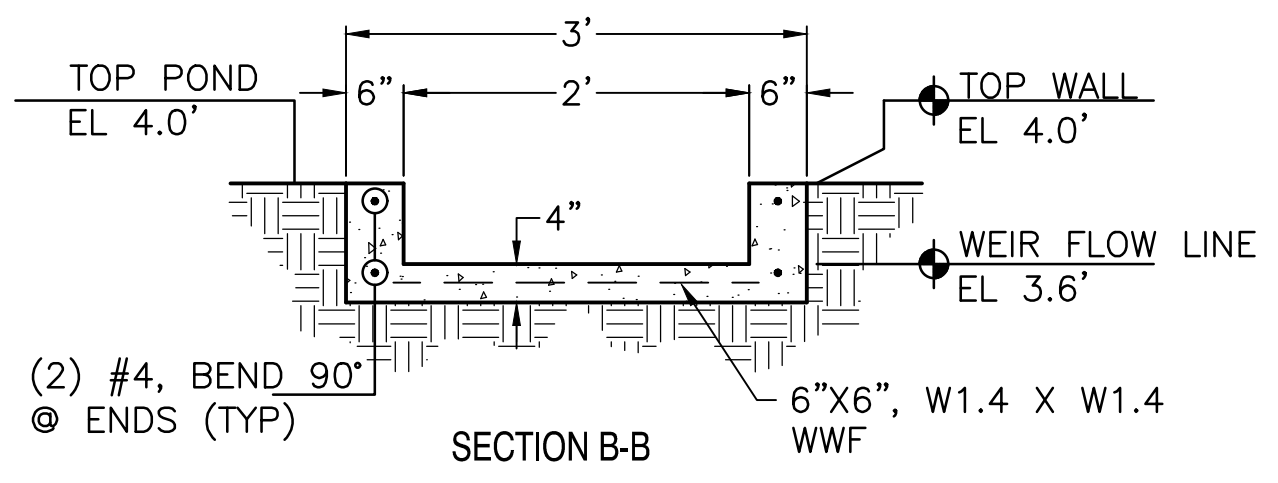
REVISIONS	
NO.	DATE
KENTH C. HORNE FL. PE. 40149	
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 8268	
PENSACOLA CHRISTIAN COLLEGE WEST CAMPUS STORAGE BLDG & RR	FLORIDA
GRADING PLAN	
ESCAMBIA COUNTY	FLORIDA
DRAWN BY: PLC DESIGNED BY: KHA CHECKED BY: KHA DATE: 9/18/17 SCALE: AS SHOWN NOT FOR CONSTRUCTION BY: DATE:	PROJECT NO: 2017-22 C301 SHEET: 5 OF 7

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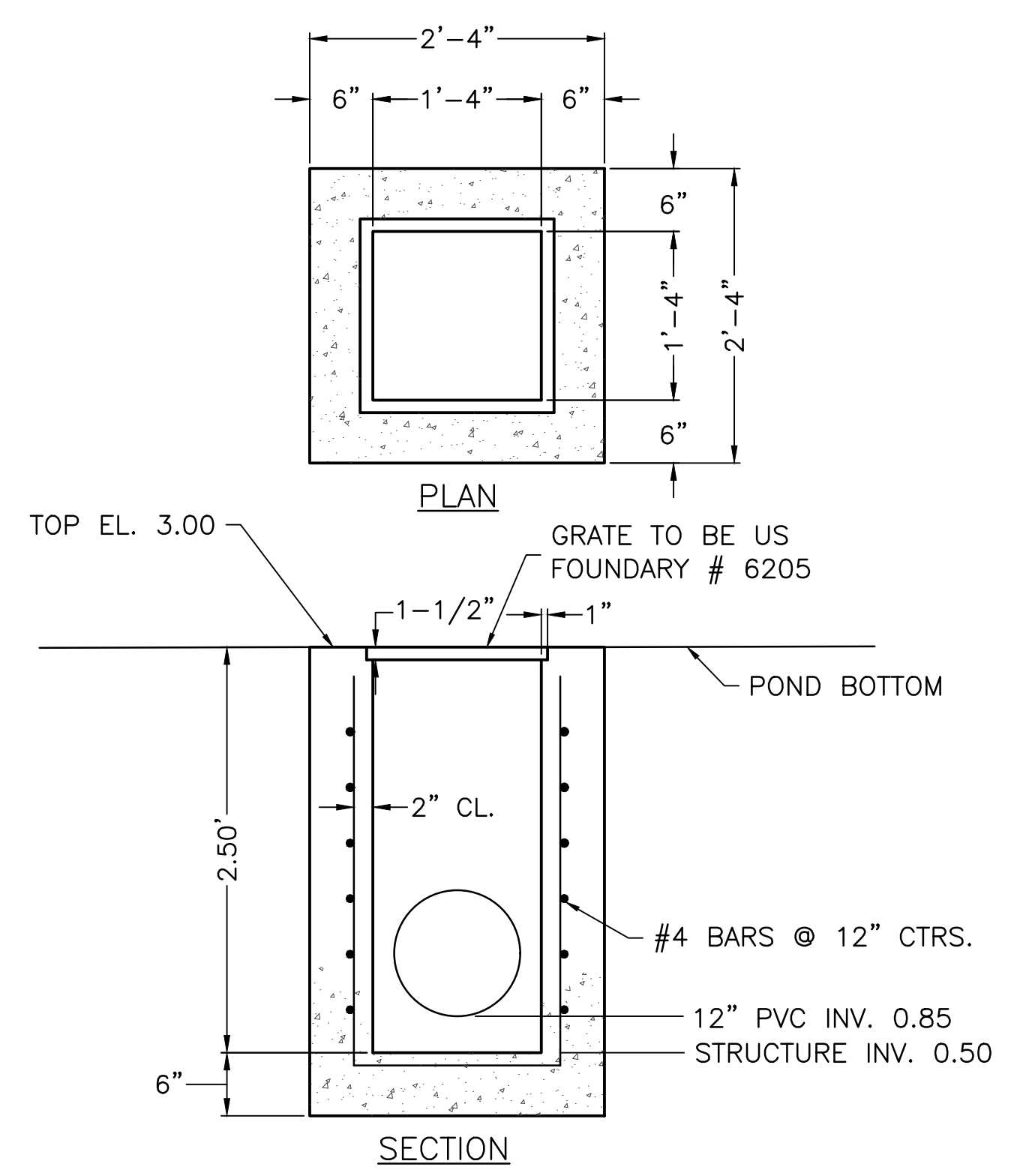


1 CONCRETE WEIR WITH SKIMMER DETAIL
C401 N.T.S.

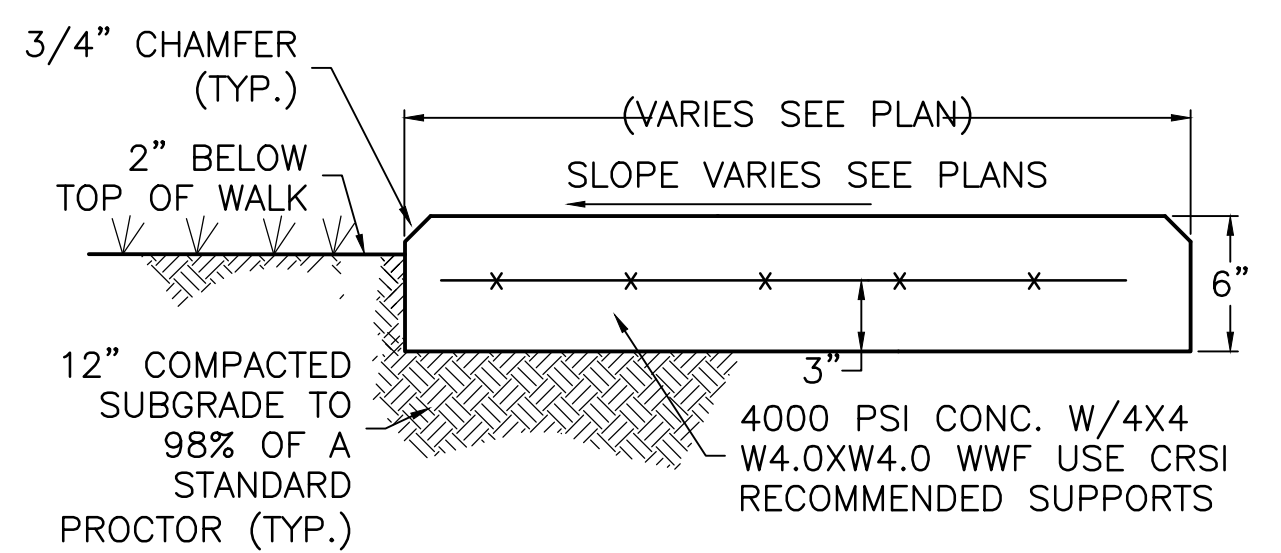
SKIMMER NOTES:
ALL NAILS AND FASTENERS SHALL BE HOT DIP GALVANIZED.
2"X8" RUNNERS TO BE CCA TREATED MARINE GRADE, PLACED IN A SINGLE ROW ABUTTING ADJACENT RUNNER.
4"X4" POST TO BE CCA TREATED MARINE GRADE, 48" MIN. BELOW FINISHED GRADE.



2 SILT FENCE DETAIL
C401 N.T.S.



3 BUBBLE-UP DETAIL
C401 N.T.S.



4 SIDEWALK DETAILS
C401 N.T.S.

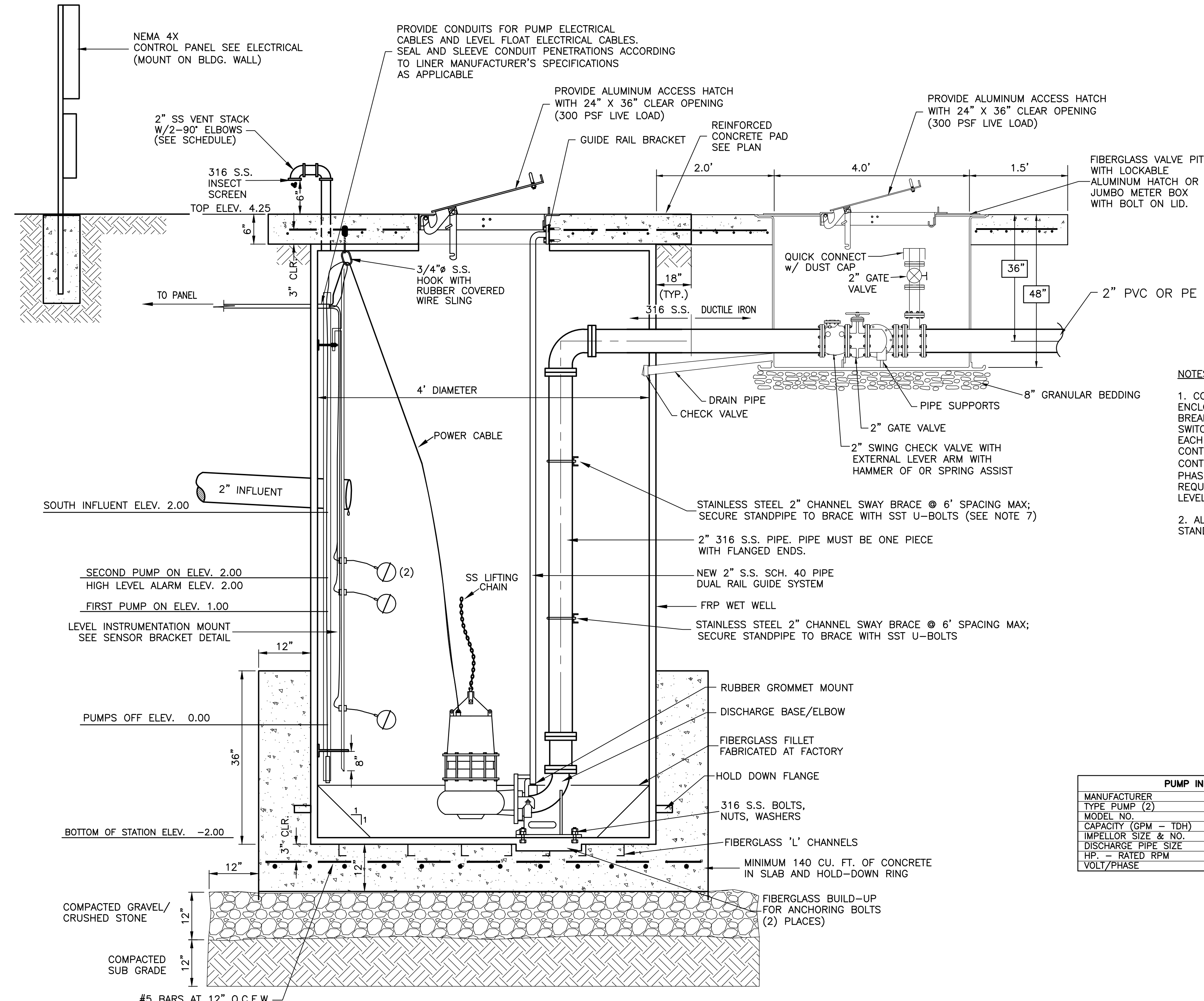
REVISIONS	
NO.	DATE
THE DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.	
KENNETH C. HORNE FL. PE. 40149	
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 5288	
PENSACOLA CHRISTIAN COLLEGE WEST CAMPUS STORAGE BLDG & RR	FLORIDA ESCAMBIA COUNTY
DETAILS	
DRAWN BY: PLC DESIGNED BY: KHA CHECKED BY: KHA DATE: 9/18/17	SCALE: AS SHOWN NOT FOR CONSTRUCTION BY: DATE:
PROJECT NO: 2017-22 C401	
SHEET: 6 OF 7	

S:\Pcc Projects\2017-22 W Campus Storage Bldg & RR\DWGS\CIVIL\17-22_C40X.dwg, Sep 18, 2017 - 1:54:53PM, Lee

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE F.D.O.I. UTILITY ACCOMMODATION MANUAL AND IN ACCORDANCE WITH THE LATEST EDITION OF THE E.C.U.A. ENGINEERING MANUAL. ALL WORK OFF RIGHT-OF-WAY SHALL COMPLY WITH 2016 PLUMBING CODE.

GENERAL NOTES:

1. THE LOCATION OF INFLUENT LINES ARE DRAWN OUT OF ORIENTATION ON SECTIONAL VIEW. SEE PLAN VIEW FOR ORIENTATION.
2. LIFT STATION WET WELL SHALL BE CONSTRUCTED WITH FIBER REINFORCED PLASTIC (FRP) DESIGNED, FABRICATED, INSPECTED, TESTED AND MARKED IN ACCORDANCE WITH ASTM D-3753 SPECIFICATIONS. REINFORCED CONCRETE CLASS III PIPE WALL MAY BE USED AS AN ALTERNATE IF THE WET WELL IS CONSTRUCTED AS FOLLOWS: A T-LOCK INTERIOR LINER, AS MANUFACTURED BY AMERON INTERNATIONAL PROTECTIVE COATINGS, OR APPROVED EQUIVALENT SHALL BE INSTALLED. ALL INTERIOR SURFACES, EXCEPT THE GROUT SLOPE AND CONCRETE FLOOR, MUST BE COVERED, THE LINER SHALL EXTEND TO THE CONCRETE FLOOR SUCH THAT THE LOWER PORTION OF THE LINER IS EMBEDDED BY THE GROUT. THE EXTERIOR WALLS OF THE WET WELL SHALL RECEIVE TWO COATS OF BITUMASTIC PAINT. THE JOINTS SHALL BE SEALED WITH A THERMALLY ACTIVATED ADHESIVE MEMBRANE WRAP.
3. ALL PENETRATIONS IN WET WELL WALL AND VALVE VAULT FOR PIPING, ELECTRICAL, ETC. SHALL BE SEALED & SLEEVED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
4. TO PROTECT STANDPIPE FROM SWAY BRACE, WRAP PIPE WITH 1/8" EPDM SHEETING.
5. PIPING WITHIN THE WET WELL SHALL BE FLANGED 316 STAINLESS STEEL, (SCHEDULE 10, ONE PIECE CONSTRUCTION). FITTINGS WITHIN THE WET WELL SHALL BE FLANGED 316 STAINLESS STEEL. ALL NUTS, BOLTS & ACCESSORIES WITHIN THE WET WELL SHALL BE 316 STAINLESS STEEL.



NOTES:

1. CONTROL PANEL SHALL BE MOUNTED IN A NEMA 4X ENCLOSURE AND SHALL INCLUDE: LOCK HASP, CIRCUIT BREAKERS FOR EACH PUMP, ALTERNATING RELAY, HOA SWITCHES, ELAPSED TIME METERS AND RUN LIGHTS FOR EACH PUMP, TERMINAL STRIP FOR CONNECTING PUMP AND CONTROL WIRES, TRANSFORMER TO PROVIDE 24 VOLT CONTROL CIRCUIT, SURGE/LIGHTENING PROTECTION, PHASE/VOLTAGE MONITOR, GENERATOR RECEPTACLE AND REQUIRED TO HAVE VISUAL AND AUDIBLE ALARM FOR HIGH LEVEL CONDITION WITH 12 VOLT BATTERY BACK-UP.
2. ALL EQUIPMENT SUPPLIED MUST MEET CURRENT FDEP STANDARDS.

PUMP INFORMATION:	
MANUFACTURER	HOMA
TYPE PUMP (2)	SUBMERSIBLE
MODEL NO.	TP49V24 2/1
CAPACITY (GPM - TDH)	20 GPM @ 28'
IMPELLOR SIZE & NO.	VORTEX
DISCHARGE PIPE SIZE	2"
HP. - RATED RPM	2HP / 1725
VOLT/PHASE	208 V / 1 PHASE

1
C402 WASTE WATER PUMP STATION (BY OTHERS)
N.T.S.

NO.	DATE	REVISIONS

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 REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON
 ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.
 KENNETH C. HORNE
 FL. PE. 40149

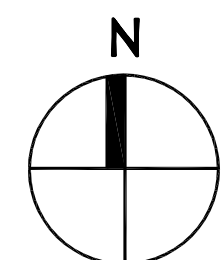
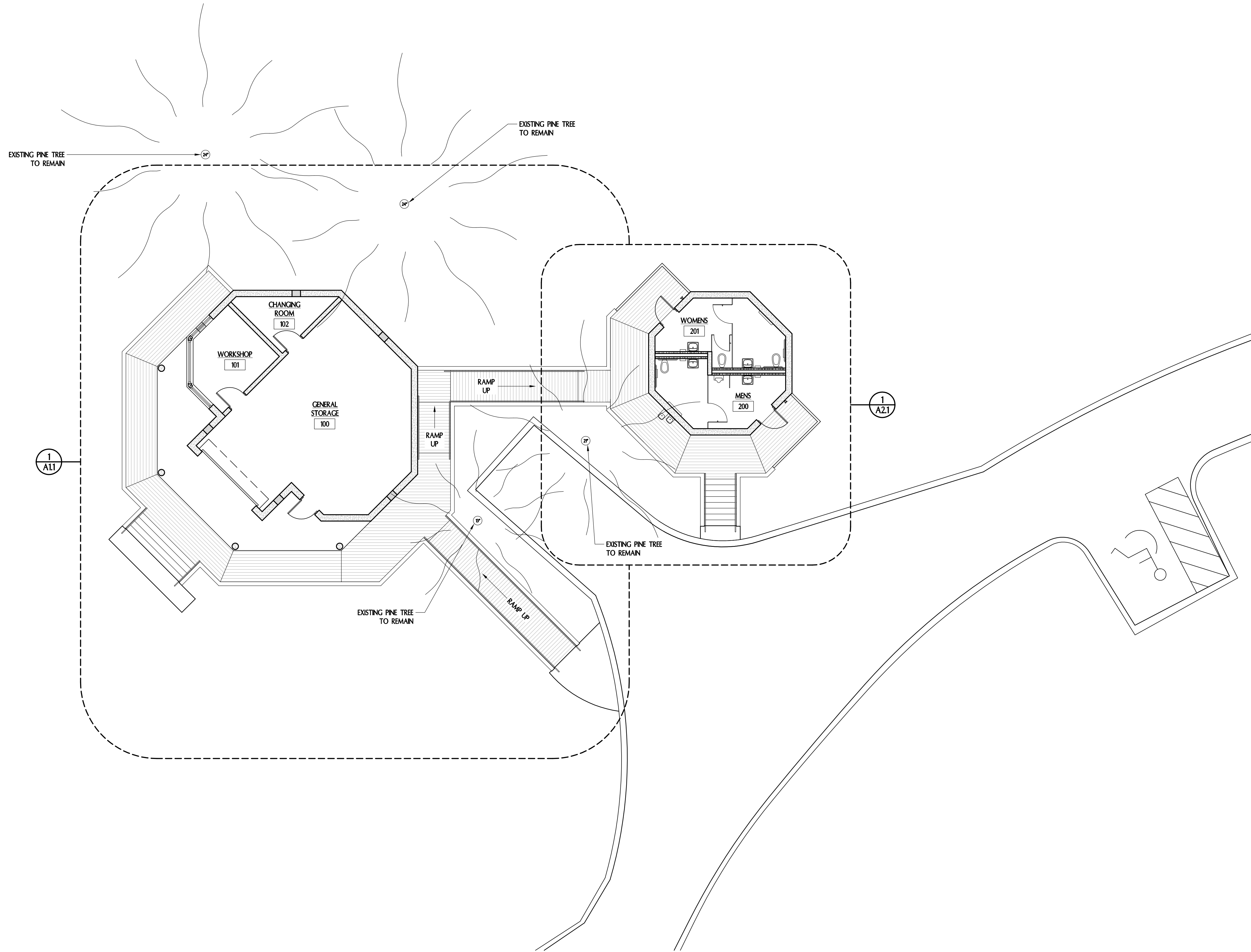
Kenneth Horne & Associates, Inc.
 CIVIL ENGINEERS

PO BOX 10669, PENSACOLA, FLORIDA 32524
 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-9005 info@kh-a.com FAX (850) 471-0093
 FL. CERTIFICATE OF AUTHORIZATION NO. 6268

PENSACOLA CHRISTIAN COLLEGE WEST CAMPUS STORAGE BLDG & RR	FLORIDA ESCAMBIA COUNTY
LIFT STATION DETAIL	

DRAWN BY:	PLC
DESIGNED BY:	KHA
CHECKED BY:	KHA
DATE:	9/18/17
SCALE:	AS SHOWN
NOT FOR CONSTRUCTION	
BY:	DATE:

PROJECT NO: 2017-22
C402
 SHEET: 7 OF 7



1
A10

ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

**WEST CAMPUS STORAGE
BUILDING AND RESTROOMS**
PENSACOLA CHRISTIAN COLLEGE, INC.
PENSACOLA, FLORIDA

STROBEL & HUNTER
INCORPORATED
An Architectural Firm
715 E. GADSDEN STREET
PENSACOLA, FL 32501
(850) 432-3153 (PHONE)
(850) 432-3892 (FAX)
LIC. #AA-C001779

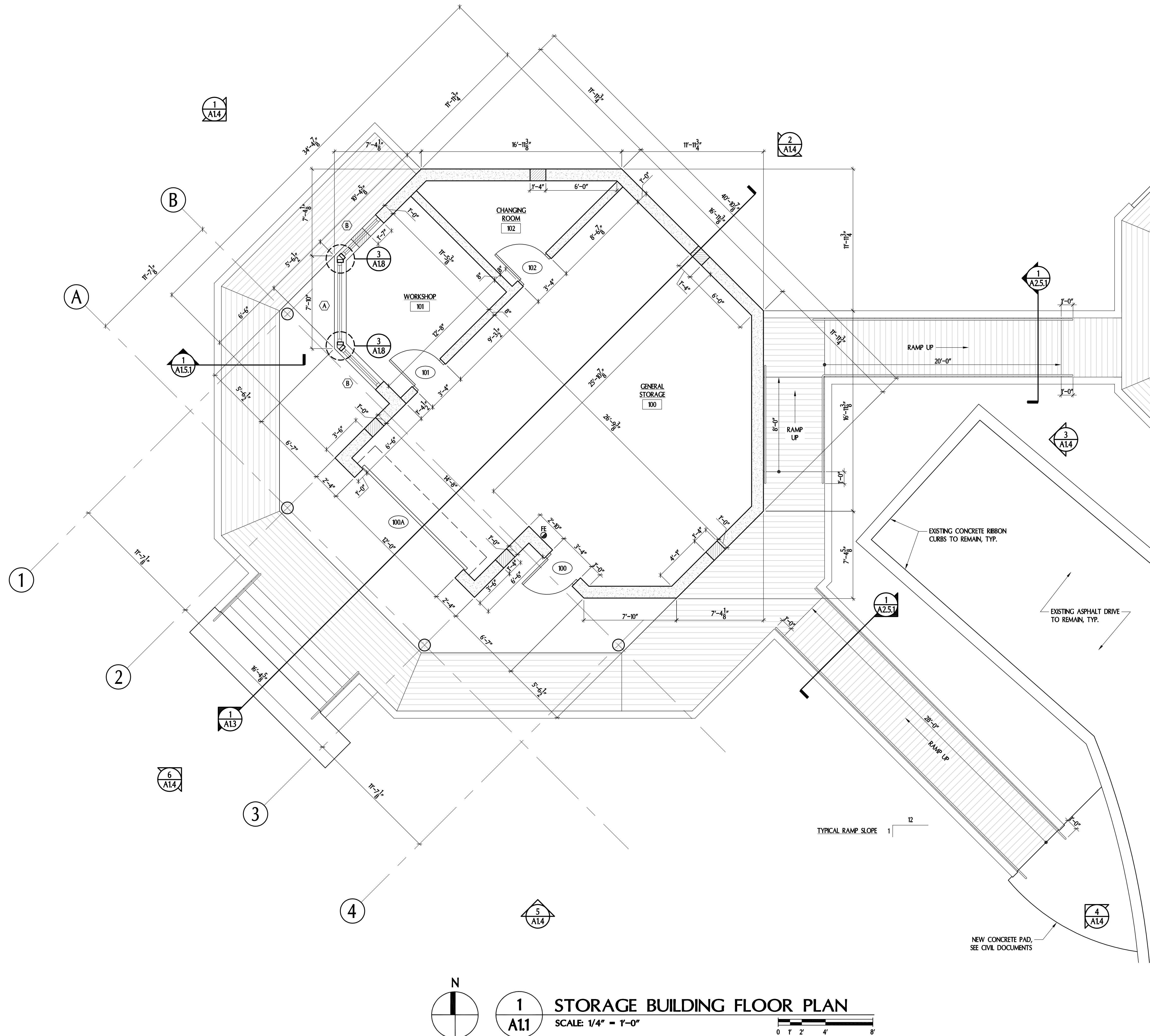
PROJ. NUMBER: 1024-206
DATE: SEPTEMBER 13, 2017
DRAWN BY: N.A.L.
CHECKED BY: S.M.F.

BID SET

STANLEY L. STROBEL

ARCHITECTURAL
SITE PLAN

A1.0



1
A1.1 STORAGE BUILDING FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

NOTE: SEE INTERIOR ELEVATIONS, WALL SECTIONS AND SCHEDULES FOR ADDITIONAL INFORMATION.

	ROOM NAME AND NUMBER
	DOOR NUMBER
	WINDOW FRAME TYPE
	WALL MOUNTED FIRE EXTINGUISHER
	REINFORCED CONCRETE WALL
	16" x 8" FLOOR VENT
	ELEVATION
	SECTION
	DETAIL

WEST CAMPUS STORAGE BUILDING AND RESTROOMS
PENSACOLA CHRISTIAN COLLEGE, INC.
PENSACOLA, FLORIDA

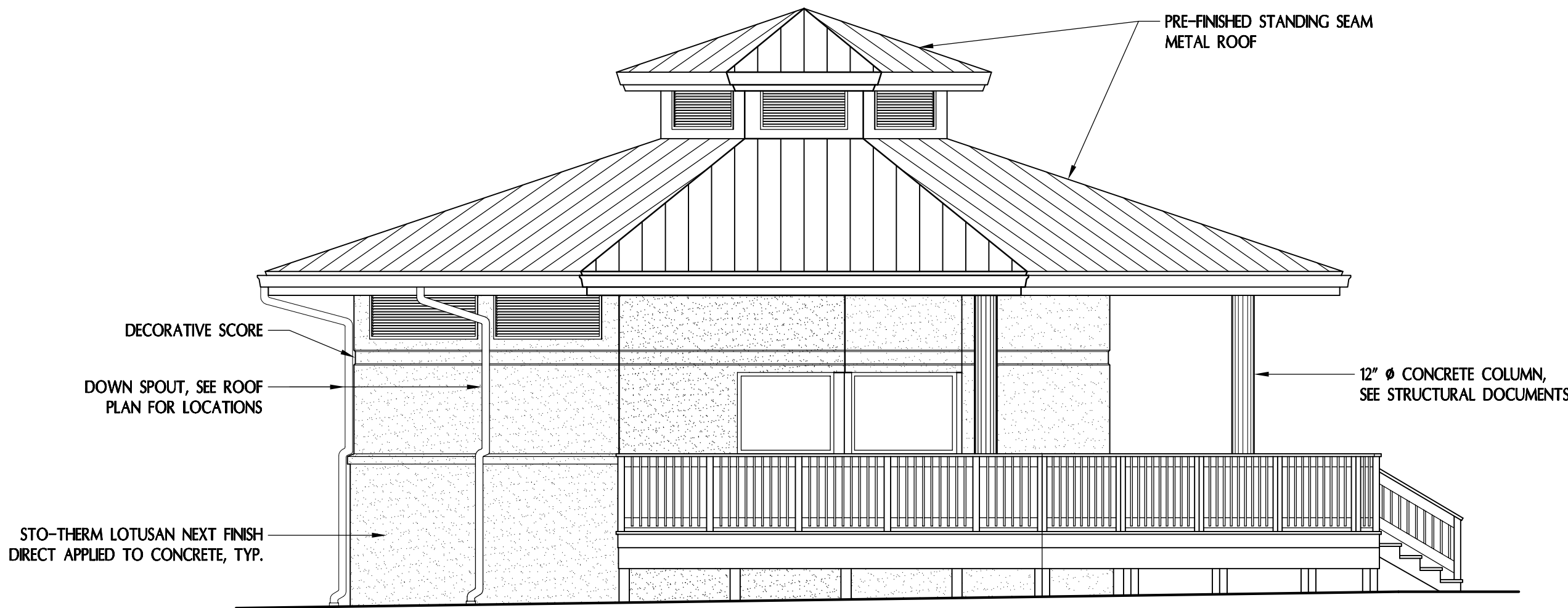
STROBEL & HUNTER
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An Architectural Firm
715 E. GADSDEN STREET
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PROJ. NUMBER: 1024-206
DATE: SEPTEMBER 13, 2017
DRAWN BY: N.A.L.
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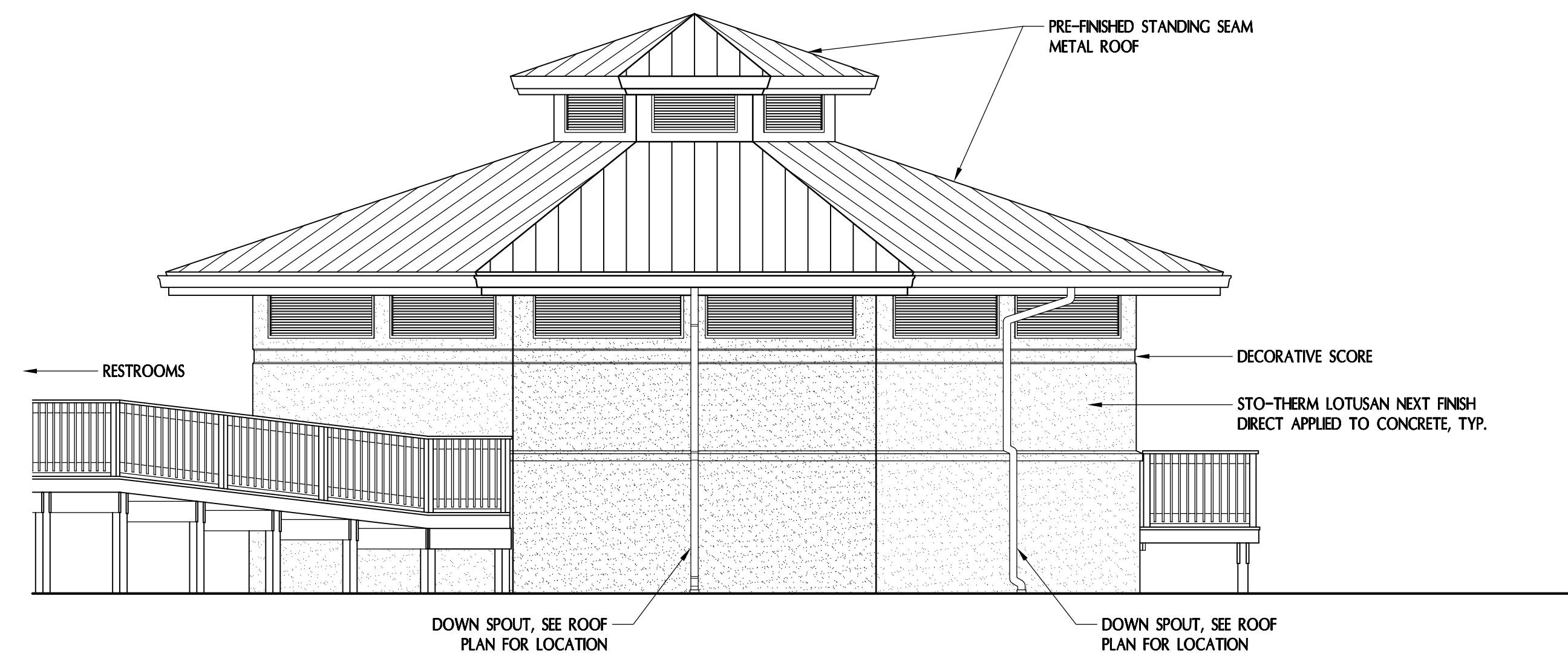
BID SET

STANLEY L. STROBEL
STORAGE BUILDING FLOOR PLAN

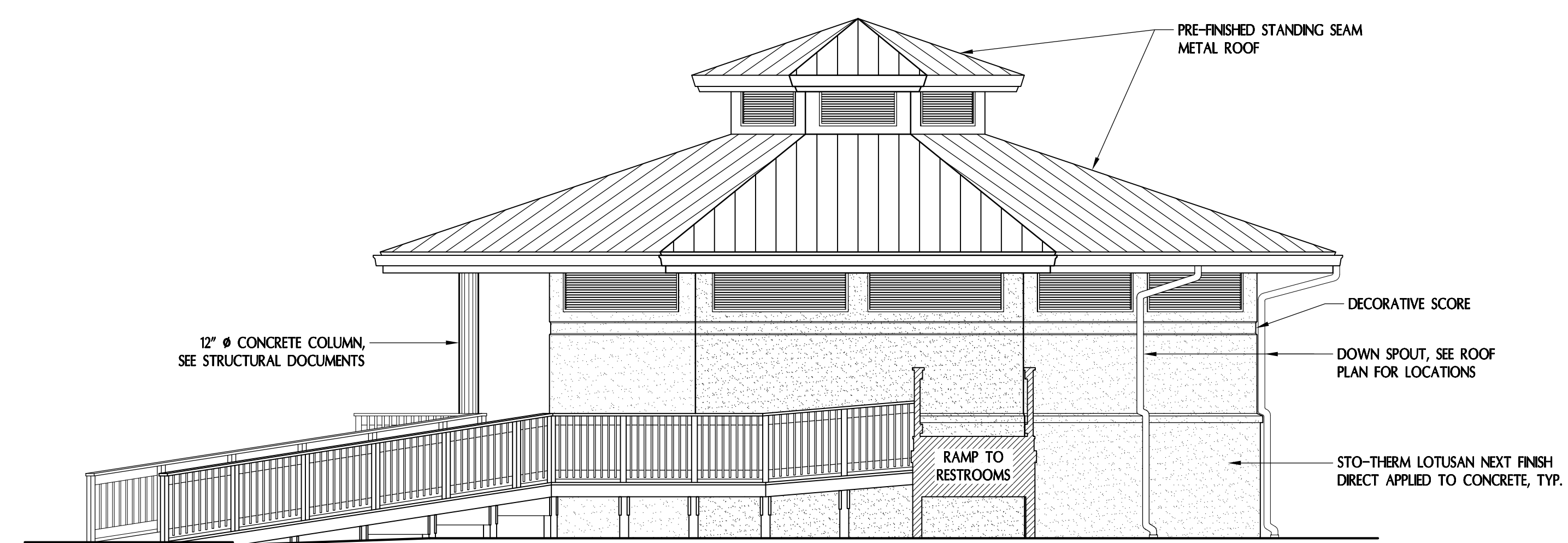
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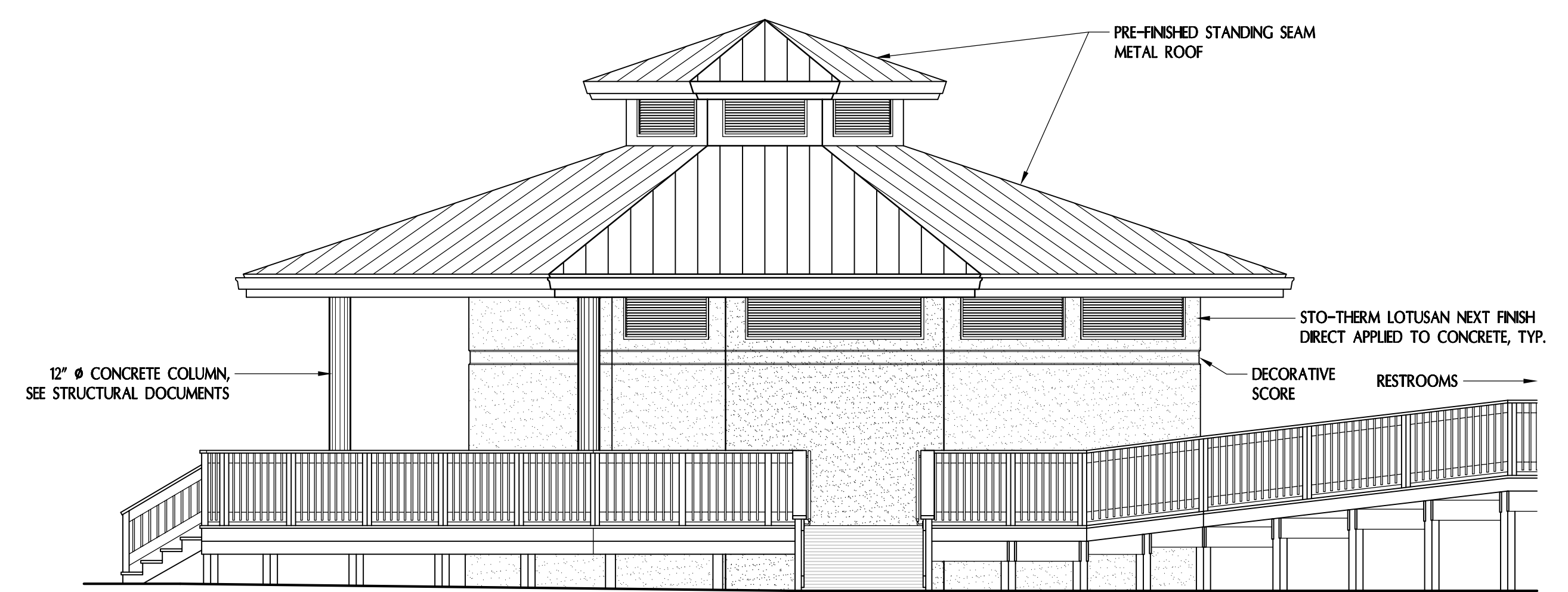
1 NORTH WEST ELEVATION
A14 SCALE: 3/16" = 1'-0"



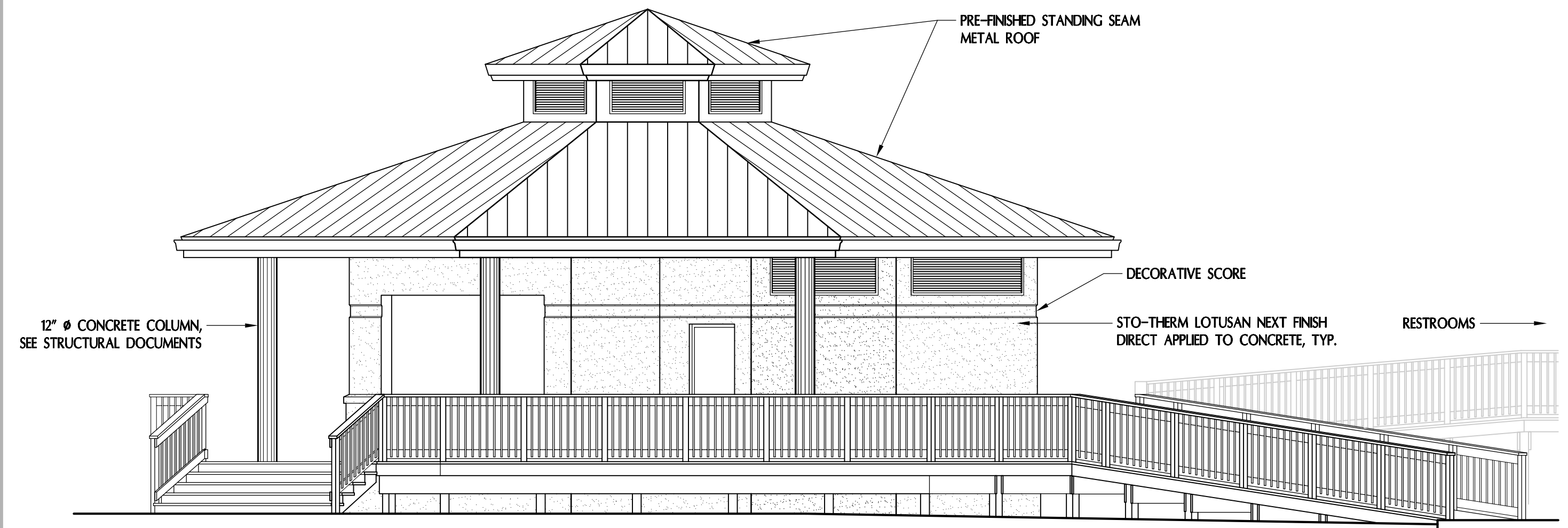
2 NORTH EAST ELEVATION
A14 SCALE: 3/16" = 1'-0"



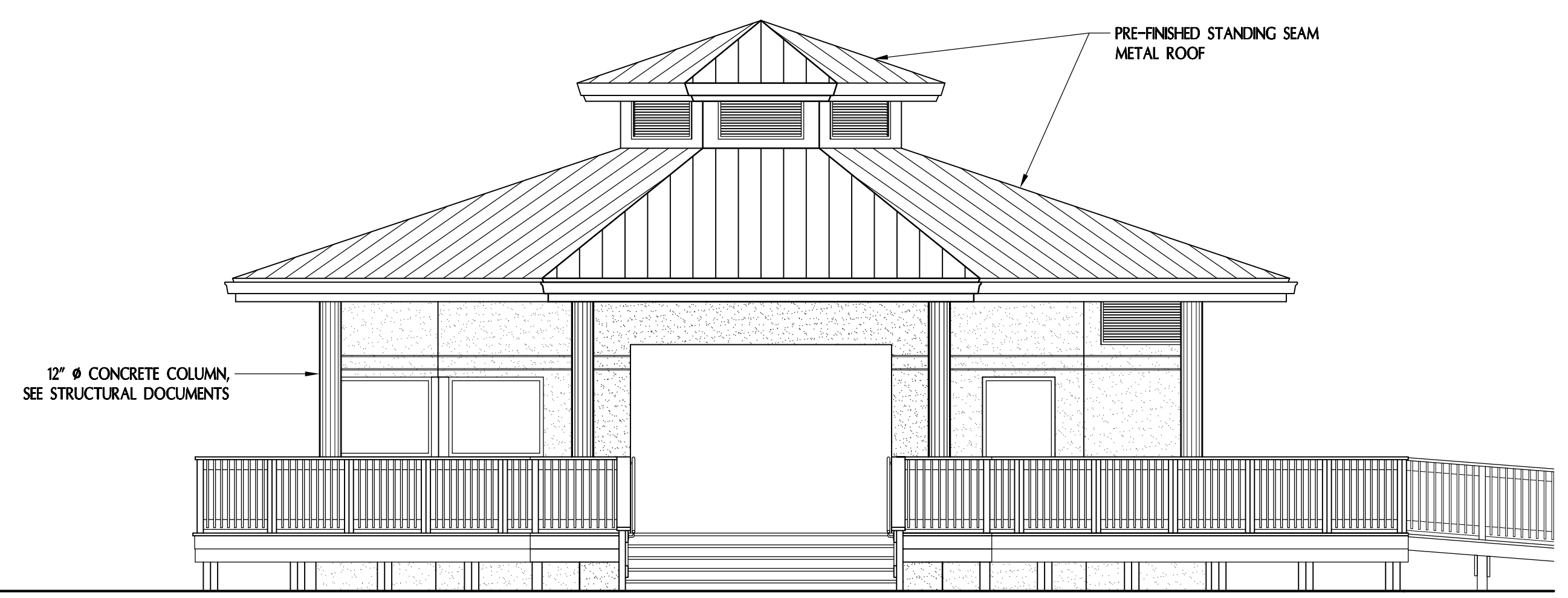
3 EAST ELEVATION
A14 SCALE: 3/16" = 1'-0"



4 SOUTH EAST ELEVATION
A14 SCALE: 3/16" = 1'-0"



5 SOUTH ELEVATION
A14 SCALE: 3/16" = 1'-0"



6 SOUTH WEST ELEVATION
A14 SCALE: 3/16" = 1'-0"

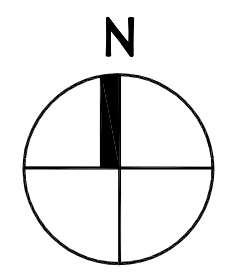
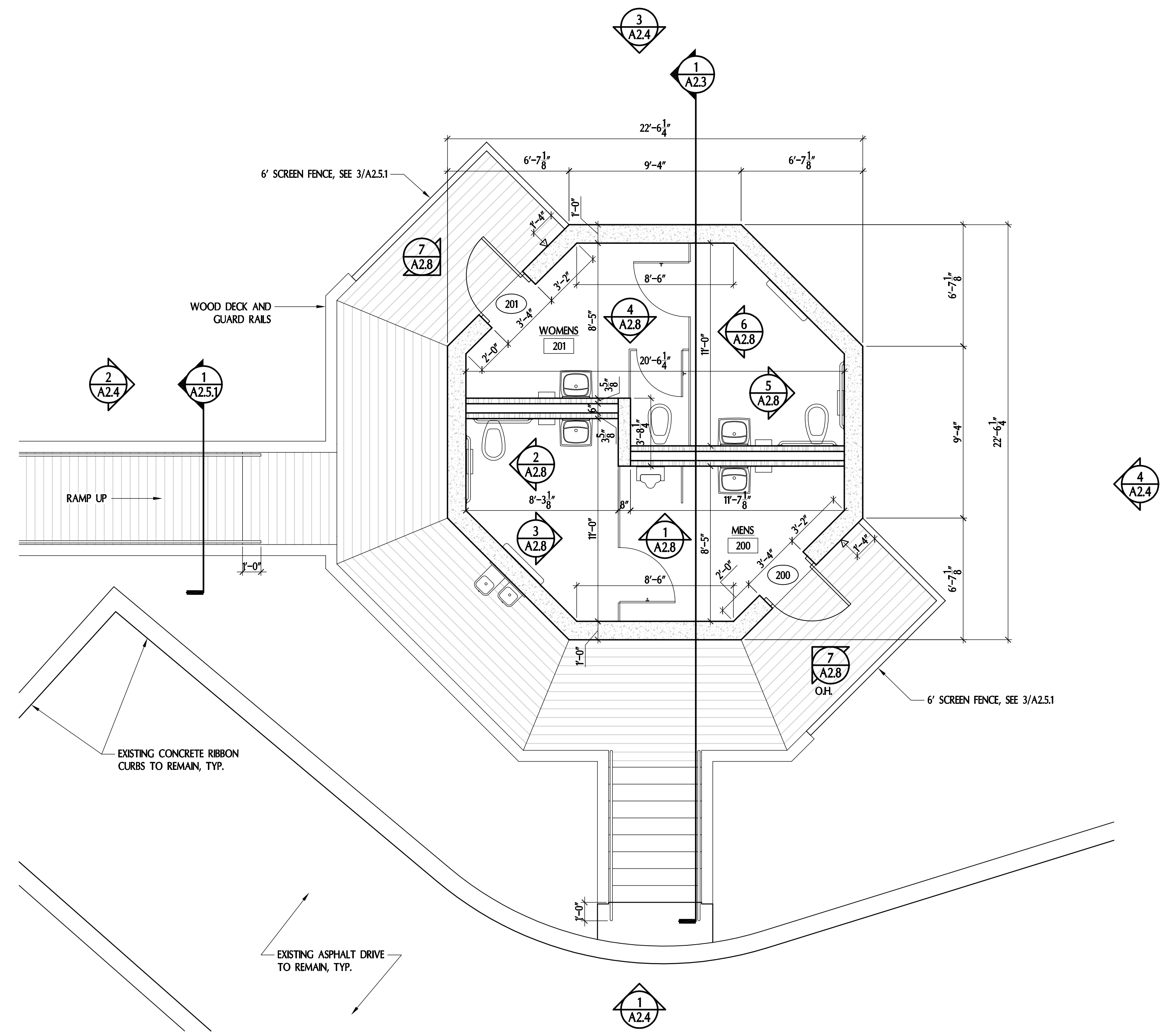
**WEST CAMPUS STORAGE
 BUILDING AND RESTROOMS**
 PENSACOLA CHRISTIAN COLLEGE, INC.
 PENSACOLA, FLORIDA

STROBEL & HUNTER
 INCORPORATED
 An Architectural Firm
 715 E. GADSDEN STREET
 PENSACOLA, FL 32501
 (850) 432-3153 (PHONE)
 (850) 432-3892 (FAX)
 LIC. #AA-C001779

PROJ. NUMBER: 1024-206
 DATE: SEPTEMBER 13, 2017
 DRAWN BY: N.A.L.
 CHECKED BY: S.M.F.

BID SET
 STANLEY L. STROBEL
 STORAGE BLDG
 EXTERIOR
 ELEVATIONS

A14



1
A2.1 **RESTROOM FLOOR PLAN**
SCALE: 1/4" = 1'-0"
TYPICAL RAMP SLOPE 1/12

LEGEND:

NOTE: SEE INTERIOR ELEVATIONS, WALL SECTIONS AND SCHEDULES FOR ADDITIONAL INFORMATION.

	ROOM NAME AND NUMBER
	DOOR NUMBER
	REINFORCED CONCRETE WALL
	ELEVATION
	SECTION
	DETAIL

**WEST CAMPUS STORAGE
BUILDING AND RESTROOMS**
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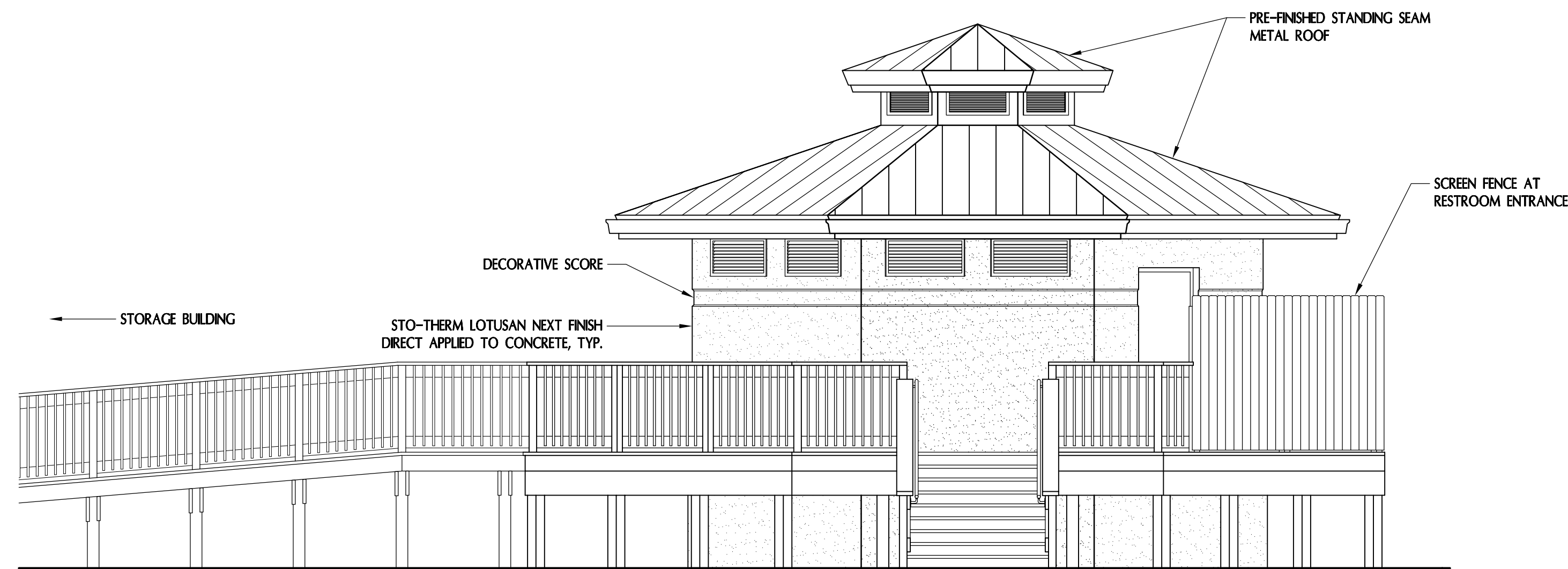
PROJ. NUMBER: 1024-206
DATE: SEPTEMBER 13, 2017
DRAWN BY: N.A.L.
CHECKED BY: S.M.F.

BID SET

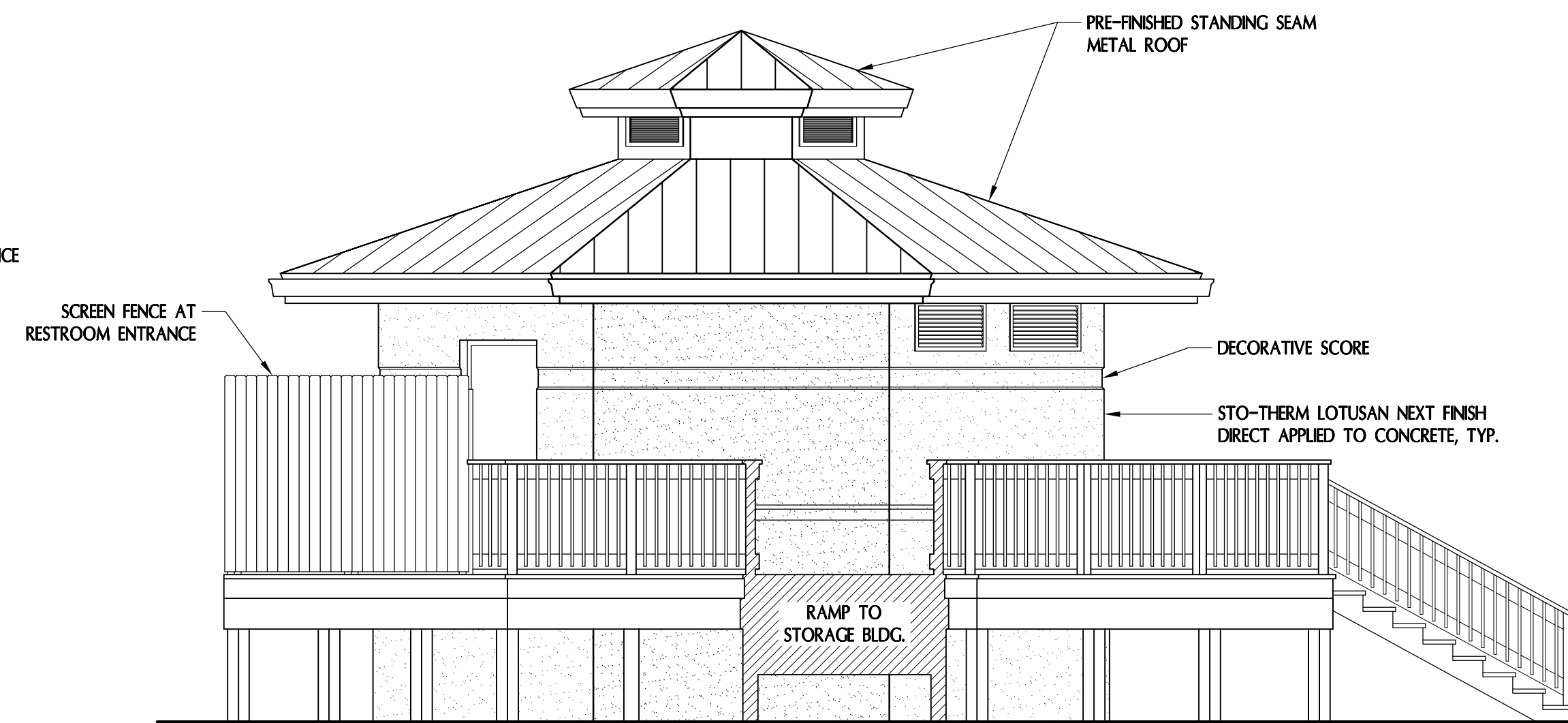
STANLEY L. STROBEL

RESTROOM
FLOOR
PLAN

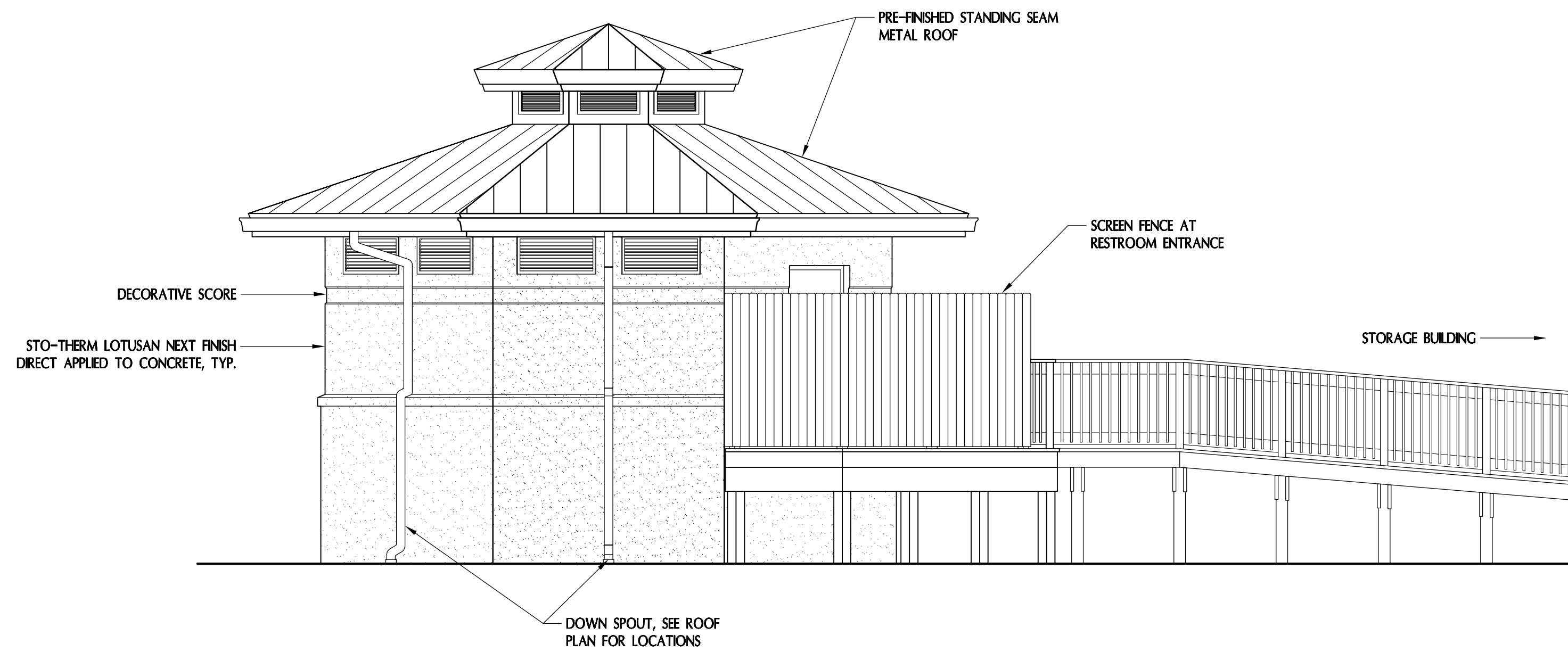
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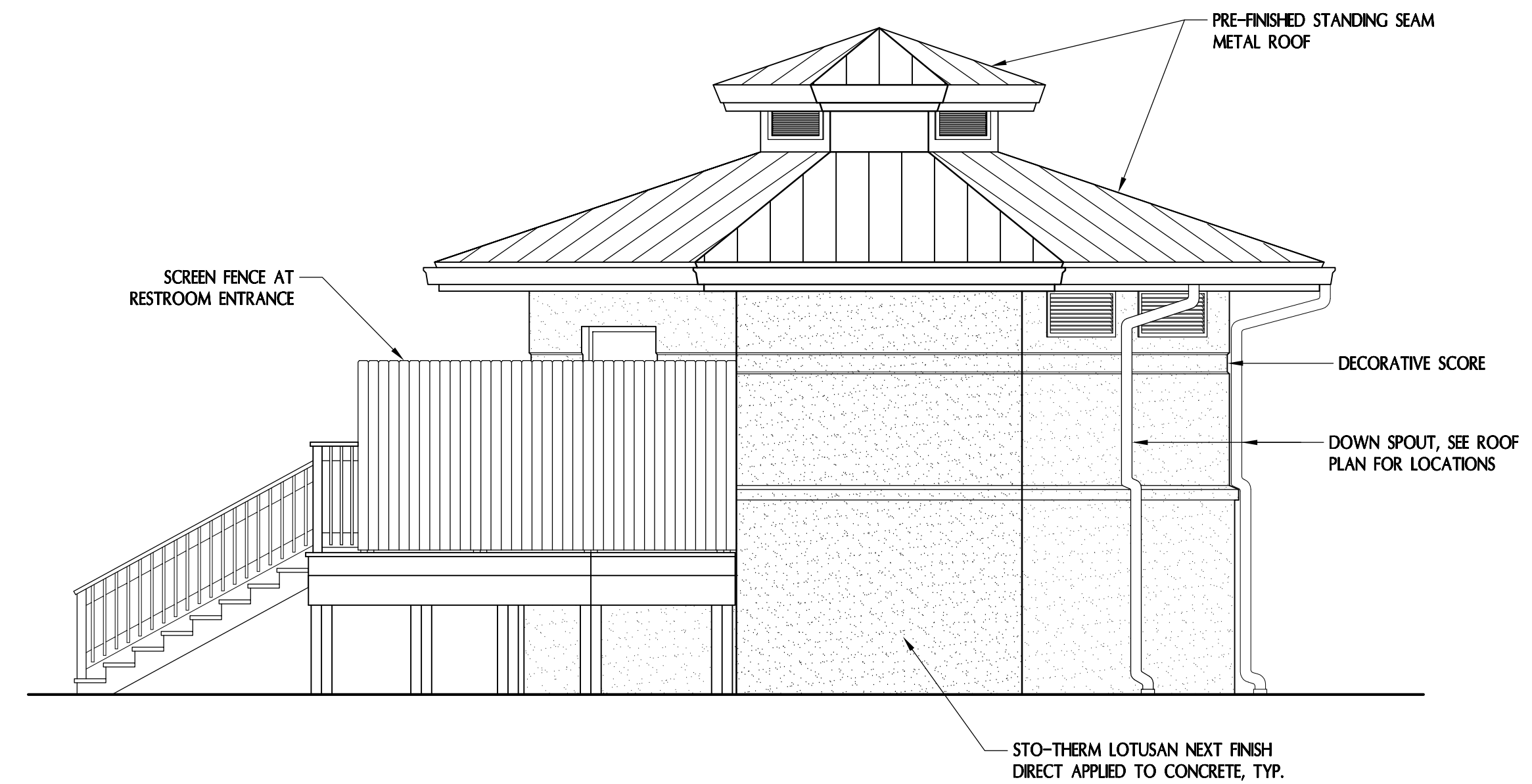
1 SOUTH ELEVATION
A2.4 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A2.4 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
A2.4 SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
A2.4 SCALE: 1/4" = 1'-0"

**WEST CAMPUS STORAGE
 BUILDING AND RESTROOMS**
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 PENSACOLA, FLORIDA

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 (850) 432-3892 (FAX)
 LIC. #AA-C001779

PROJ. NUMBER: 1024-206
 DATE: SEPTEMBER 13, 2017
 DRAWN BY: N.A.L.
 CHECKED BY: S.M.F.

BID SET

STANLEY L. STROBEL

RESTROOM
 EXTERIOR
 ELEVATIONS

A2.4

Board of Adjustment

6. C.

Meeting Date: 12/20/2017
CASE: CU-2017-14
APPLICANT: Edward Vigil, Agent for JoAnn Catanese, Divisional VP, Real Estate Kmart Corporation, Owner
ADDRESS: 4211 Mobile Hwy
PROPERTY REFERENCE NO.: 34-2S-30-0110-013-011
ZONING DISTRICT: Com, Commercial District
FUTURE LAND USE: C, Commercial
OVERLAY DISTRICT: N/A

SUBMISSION DATA:

REQUESTED CONDITIONAL USE:

Conditional use to allow automobile sales, used autos only, and Automobile rental limited to the same restrictions as used automobile sales.

RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section: 3-2.10.c.2.b and 3-2.10.c.2.c

CRITERIA:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section 2-6.4

CRITERION (a)

General compatibility. The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area.

FINDINGS-OF-FACT:

Mobile Hwy is a major arterial road that is heavily traveled; properties in the immediate area support a mixture of commercial and educational facilities. The proposed used automobile sales/rentals use is compatible with the adjacent properties and other properties in the immediate area.

CRITERION (b)

Facilities and services. Public facilities and services, especially those with adopted levels of service, will be available, will provide adequate capacity to serve the proposed use consistent with capacity requirements.

FINDINGS-OF-FACT:

Site visit reveals that this site has been used in a commercial capacity in the past. Based on the application, the existing building has utility connections and sanitary sewer infrastructure in place. The proposed use on the site will be further evaluated during the Site Plan Review process.

CRITERION (c)

On-site circulation. Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

FINDINGS-OF-FACT:

The site has ingress and egress from Mobile Hwy and North New Warrington Road; it appears that the previous commercial operations used the same access to the parcel as is proposed. Traffic flow, on-site parking, emergency vehicle access and pedestrian safety will be addressed during the Site Plan Review process.

CRITERION (d)

Nuisances and hazards. The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

FINDINGS-OF-FACT:

Visit to the site reveals that within the surrounding area there are multiple commercial operations similar in scale and intensity to the proposed use for the parcel. Based on the applicant's description, the proposed use will not create any unreasonable circumstances. The avoidance of nuisances and hazards to adjacent properties and properties in the immediate area will be further evaluated during the Site Plan Review process.

CRITERION (e)

Solid waste. All on site solid waste containers will be appropriately located for functional access, limited off-site visibility and minimal odor and other nuisance impacts.

FINDINGS-OF-FACT:

The applicant stated in the application that solid waste containers will be provided and

will comply with regulations. The location of the solid waste containers will be determined during the Site Plan Review process.

CRITERION (f)

Screening and buffering. Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

FINDINGS-OF-FACT:

All of the screening and buffering requirements to protect adjacent parcels, as required by the Land Development Code (LDC), will be addressed during the Site Plan Review process.

CRITERION (g)

Signs and lighting. All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

FINDINGS-OF-FACT:

The proposed signs and lights will be further evaluated during the Site Plan Review process.

CRITERION (h)

Site characteristics. The size, shape, location and topography of the site appear adequate to accommodate the proposed use, including setbacks, intensity, bulk, height, open space and aesthetic considerations.

FINDINGS-OF-FACT:

The site characteristics will be further evaluated during the Site Plan Review process. Initially, based on the applicants request, it appears that the site characteristics could accommodate the proposed use.

CRITERION (i)

Use requirements. The proposed use complies with any additional conditional use requirements of the applicable zoning district, use, or other provisions of the LDC.

FINDINGS-OF-FACT:

The proposed use will comply with additional conditional use requirements of the zoning district and other provisions of the LDC.

STAFF FINDINGS

Staff finds that the proposed use for this parcel meets all of the conditional use criteria requirements. If the conditional use is approved, the project would have to obtain a Development Order from the Development Review Committee prior to commencing operations.

Attachments

CU-2017-14

CU-2017-14



MASSACHUSETTS AVE

FAIRFIELD DRIVE

FAIRFIELD DRIVE

LILLIAN HWY

"W" STREET

MOBILE HWY

W JACKSON AVE

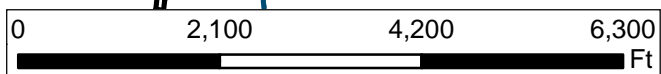
W NAVY BLVD








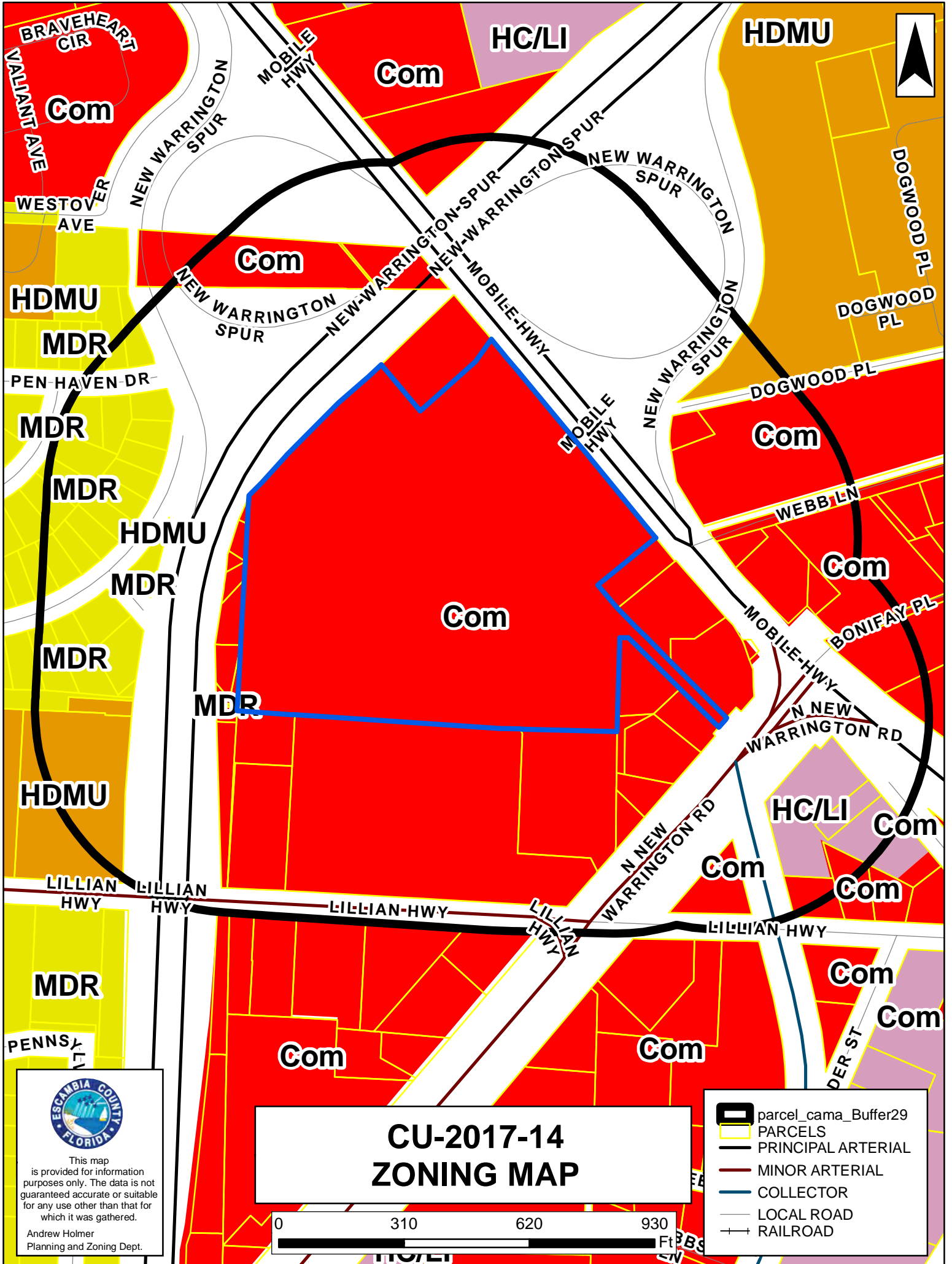
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Andrew Holmer
Planning and Zoning Dept.

CU-2017-14 LOCATIONAL MAP



-  PARCELS selection
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  RAILROAD












 This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

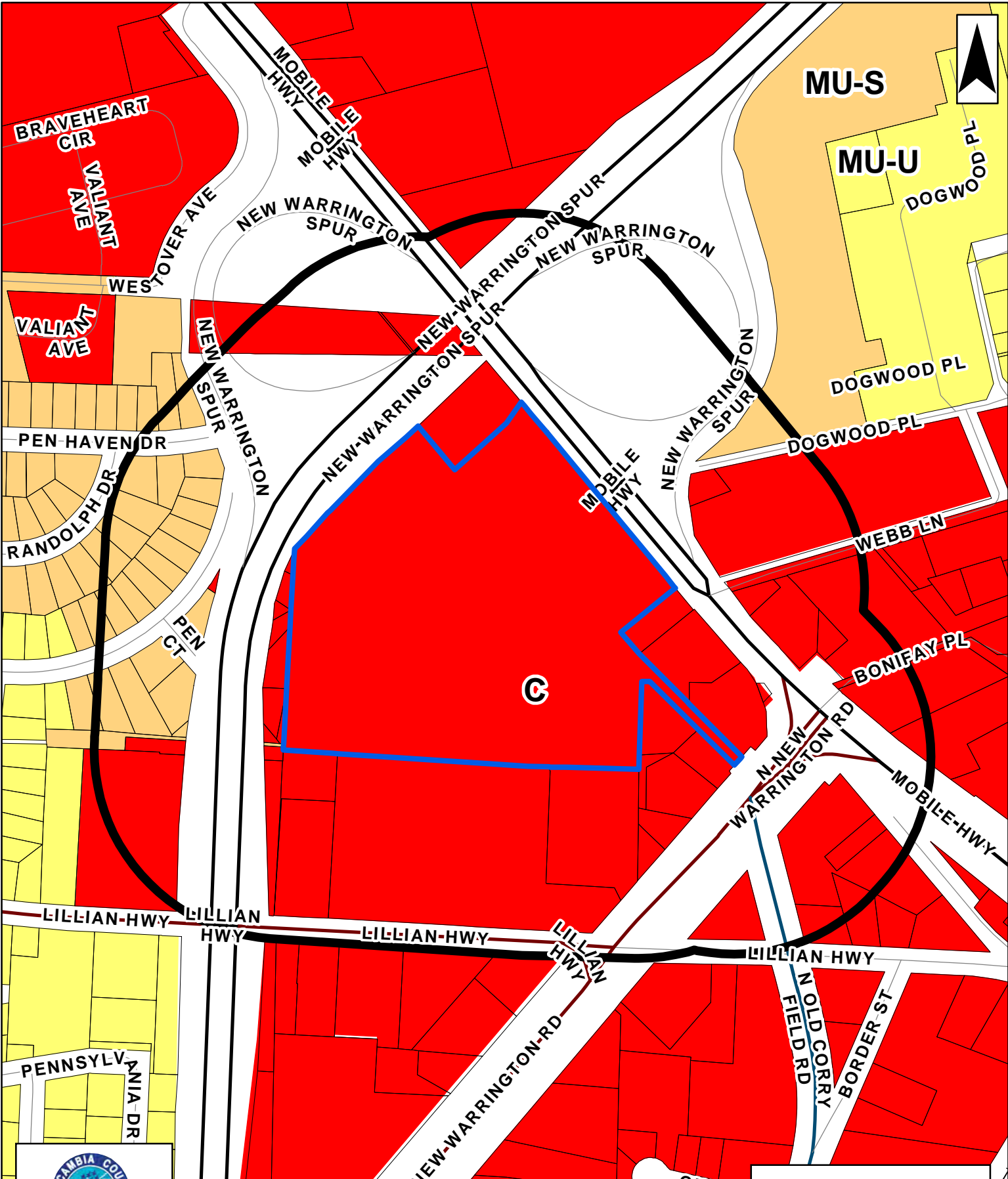
 Andrew Holmer

 Planning and Zoning Dept.

CU-2017-14 ZONING MAP



-  parcel_cama_Buffer29
-  PARCELS
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD
-  RAILROAD



MU-S

MU-U

C

BRAVEHEART CIR

VALIANT AVE

WESTOVER AVE

NEW WARRINGTON SPUR

MOBILE HWY

NEW WARRINGTON SPUR

DOGWOOD PL

VALIANT AVE

NEW WARRINGTON SPUR

NEW WARRINGTON SPUR

NEW WARRINGTON SPUR

DOGWOOD PL

PEN HAVEN DR

RANDOLPH DR

PEN CT

NEW WARRINGTON SPUR

MOBILE HWY

NEW WARRINGTON SPUR

DOGWOOD PL

WEBB LN

BONIFAY PL

N-NEW WARRINGTON RD

MOBILE-HWY

LILLIAN-HWY

LILLIAN-HWY

LILLIAN HWY

LILLIAN HWY

PENNSYLVANIA DR

NEW-WARRINGTON-RD

N OLD CORY

BORDER ST



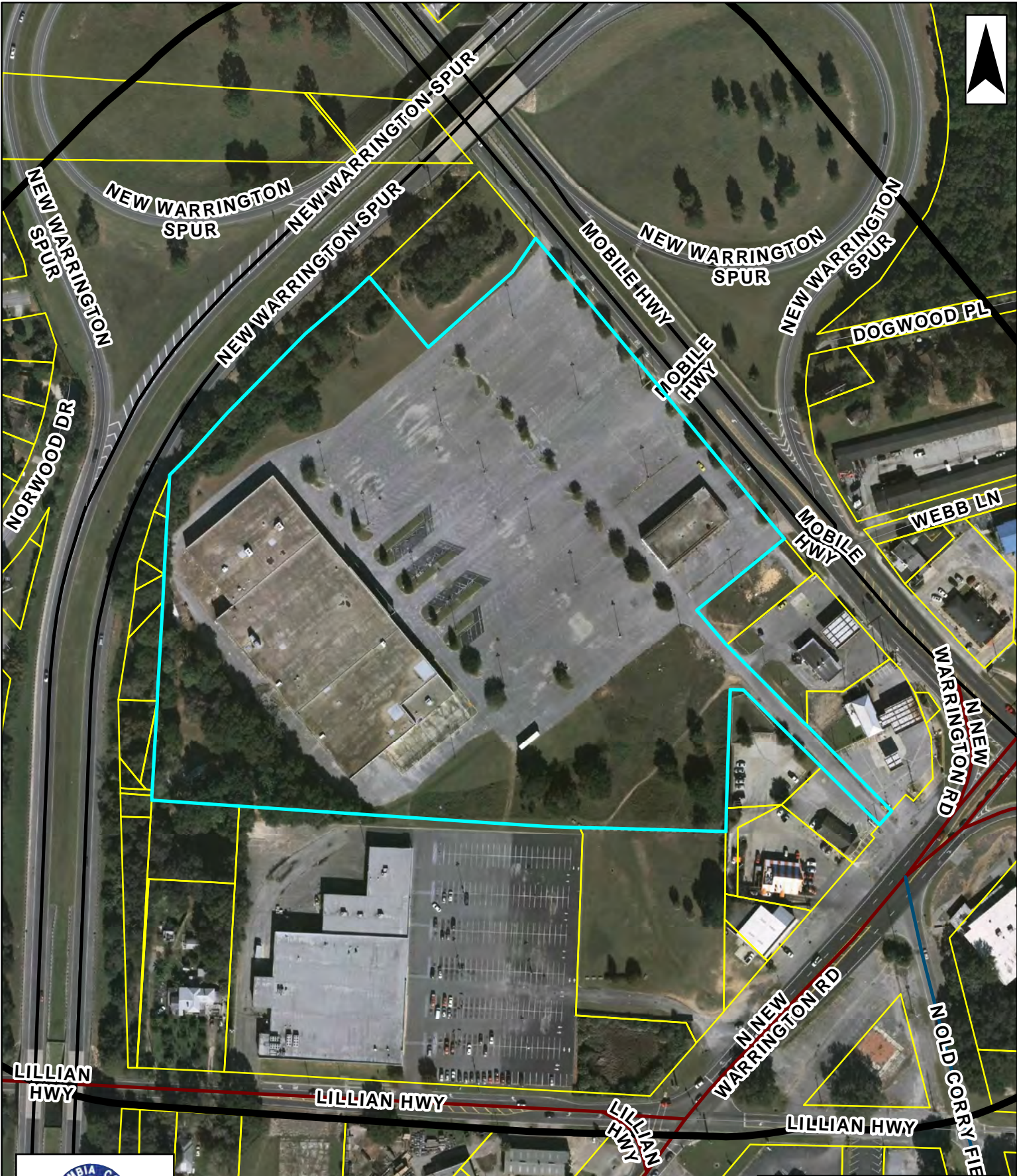
This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2017-14 FLU MAP



- parcel_cama_Buffer29
- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- RAILROAD



LILLIAN HWY

LILLIAN HWY

LILLIAN HWY

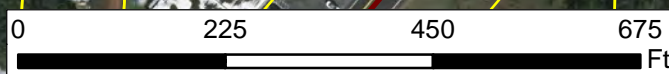
LILLIAN HWY



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2017-14 AERIAL MAP



- parcel_cama_Buffer29
- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- RAILROAD



PUBLIC HEARING SIGN



LOOKING ONTO SUBJECT PROPERTY SOUTHWEST



LOOKING ONTO SUBJECT PROPERTY WEST



LOOKING ONTO SUBJECT PROPERTY NORTHWEST



LOOKING NORTH ALONG MOBILE HWY



LOOKING EAST ACROSS MOBILE HWY



Escambia County Planning and Zoning

Development Services Department

3363 West Park Place

Pensacola, FL 32505

Phone: (850) 595-3475 • Fax: (850) 595-3481

<http://myescambia.com/business/ds>

Board of Adjustment Application

FOR OFFICE USE ONLY - Case Number: CU-2017-14 Accepted by: JFKM BOA Meeting: 12/20/17

Condition Use Request for: TO ALLOW AUTOMOBILE RENTAL & SALE OF UHAUL TRUCKS (5)

Variance Request for: N/A.

1. Contact Information:

A. Property Owner/Applicant: AMERCO

Mailing Address: 2727 N. CENTRAL AVE #500 PHOENIX, AZ. 85004

Business Phone: 602.263.6555 x 515305 Cell: _____

Email: edward_vigil@Uhaul.com

B. Authorized Agent (if applicable): EDWARD VIGIL

Mailing Address: SAME

Business Phone: _____ Cell: _____

Email: _____

Note: Owner must complete the attached Agent Affidavit. If there is more than one owner, each owner must complete an Agent Affidavit. Application will be voided if changes to this application are found.

2. Property Information:

A. Existing Street Address: 4211 MOBILE HWY, PENSACOLA, FL. 32506

Parcel ID (s): 34-2S-30-0110-013-011

B. Total acreage of the subject property: 16.84

C. Existing Zoning: COMMERCIAL.

FLU Category: C

D. Is the subject property developed (if yes, explain): YES. THERE IS AN EXISTING YET ABANDONED K-MART BUILDING.

E. Sanitary Sewer: Septic:

3. Amendment Request

- A. Please provide a general description of the proposed request, explaining why it is necessary and/or appropriate.

SEE ATTACHMENT
↓

- B. For Variance Request – Please address ALL the following approval conditions for your Variance request. (use supplement sheets as needed)

1. Special conditions and circumstances exist which are peculiar to the land, structure or building and which are not applicable to other lands, structures or buildings in the same zoning district.

2. The special conditions and circumstances do not result from the actions of the applicant.

C. For Conditional Use Request – Please address *ALL* the following approval conditions for your Conditional Use request. (use supplement sheets as needed)

1. General compatibility. The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area. *If this is for the sale of alcohol within a 1000 ft of a place of worship or child care facility; please explain a-e below: a.) The existing times of use of the places of worship or child care facilities coincide with the hours of operation of the subject business b.) The 1000-foot minimum distance is not achieved. c.) The conflicting uses are visible to each other. d.) Any on-premises consumption is outdoors. e.) Any conditions or circumstances mitigate any incompatibility.*

2. Facilities and services. Public facilities and services, especially those with adopted levels of service, will be available, will provide adequate capacity to serve the proposed use consistent with capacity requirements.

3. **On-site circulation.** Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

4. **Nuisances and hazards.** The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

5. **Solid waste.** All on-site solid waste containers will be appropriately located for functional access, limited off-site visibility and minimal odor and other nuisance impacts.

6. **Screening and buffering.** Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

7. **Signs and lighting.** All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

4. **Please complete the following form (if applicable): Affidavit of Owner/Limited Power of Attorney**

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at 4211 Mobile Hwy, Pensacola, FL 32506
(if applicable)
_____, Florida, property reference number(s) 34-25-30-0110-013-011

Kmart Corporation I hereby designate Amerco Real Estate

_____ for the sole purpose of completing this application and making a presentation to the Planning Board and the Board of County Commissioners to request a rezoning on the above referenced property. This Limited Power of Attorney is granted on this 10th day of November the year of, 2017, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: Amerco Real Estate Email: edward_vigil@uhaul.com

Address: 2727 N. Central Avenue, Suite 500 Phoenix, Arizona 85004 Phone: (602)263-6555 Ext. 515305

Please see the attached signature and notary blocks.

Signature of Property Owner

Printed Name of Property Owner

Date

Signature of Property Owner

Printed Name of Property Owner

Date

SEE ATTACHED.

STATE OF _____ COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____ 20 __,

by _____.

Personally Known OR Produced Identification . Type of Identification Produced: _____

Signature of Notary

Printed Name of Notary

(Notary Seal)

5. Submittal Requirements

- A. Completed application: All applicable areas of the application shall be filled in and submitted to the Planning and Zoning Department, 3363 West Park Place, Pensacola, FL 32505.
- B. Application Fees: To view fees visit the website: **To BE DELIVERED IN PERSON.**
<http://myescambia.com/business/board-adjustment> or contact us at 595-3448

Note: Fees include all notices and advertisements required for the public hearing and a \$5 technical fee. Payments must be submitted prior to 3 pm of the closing date of acceptance of application. Please make checks payable to Escambia County. MasterCard and Visa are also accepted.

- C. Legal Proof of Ownership (ex: copy of Tax Notice or Warranty Deed) **AND** a Certified Boundary Survey (Include Corporation/LLC documentation if applicable.)
- D. Compatibility Analysis (if applicable): If the subject property does not meet the roadway requirements of Locational Criteria, a compatibility analysis prepared by the applicant is required to provide substantial evidence of unique circumstances regarding the parcel or use that were not anticipated by the alternative criteria. (See "Documented Compatibility" within the request zoning district of the LDC.)
- E. Signed and Notarized Affidavit of Owner/Limited Power of Attorney **AND** Concurrency Determination Acknowledgement (pages 4 and 5).

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Adrian
Signature of Owner/Agent

Edward Vigil
Printed Name Owner/Agent

11/13/17
Date

Signature of Owner

Printed Name of Owner

Date

STATE OF _____ COUNTY OF _____ The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____.

Personally Known OR Produced Identification . Type of Identification Produced: _____

Signature of Notary

Printed Name of Notary (notary seal)

SEE ATTACHMENT →

AMERCO[®]

REAL ESTATE COMPANY

2727 North Central Avenue, 5-N • Phoenix, Arizona 85004
Phone: 602.263.6555 • Fax: 602.277.5824 • Email: stephany_sheekey@uhaul.com

Narrative Project Summary

AMERCO Real Estate Company (AREC) has prepared this application package for the opportunity to receive the County of Escambia's participation and counseling in regards to a Conditional Use Permit & Site Plan Approval for the property located at 4211 Mobile Highway, Pensacola, Florida. AREC is the wholly owned real estate subsidiary of the U-Haul System.

The proposed 16.84 acre property is located south of the Intersection of Mobile Highway and New Warrington Spur Road. This site is a vacant K-Mart Retail Store with existing water and sewer services. There are not any Wetland issues for this site and Stormwater management will not differ from the previous K-Mart Retail Store. There will not be any disruption to the existing impervious cover or pervious cover. There are three drive aisles existing that will provide access to the site from Mobile Highway.

U-Haul is proposing an adaptive reuse of the existing 93,661 SF building by converting it into a U-Haul Moving and Storage Facility. Our uses consist of indoor air-conditioned self-storage, U-Haul truck and trailer rentals, and related retail sales. The interior of the building will be retrofitted. This infill development will allow U-Haul to better serve the storage needs of the community and activate a property that is currently underutilized and vacant.

The property is currently zoned Commercial (COM). The use of truck rental and self-storage requires a Conditional Use permit. U-Haul is proposing to apply for the permit to allow these uses. The building will be used structurally as is with the exception of imaging and signage.

Custom site design for every U-Haul store assures that the facility compliments the community it serves. Adherence to community objectives is key in order to ensure each U-Haul store is both a neighborhood asset and an economic success.

The U-Haul Store:

U-Haul stores characteristically serve the do-it-yourself household customer. The U-Haul Store will be staffed with 10-15 employees, both full-time and part-time. Families will generally arrive in their own automobiles, enter the showroom and may choose from a variety of products and services offered there.

- Families typically use U-Haul Self-Storage rooms to store furniture, household goods, sporting equipment, or holiday decorations. During transition periods between moves, moving to a smaller home, combining households, or clearing away clutter to prepare a home for sale, storage customers will typically rent a room for a period of two months to one year.
- U-Haul stores also provide truck and trailer sharing for household moving, either in-town or across country.
- Families who need packing supplies in advance of a move or to ship personal packages can choose from a variety of retail sales items, including cartons, tape and sustainable packing materials.
- Families who tow U-Haul trailers, boats, or recreational trailers can select, and have installed, the hitch and towing packages that best meet their needs.
- Moving and storage are synergistic businesses. Over half of our storage customers tell us they used U-Haul storage because of a household move. Customers will typically use U-Haul equipment or their personal vehicle to approach the loading area and enter the building through the singular customer access. All new U-Haul stores are designed with interior storage room access, giving the customer the added value of increased security, and the community the benefit of a more aesthetically pleasing exterior.

Significant Policies:

- Hours of Operation:

Mon. - Thurs.	7:00 a.m. to 7:00 p.m.
Fri.	7:00 a.m. to 8:00 p.m.
Sat.	7:00 a.m. to 7:00 p.m.
Sun.	9:00 a.m. to 5:00 p.m.
- All U-Haul storage customers are issued a card-swipe style identification card that must be used to gain access to their room. This is but one of many security policies which protect the customer's belongings and decrease the ability of unauthorized access to the facility.
- It is against policy for a business to be operated from a U-Haul storage room.
- Customers and community residents who wish to use the on-site dumpsters for disposing of refuse must gain permission to do so, and are assessed an additional fee.
- Items that may not be stored include: chemicals, flammables, and paints.

- U-Haul stores are protected by video surveillance.
- U-Haul stores are non-smoking facilities.
- U-Haul will provide added services and assistance to our customers with disabilities.

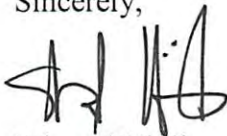
Traffic Study:

- U-Haul stores generate less vehicular traffic volume while still embodying an active-use site. Truck and trailer sharing and self-storage all represent dynamic transitions from one customer to another. DIY moving customers are presented with opportunities to utilize equipment and storage on a temporary basis, supporting a shared-economy, an effective economic model and an environmentally-sound way to conduct business.

USE COMPARISON					
Use	Square Feet	Traffic	Volume	Typical Hours	Days
		Weekday	Weekend		
Fast Food Restaurant	3,000 sq ft	3,161 trips	3,430 trips	18 hours - 24 hours	7
Gas Station w/ Convenience Store	2,200 sq ft	1,200 trips	2,200 trips	18 hours - 24 hours	7
Hotel	50,000 sq ft	905 trips	901 trips	24 hours	7
Casual Dining	5,000 sq ft	1,075 trips	1,258 trips	11 am - 11 pm 12 hours	7
U-Haul Center	80,000 sq ft	31 trips	53 trips	7 am - 7 pm 12 hours	7

U-Haul looks forward to working with the County of Escambia as you consider the Conditional Use Permit and Site Plan applications we are currently submitting.

Sincerely,



Edward Vigil
AMERCO Real Estate - Planner

Amendment Request

Please provide a general description of the proposed request, explaining why it is necessary and/or appropriate.

UHaul is requesting a Conditional Use Permit to allow Automobile Rental on the property located at 4211 Mobile Highway, Pensacola, FL. The subject property is 16.84 acres and has an existing yet abandoned K-Mart Retail Building. The property is zoned Commercial. UHaul is proposing to develop this site as an adaptive reuse into a state of the art, moving and storage facility. The uses proposed are Indoor Mini Storage, Truck Rental, and Retail Sales. Currently, the Escambia County Land Development Code allows Mini Storage and Retail Sales by right and Truck Rental requires the Conditional Use Permit. This request is in harmony with the general purposes and intent of the Land Development Code and Comprehensive Plan. In addition, the proposed uses will fill a building that has been vacant for a long time. The adaptive reuse of a deteriorating building when completed, will increase revenue, create jobs, bring in taxes, and offer much needed services to the community. Big-box and "junior anchor" retail tenants are simply not in growth mode and looking for new locations in the age of Amazon; rather, they are closing stores, consolidating operations, and right-sizing their store footprint. Quite simply, the use for which the building was constructed no longer exists in a community like Middletown because these uses require a high population density and an increase in household income to support longevity. Big box retailers such as Best Buy, LA Fitness, Kroger, and Party City have all reduced their footprints from numbers that resemble 47,000 square feet down to a range between 12,000 -17,000 square feet. UHaul is a successful and long-term tenant with an average life span of over 40 years. The products and services we will be providing are both valuable and needed to the existing community.

Conditional Use Request

General Compatibility-The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area.

The current zoning for this property is Commercial which allows various types of Retail services, public and civic services, recreation and entertainment, Industrial, and some agricultural. The proposed uses of Mini Storage, Truck Rental, and Retail Sales are compatible with surrounding properties in that they similar uses with what is existing. Some of the existing uses include a fast food restaurant, a gas station, and a warehousing and lumber yard. The proposed moving and storage facility will be conducted and operated in a professional and courteous manner to adjacent properties and the community.

Facilities and services-

Public facilities and services, especially those with adopted levels of service, will be available, will provide adequate capacity to serve the proposed use consistent with capacity requirements.

The proposed moving and storage facility is an adoptive reuse of an existing and vacant building. Infrastructure for the site and the building are existing. UHaul's products and services require very little consumption of water, sewer, electricity, and emergency services. It is very minimal consumption and existing public facilities and services will provide adequate services as needed.

On site circulation-

Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on site parking and loading, and emergency vehicle access.

The proposed moving and storage facility will occupy an existing building located at the intersection of Mobile Highway and New Warrington Spur Road. Access to the facility will continue to be provided via three access drives located along Mobile Highway and one access drive at North New Warrington Road. In addition, there are two Pad sites located at the east portion of the site and also provide two additional access drives into the facility however, UHaul recognizes these access drives are mainly for use by the Pad sites and to allow traffic to flow throughout the entire site. Emergency access is provided with these existing access drives.

Trucks and passenger vehicles can enter and exit concurrently with minimal vehicular conflict since the pathways are existing and will accommodate future traffic flow. The proposed parking and layout circulation plan is adequate in accommodating both passenger and truck traffic. Pedestrian safety and convenience has been taken into consideration by providing sidewalks, striped pathways, and landscaping, all of which will improve pedestrian safety and convenience throughout the site.

Per the Land Development Code Parking requirements, retail, truck rental, and self storage require a total of 37 parking spaces. UHaul has provided 485 parking spaces. The additional parking spaces are existing and were provided for the previous K-Mart Retail Store. 2 loading spaces are required. UHaul has provided 8 loading and unloading spaces for the self storage facility located in the front of the building.

Nuisances and hazards-

The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

The UHaul site is surrounded by two major roadways: Mobile Highway is along the north and east, and New Warrington Spur Highway is located along the west and south. In addition, North New Warrington Road separates this site from adjoining properties along the southeast. To the north and east of this site are fast food restaurants, a clothing retail store, an auto service center, and a check cashing store. To the south is Family Dollar and Grocery Advantage. To the west is New Warrington Spur Highway and open space. The UHaul moving and storage facility does not engage in the operations that would generate unreasonable noise, glare, dust, smoke, odor, vibration, or electrical interferences. The proposed uses generates very little traffic and self storage facilities are typically quick and quiet operations. The existing site is buffered with plenty of open space, landscaping, major roads and highways, so it is not likely that adjoining properties would be adversely affected by the proposed moving and storage facility.

Solid waste-

All on site solid waste containers will be appropriately located for functional access, limited of site visibility and minimal odor and other nuisance impacts.

Solid waste containers will be properly located away from street frontage visibility, screened from public view, and will have very minimal odor since most of the items being

placed in the refuse will consist of paper, wood, boxes, cardboard, and possibly small furniture items being thrown away.

Screening and buffering-

Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

The proposed moving and storage facility will be screened per the Land Development Code requirements. This was a past K-Mart Retail Store and the site has been developed with adequate landscaping and buffering to adjoining properties. The existing buffering to the west at its narrowest point is 45 feet but also widens up to 150 feet in most areas, to the north is more than 400 feet, to the east is over 350 feet, and to the south at its narrowest point is 60 feet but widens to 230 feet for most of this side. The north, west, and south portions of the site are heavily screened from view with existing mature trees. In addition additional buffering is provided by Mobile Highway and New Warrington Spur Highway.

Signs and Lighting-

All exterior signs and lights, whether attached or freestanding will be compatible with adjoining properties in the immediate area, especially regarding glare and traffic safety.

All proposed signs and lighting will follow the requirements of the Land Development Code. Lighting will be shielded and pointed downwards to avoid any glare. Signs will be compatible with the shopping center and adjoining properties. A sign application will be submitted to the County at a later date and permitted separately. A lighting plan will be provided as part of the Site Plan application and reviewed by the County. UHaul's intention is to abide by all LDC requirements on both signs and lighting.



Chris Jones Escambia County Property Appraiser

- Real Estate Search
- Tangible Property Search
- Sale List
- Amendment 1/Portability Calculations

[Back](#)

Navigate Mode
 Account
 Reference
 [Printer Friendly Version](#)

<p>General Information</p> <p>Reference: 342S300110013011</p> <p>Account: 070144200</p> <p>Owners: KMART CORP</p> <p>Mail: C/O PROPERTY TAX COMPLIANCE DEPT 768TAX B2-116A PO BOX 927000 HOFFMAN ESTATES, IL 60179</p> <p>Situs: 4211 MOBILE HWY 32506</p> <p>Use Code: COMMUNITY SHOP CTR. </p> <p>Taxing Authority: COUNTY MSTU</p> <p>Schools (Elem/Int/High): WEST PENSACOLA/WARRINGTON/ESCAMBIA</p> <p>Tax Inquiry: Open Tax Inquiry Window</p> <p><small>Tax Inquiry link courtesy of Scott Lunsford Escambia County Tax Collector</small></p>	<p>Assessments</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Year</th> <th>Land</th> <th>Imprv</th> <th>Total</th> <th>Cap Val</th> </tr> </thead> <tbody> <tr> <td>2017</td> <td>\$1,311,447</td> <td>\$710,309</td> <td>\$2,021,756</td> <td>\$2,021,756</td> </tr> <tr> <td>2016</td> <td>\$1,302,897</td> <td>\$1,019,312</td> <td>\$2,322,209</td> <td>\$2,322,209</td> </tr> <tr> <td>2015</td> <td>\$1,302,897</td> <td>\$1,003,764</td> <td>\$2,306,661</td> <td>\$2,306,661</td> </tr> </tbody> </table> <p style="text-align: center;">Disclaimer</p> <hr/> <p style="text-align: center;">Amendment 1/Portability Calculations</p> <p style="text-align: center;">★ File for New Homestead Exemption Online</p>	Year	Land	Imprv	Total	Cap Val	2017	\$1,311,447	\$710,309	\$2,021,756	\$2,021,756	2016	\$1,302,897	\$1,019,312	\$2,322,209	\$2,322,209	2015	\$1,302,897	\$1,003,764	\$2,306,661	\$2,306,661
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<p>Sales Data</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Sale Date</th> <th>Book</th> <th>Page</th> <th>Value</th> <th>Type</th> <th>Official Records (New Window)</th> </tr> </thead> <tbody> <tr> <td>01/2000</td> <td>4511</td> <td>839</td> <td>\$2,830,600</td> <td>WD</td> <td>View Instr</td> </tr> <tr> <td>05/1981</td> <td>1543</td> <td>529</td> <td>\$1,581,200</td> <td>WD</td> <td>View Instr</td> </tr> </tbody> </table> <p><small>Official Records Inquiry courtesy of Pam Childers Escambia County Clerk of the Circuit Court and Comptroller</small></p>	Sale Date	Book	Page	Value	Type	Official Records (New Window)	01/2000	4511	839	\$2,830,600	WD	View Instr	05/1981	1543	529	\$1,581,200	WD	View Instr	<p>2017 Certified Roll Exemptions</p> <p>None</p> <hr/> <p>Legal Description </p> <p>BEG AT SE COR OF BLK A 1ST ADDN PEN HAVEN PB 3 P 14 (SD PT BEING ON SW R/W LI OF OLD 66 FT R/W OF US HWY 90) S 83...</p> <hr/> <p>Extra Features</p> <p>ASPHALT PAVEMENT CHAINLINK FENCE CONCRETE PAVING LIGHTS</p>
Sale Date	Book	Page	Value	Type	Official Records (New Window)														
01/2000	4511	839	\$2,830,600	WD	View Instr														
05/1981	1543	529	\$1,581,200	WD	View Instr														

Parcel Information

Section Map Id: CA170

Approx. Acreage: 16.9500

Zoned: Com

Evacuation & Flood Information
[Open Report](#)

[Launch Interactive Map](#)

[View Florida Department of Environmental Protection\(DEP\) Data](#)

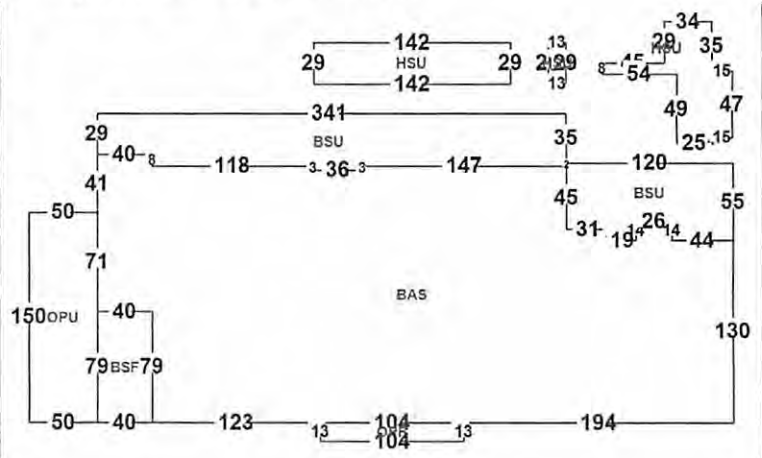
Buildings

Address: 4211 MOBILE HWY, Year Built: 1965, Effective Year: 1965

Structural Elements
DECOR/MILLWORK-AVERAGE
DWELLING UNITS-0
EXTERIOR WALL-BRICK-FACE/VENEER
EXTERIOR WALL-CONCRETE BLOCK
FLOOR COVER-VINYL/CORK
FOUNDATION-SLAB ON GRADE
HEAT/AIR-CENTRAL H/AC
INTERIOR WALL-DRYWALL-PLASTER
INTERIOR WALL-EXPOSED BLK/BRK
NO. PLUMBING FIXTURES-16
NO. STORIES-1
ROOF COVER-BLT UP MTL/GYP
ROOF FRAMING-RIGID FRAME/BAR
STORY HEIGHT-17
STRUCTURAL FRAME-MASONRY
PIL/STL

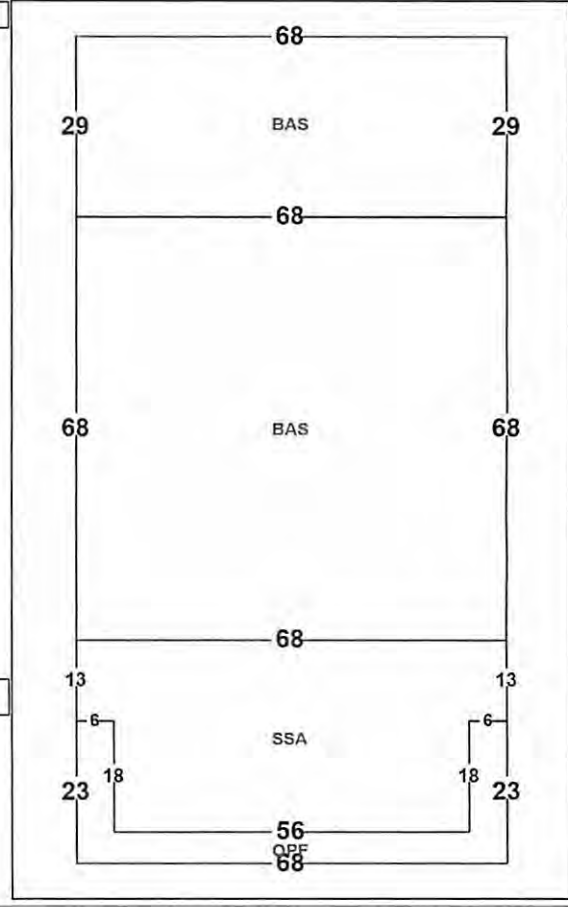
Areas - 114115 Total SF
BASE AREA - 75667
BASE SEMI FIN - 3160
BASE SEMI UNF - 18393
HALF-STORY UNF - 8043
OPEN PORCH FIN - 1352
OPEN PORCH UNF - 7500

Year Built: 1965, Effective Year: 1965



Structural Elements
DECOR/MILLWORK-AVERAGE
DWELLING UNITS-0
EXTERIOR WALL-CONCRETE BLOCK
FLOOR COVER-CONCRETE-FINISH
FOUNDATION-SLAB ON GRADE
HEAT/AIR-CENTRAL H/AC
INTERIOR WALL-EXPOSED BLK/BRK
NO. PLUMBING FIXTURES-5
NO. STORIES-1
ROOF COVER-BLT UP MTL/GYP
ROOF FRAMING-RIGID FRAME/BAR
STORY HEIGHT-16
STRUCTURAL FRAME-MASONRY PIL/STL

Areas - 9044 Total SF
BASE AREA - 6596
OPEN PORCH FIN - 556
STORE DISPLAY AREA - 1892



Images



1/17/13



1/17/13

The primary use of the assessment data is for the preparation of the current year tax roll. No responsibility or liability is assumed for inaccuracies or errors.

Board of Adjustment

6. D.

Meeting Date: 12/20/2017
CASE: CU-2017-15
APPLICANT: Kenneth C. Horne, Agent for Pensacola Christian College Inc, Owner
ADDRESS: 60 Rhett Road
PROPERTY REFERENCE NO.: 35-1S-30-9002-000-001,
35-1S-30-9002-001-001,
35-1S-30-9001-000-032
ZONING DISTRICT: Com, Commercial district
FUTURE LAND USE: MU-U, Mixed-Use Urban
OVERLAY DISTRICT: Oakfield

SUBMISSION DATA:

REQUESTED CONDITIONAL USE:

The applicant is seeking conditional use approval to allow for an active outdoor recreational facility in the Commercial (Com) zoning district.

RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended),
Section: 3-2.10(c)(5)b.

Commercial (Com)

(c)Conditional uses.

(5) Recreation and entertainment.

b. Golf courses, tennis centers, swimming pools and similar active outdoor recreational facilities, including associated country clubs.

CRITERIA:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended),
Section 2-6.4

CRITERION (a)

General compatibility. The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area.

FINDINGS-OF-FACT:

The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area. The existing uses in the area are mixed and vary between residential and commercial uses associated with the

educational facility. The site has historically been used for educational purposes.

CRITERION (b)

Facilities and services. Public facilities and services, especially those with adopted levels of service, will be available, will provide adequate capacity to serve the proposed use consistent with capacity requirements.

FINDINGS-OF-FACT:

The applicant states the water and sewer service is provided by ECUA. Additional facilities and services requirements will be reviewed during the Site Plan Review process.

CRITERION (c)

On-site circulation. Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

FINDINGS-OF-FACT:

Ingress to and egress from the site and its structures appear to be sufficient. The access to the site and proposed parking will be provided from Rhett Road. Additional on-site circulation requirements will be reviewed during the Site Plan Review process.

CRITERION (d)

Nuisances and hazards. The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

FINDINGS-OF-FACT:

There may or may not be nuisances or hazards associated with the proposed use that could effect adjoining properties or other properties in the immediate area. Noise levels associated with active recreation areas and glare of lighting cannot be evaluated at this time. The applicant states that lighting will be directed downward at the playing surfaces to reduce glare. The applicant states that parking lot lighting be designed to reduce glare and spill-over lighting.

CRITERION (e)

Solid waste. All on site solid waste containers will be appropriately located for functional access, limited off-site visibility and minimal odor and other nuisance impacts.

FINDINGS-OF-FACT:

The solid waste receptacles will be provided and service by school staff. The waste generated will be transferred to the Escambia County Landfill.

CRITERION (f)

Screening and buffering. Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

FINDINGS OF FACT:

Screening and buffering maybe be required for adjacent residential uses that are located to the south of the proposed use. Additional screening and buffering will be reviewed during the Site Plan Review process.

CRITERION (g)

Signs and lighting. All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

FINDINGS OF FACT:

The applicant states that signage will be limited to directional and identification for structures associated with the proposed use. Also, the applicant states that the lighting will be designed to minimize glare and light spill-over to adjacent properties. Additional signage and lighting requirements will be reviewed during the Site Plan Review process.

CRITERION (h)

Site characteristics. The size, shape, location and topography of the site appear adequate to accommodate the proposed use, including setbacks, intensity, bulk, height, open space and aesthetic considerations.

FINDINGS OF FACT:

The site characteristics appear to adequately accommodate the proposed use and further requirements will be evaluated during the Site Plan Review process.

CRITERION (i)

Use requirements. The proposed use complies with any additional conditional use requirements of the applicable zoning district, use, or other provisions of the LDC.

FINDINGS OF FACT:

Staff finds the proposed use will comply with all conditional use requirements of the zoning district and use.

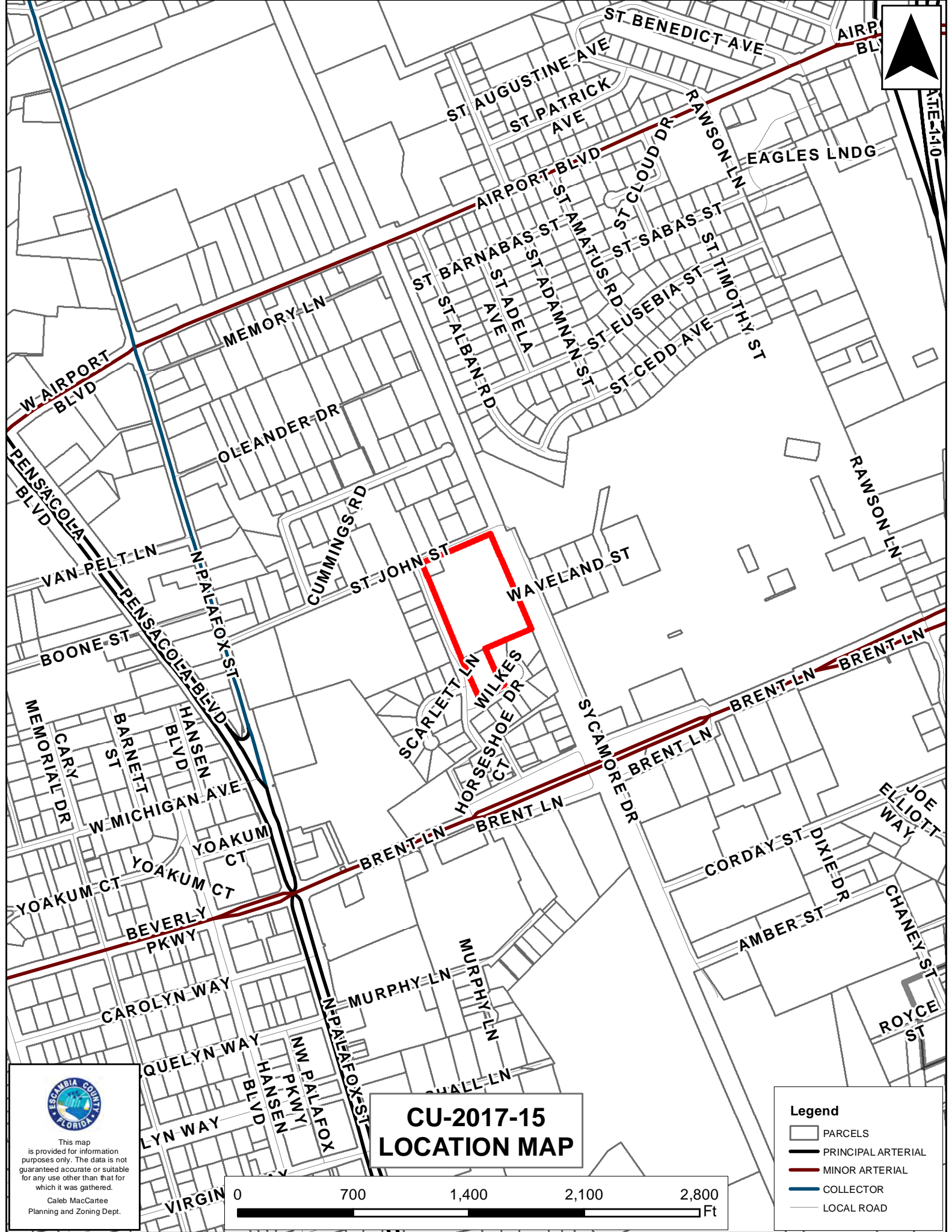
STAFF FINDINGS

Staff recommends approval of this conditional use application.

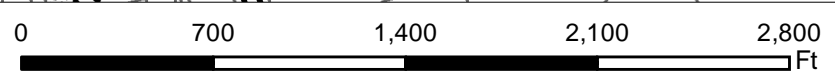
Attachments

CU-2017-15


CU-2017-15



CU-2017-15 LOCATION MAP

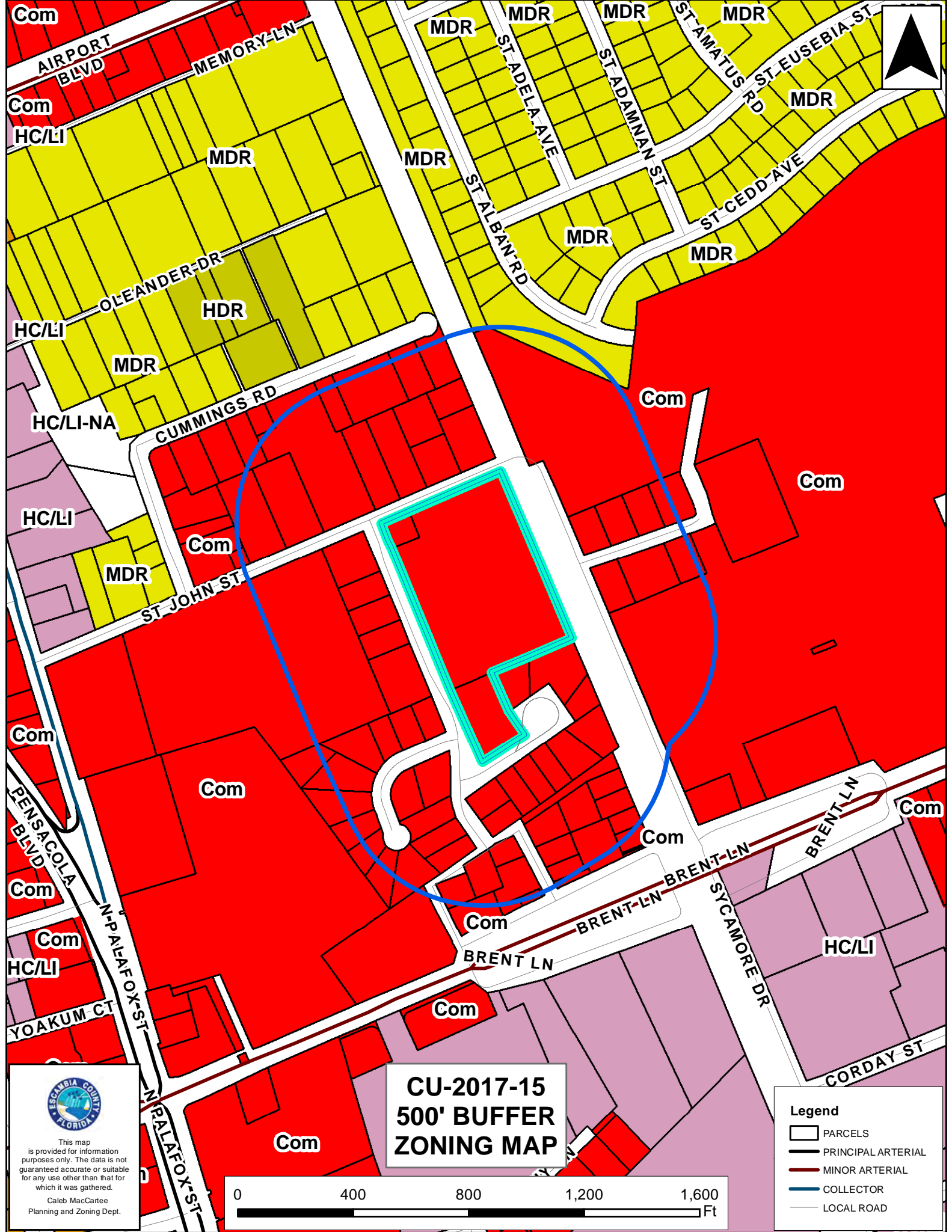



- Legend**
- PARCELS
 - PRINCIPAL ARTERIAL
 - MINOR ARTERIAL
 - COLLECTOR
 - LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

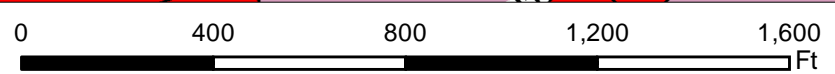
Caleb MacCartee
Planning and Zoning Dept.






This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

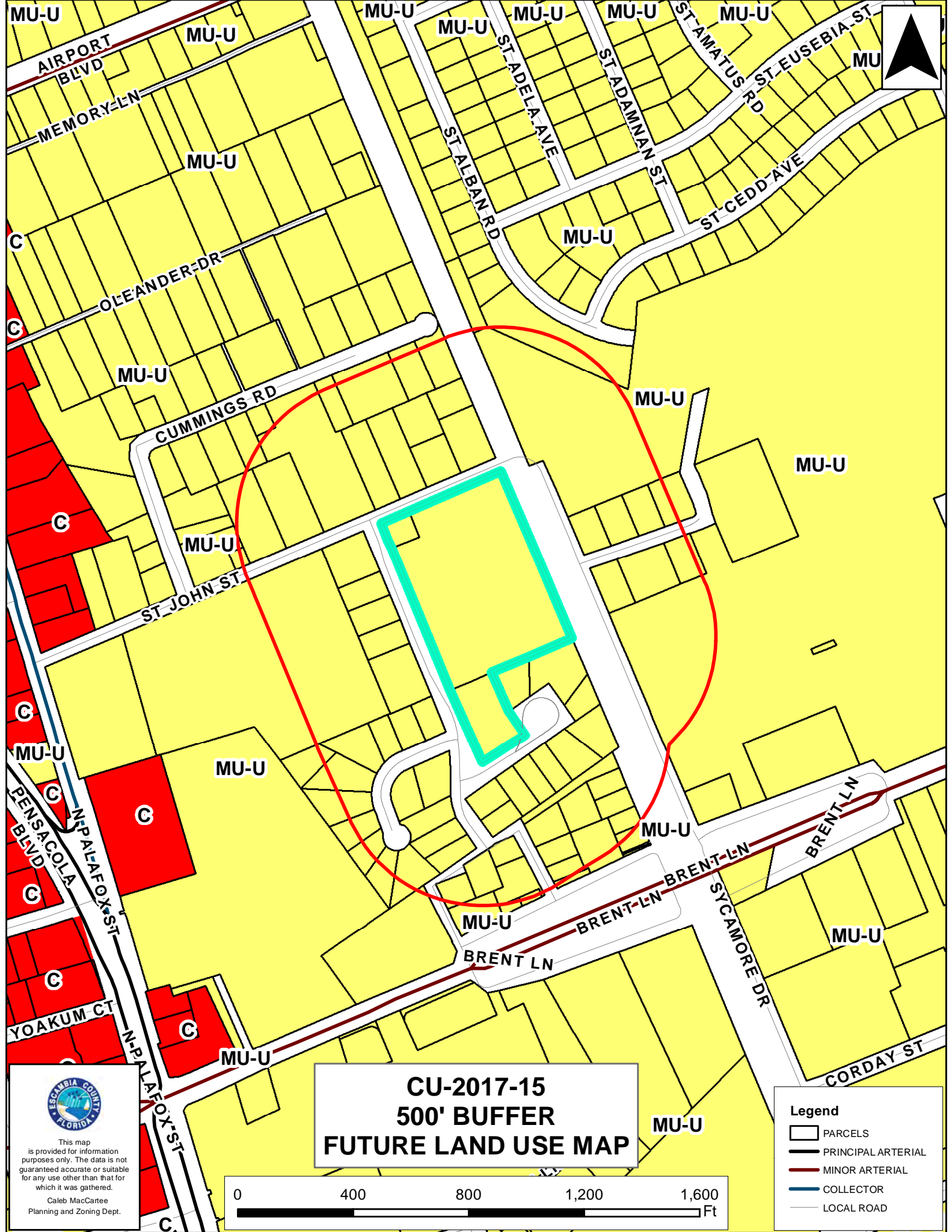
Caleb MacCartee
Planning and Zoning Dept.

**CU-2017-15
500' BUFFER
ZONING MAP**

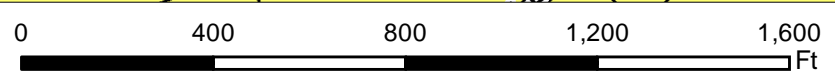



Legend

-  PARCELS
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD








**CU-2017-15
500' BUFFER
FUTURE LAND USE MAP**

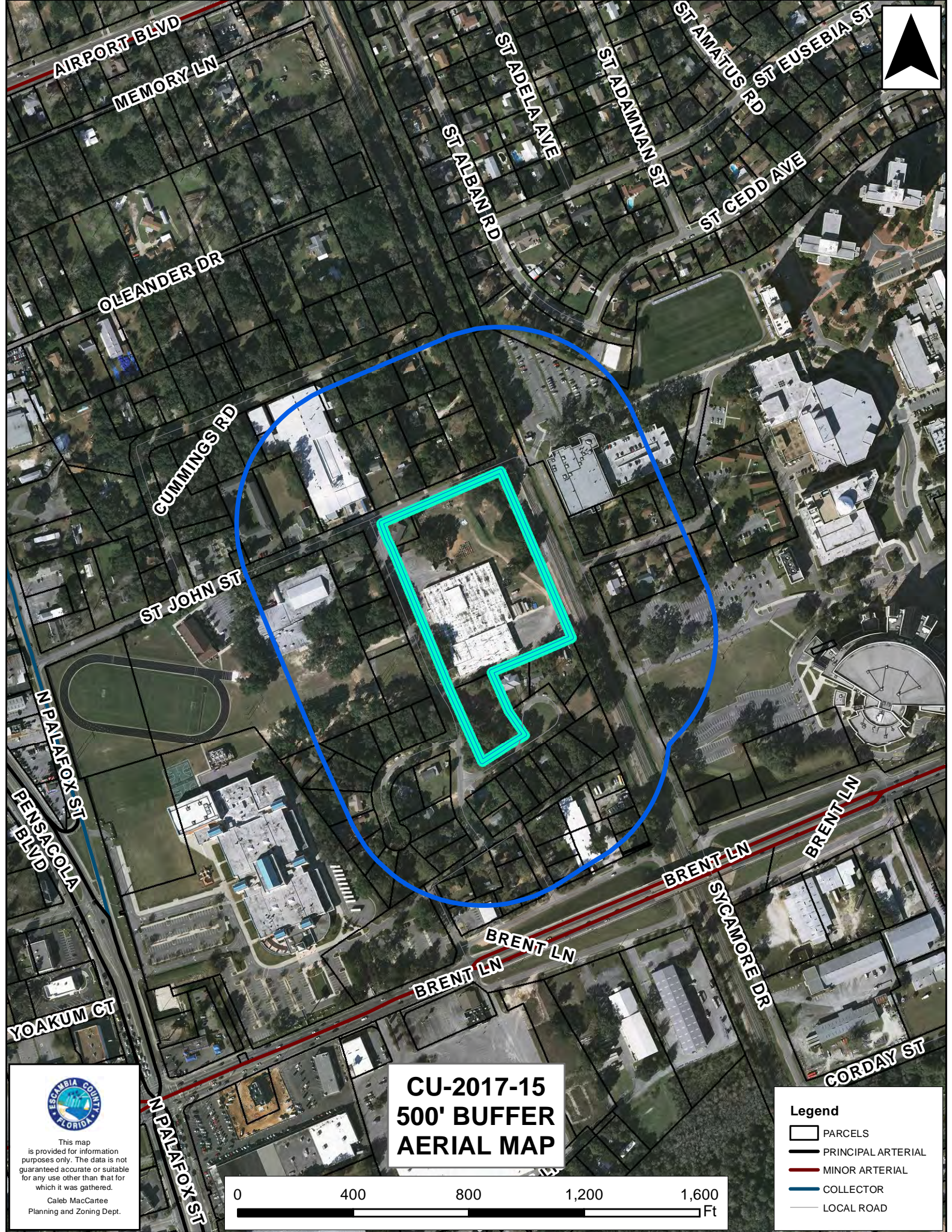



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Caleb MacCartee
Planning and Zoning Dept.

Legend

-  PARCELS
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD



AIRPORT BLVD

MEMORY LN

OLEANDER DR

CUMMINGS RD

ST JOHN ST

N PALAFOX ST

PENSACOLA BLVD

YOAKUM CT

N PALAFOX ST

ST ALBAN RD

ST ADELA AVE

ST ADAMIAN ST

ST AMATUS RD

ST EUSEBIA ST

ST CEDD AVE

BRENT LN

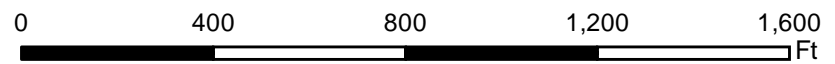
BRENT LN

BRENT LN

SYCAMORE DR

GORDAY ST

CU-2017-15 500' BUFFER AERIAL MAP



Legend

- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Caleb MacCartee
Planning and Zoning Dept.



Notice of Public Hearing sign



Looking North along Rhett Rd



Looking East onto site from Rhett
Rd



Looking East onto site from Rhett
Rd



Looking South along Rhett Rd



Looking West across Rhett Rd



Looking West across Rhett Rd



Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS

November 20, 2017

Mr. Andrew D. Holmer
Development Services Manager
Escambia County
3363 West Park Place
Pensacola, Florida 32505

Re: Conditional Use Application – Pensacola Christian College, Inc. / Pensacola Christian Academy – PCC/PCA West Field
PSP171000169
KH&A Project No. 2016 67

Dear Mr. Holmer,


On behalf of Pensacola Christian College, Inc., we hereby submit the following items required for review and approval of the Conditional Use Request for the subject project.

1. This letter identifying the project and listing the items submitted.
2. A check payable to Escambia County in the amount of \$1,275.50 for the Conditional use Application submittal fee.
3. A copy of the Conditional Use Application Form & Associated Exhibits (Proof of Ownership Doc & Survey).
4. One (1) set of the proposed site plans with vicinity map.
5. One (1) copy of the DRC Application Form with site design narrative.

The above listed items are submitted both on CD and as a hard copy. I believe this fulfills the requirement for review of this project. If you have any questions or need additional information, feel free to call me.

Very truly yours,

KENNETH HORNE & ASSOCIATES, INC.


Kenneth C. Horne, PE
President

CC: Mr. Dan Moye, PCC

Board of Adjustment Application

FOR OFFICE USE ONLY - Case Number: _____ Accepted by: _____ BOA Meeting: _____

Condition Use Request for: Baseball and soccer field in support of Pensacola Christian Academy on property historically used for educational purposes – last active use was Pensacola Christian Academy Elementary School. Property is zoned Commercial with MU-1 FLU.

1. Contact Information:

A. Property Owner/Applicant: Pensacola Christian College, Inc.

B. Mailing Address: 250 Brent Lane, Pensacola, FL 32503

Business Phone (850) 478-8496 Cell: (N/A)

Email: dmoyle@pcci.edu

C. Authorized Agent (if applicable): Kenneth C. Horne, PE

Mailing Address: 7201 North Ninth Avenue, Pensacola, FL 32504

Business Phone: (850-471-9005) Cell: (850-206-6067) Email:

ken@kh-a.com

2. Property Information:

A. Existing Street Address: 60 Rhett Road Parcel ID (s): 351S309002000001; 351S309002001001; 351S309001000032; 351S309001000007

B. Total acreage of the subject property: 8.06 (Limits of Construction)

C. Existing Zoning: COM FLU Category: MU-1

D. Is the subject property developed (if yes, explain): Yes. The property is currently developed. Last active use of primary parcel was elementary school. Parcel at corner of St. John and Rhett Road last used as residential.

E. Sanitary Sewer: X

3. Amendment Request

- A. Please provide a general description of the proposed request, explaining why it is necessary and/or appropriate.

The request is to allow construction of a baseball field and soccer field in immediate proximity and within walking distance to Pensacola Christian Academy. Currently, students have to travel to the existing facility north of Airport Boulevard for baseball practice and games. The proposed project allows the educational support facilities for baseball and soccer to occur at a location that will offer a safer location, not requiring vehicular travel, to the athletic fields.

- B. For Variance Request – **NA**

- C. For Conditional Use Request – Please address ALL the following approval conditions for your Conditional Use request. (use supplement sheets as needed)

1. General compatibility. The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area.

The proposed addition of baseball and soccer facilities is consistent with the current educational use of the primary parcel. The parcel has been historically used for educational purposes as the site of the Pensacola Christian Academy elementary school. The building has remained vacant following the opening of the new Pensacola Christian Academy being used as storage in the interim. In the spring/summer of 2017, the old elementary school building was demolished to make way for the proposed athletic educational support facilities.

2. Facilities and services. Public facilities and services, especially those with adopted levels of service, will be available; will provide adequate capacity to serve the proposed use consistent with capacity requirements.

Water and sewer service are provided by the Emerald Coast Utilities Authority (ECUA). Regional stormwater drainage characteristics will be significantly improved as the project will result in a reduction of

impervious area within the drainage basin by 89,734 square feet with no alteration in discharge and flow characteristics off PCC property. In addition, 16,821 cubic feet of retention storage is provided. The project, as proposed, will have a substantial net positive impact on drainage in the vicinity of the project and downstream. Approval for the stormwater management has already been granted by the Northwest Florida Water Management District under permit number IND-033-18184-1 issued on October 30, 2017. Escambia County tentative approval has also been granted by sign-off on the Stormwater Disposition Sheet as part of the Escambia County Development Review process.

Parking, consistent with ESCO LDC requirements is provided in support of the facility.

3. On-site circulation. Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

Access to the site and proposed parking will be provided in two locations from Rhett Road. Note that the total number of driveway connections on Rhett Road is reduced from four to two improving safety for the driving public along Rhett Road. Access has been reviewed and confirmed by ESCO staff as part of the Development Review process.

4. Nuisances and hazards. The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

The proposed use as athletic related educational support for the Pensacola Christian Academy is consistent with the current educational use of the primary parcel. The proposed use is substantially more benign relative to noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards than most uses allowed under the Commercial Zoning designation.

5. Solid waste. All on-site solid waste containers will be appropriately located for functional access, limited off-site visibility and minimal odor and other nuisance impacts.

Solid Waste receptacles will be provided on-site and serviced by Pensacola Christian College staff with waste transferred to the Escambia County Landfill.

6. Screening and buffering. Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

The proposed facilities will be more aesthetically pleasing than the historic use as an elementary school.

7. Signs and lighting. All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

Signage is limited to wayfinding for restroom facilities and concession stand. Lighting is designed to minimize glare, and light spill-over to adjacent properties and is consistent with ESCO LDC requirements.

The parking lot lighting has been designed utilizing high-efficiency LED fixtures with full cut-off (no light above 90 degrees) and will be mounted on top of more pedestrian scale poles 16' in height which is much lower than the 30'-40' mounting height typically seen in such applications. The parking lot lighting fixtures will also utilize spill-control optics and house side shields around the perimeter to significantly minimize any glare or spill-over onto adjacent properties.

The sports field lighting has been designed utilizing high-efficiency LED fixtures mounted at approximately 60' above grade to allow aiming angles to be directed more downward at the playing surfaces rather than more horizontally thereby reducing spill-over and glare. The fixtures can also be aimed and controlled individually allowing much greater flexibility in "fine-tuning" the overall lighting provided.

All outdoor lighting fixtures at the new West Field area will be controlled via programmable controls and campus scheduling for events, etc. rather than just dusk to dawn operation.

4. Please complete the following form (if applicable): Affidavit of Owner/Limited Power of Attorney

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY
(if applicable)

As owner of the property located at 60 Rhett Road, Pensacola, Florida, property reference number(s) 351S309002000001; 351S309002001001; 351S309001000032; 351S309001000007

I hereby designate Kenneth C. Horne, PE or designee for the sole purpose of completing this application and making a presentation to the Board of Adjustment, Planning Board and/or the Board of County Commissioners to request a rezoning on the above referenced property. This Limited Power of Attorney is granted on this _____ day of _____ the year of 2017, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: Kenneth C. Horne, PE Email: ken@kh-a.com
Address: 7201 North Ninth Avenue Phone: (850) 471-9005

<u><i>Troy Shoemaker</i></u>	<u>Dr. Troy Shoemaker, President, PCCI</u>	<u>11/20/17</u>
Signature of Property Owner	Printed Name of Property Owner	Date
_____	_____	_____
Signature of Property Owner	Printed Name of Property Owner	Date

STATE OF FLORIDA COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 20th day of November 2017 by Troy A. Shoemaker.

Personally Known X. Produced Identification - type of identification produced: _____

<u><i>Karen L. Zila</i></u>	<u>Karen L. Zila</u>
Signature of Notary	Printed Name of Notary



5. Submittal Requirements

A. Completed application: All applicable areas of the application shall be filled in and submitted to the Planning and Zoning Department, 3363 West Park Place, Pensacola, FL 32505.

B. Application Fees: To view fees visit the website:

<http://myescambia.com/business/board-adjustment> or contact us at 595-3448

Note: Fees include all notices and advertisements required for the public hearing and a \$5 technical fee. Payments must be submitted prior to 3 pm of the closing date of acceptance of application. Please make checks payable to Escambia County. MasterCard and Visa are also accepted.

C. Legal Proof of Ownership (ex: copy of Tax Notice or Warranty Deed) AND a Certified Boundary Survey (Include Corporation/LLC documentation if applicable.)

D. Compatibility Analysis (if applicable): If the subject property does not meet the roadway requirements of Locational Criteria, a compatibility analysis prepared by the applicant is required to provide substantial evidence of unique circumstances regarding the parcel or use that were not anticipated by the alternative criteria. (See "Documented Compatibility" within the request zoning district of the LDC.)

E. Signed and Notarized Affidavit of Owner/Limited Power of Attorney AND Concurrency Determination Acknowledgement (pages 4 and 5).

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Kenneth C. Horne
Signature of Owner/Agent

Kenneth C. Horne
Printed Name Owner/Agent

11/20/17
Date

Signature of Owner

Printed Name of Owner

Date

STATE OF Florida COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 20th day of November 2017, by Kenneth C. Horne.

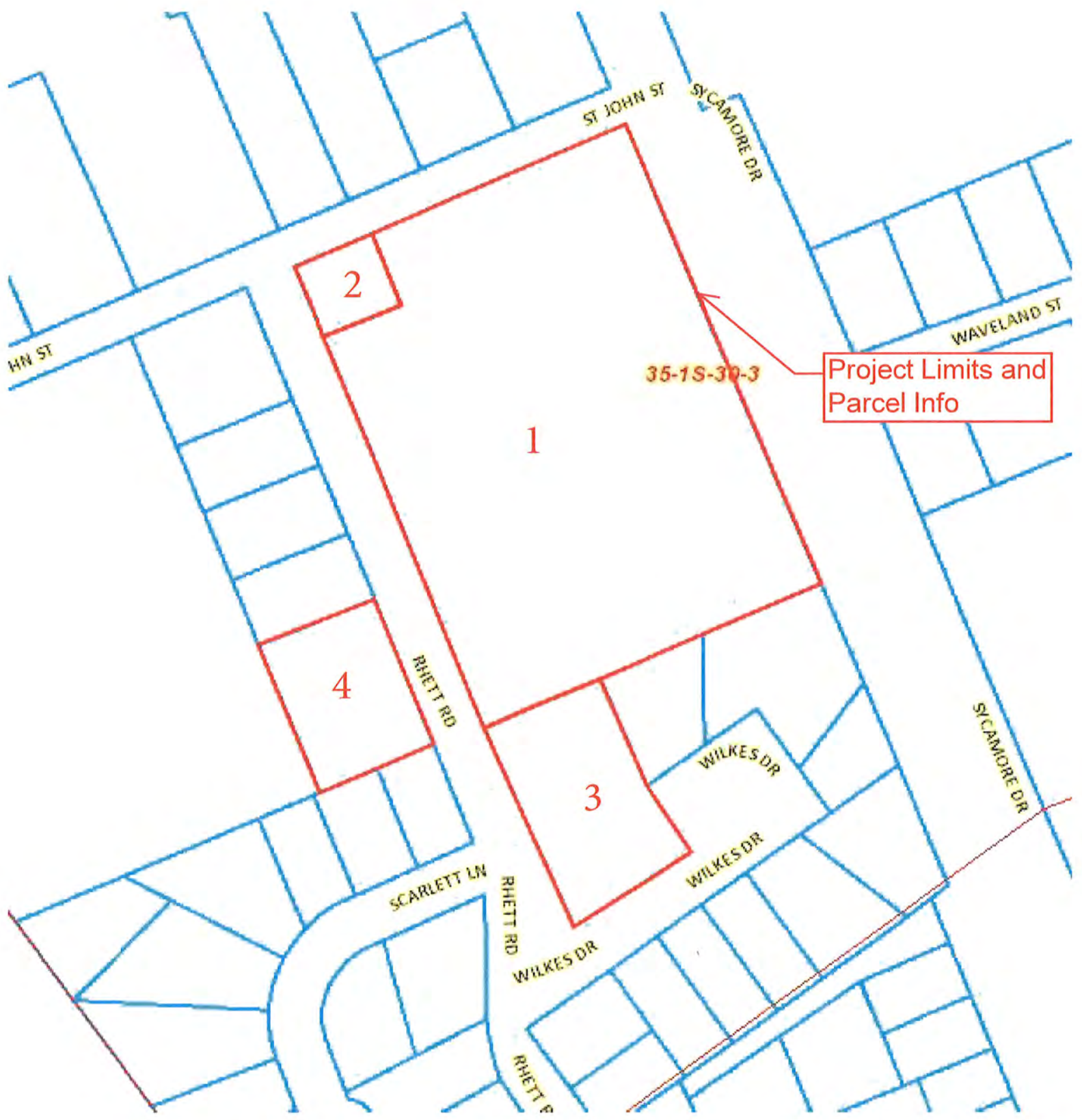
Personally Known Produced Identification - type of identification produced:

Belinda G. Rowell
Signature of Notary

Belinda G. Rowell
Printed Name of Notary

BELINDA G. ROWELL (Notary Seal)
NOTARY PUBLIC, STATE OF FLORIDA
Commission No. GG 24815
My Commission Expires Nov. 7, 2020

PROOF OF OWNERSHIP



Project Limits and Parcel Info

35-1S-30-3

1

2

4

3

HN ST

ST JOHN ST

SYCAMORE DR

WAVELAND ST

RHETT RD

SCARLETT LN

RHETT RD

WILKES DR

RHETT P

WILKES DR

WILKES DR

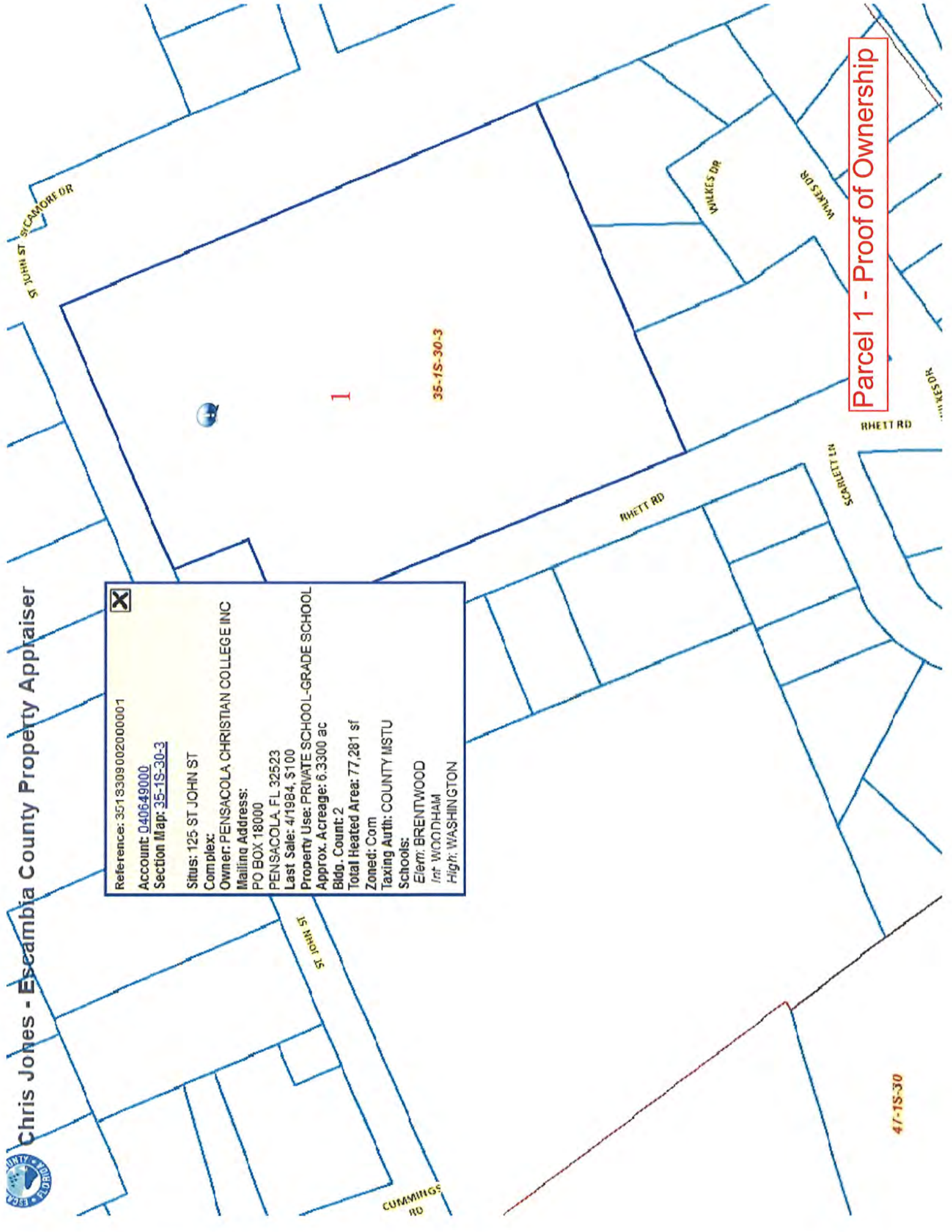
SYCAMORE DR



Chris Jones - Escambia County Property Appraiser

Reference: 351-8309002000001
 Account: 040649000
 Section Map: 35-1S-30-3

Situs: 125 ST JOHN ST
 Complex:
 Owner: PENSACOLA CHRISTIAN COLLEGE INC
 Mailing Address:
 PO BOX 18000
 PENSACOLA, FL 32523
 Last Sale: 4/1984, \$100
 Property Use: PRIVATE SCHOOL-GRADE SCHOOL
 Approx. Acreage: 6.3300 ac
 Bldg. Count: 2
 Total Heated Area: 77,281 sf
 Zoned: Com
 Taxing Auth: COUNTY MSTU
 Schools:
 Elem: BRENTWOOD
 Int: WOODHAM
 High: WASHINGTON



Parcel 1 - Proof of Ownership



Reference: 351S309002001001

Account: 040650000

Section Map: 35-1S-30-3

Situs:

Complex: Owner: PENSACOLA CHRISTIAN COLLEGE INC

Mailing Address: PO BOX 18000

PENSACOLA, FL 32523

Last Sale: 9/1997, \$65,000

Property Use: VACANT RESIDENTIAL

Approx. Acreage: 0.2300 ac

Bldg. Count: 0

Total Heated Area: 0 sf

Zoned: Com

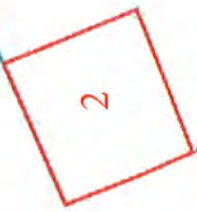
Taxing Auth: COUNTY MSTU

Schools:

Elem: BRENTWOOD

Int: WOODHAM

Hgh: WASHINGTON



35-1S-30-3

2

SYCAMORE DR

15 GUNFLAME

SYCAMORE DR

WILKES DR

WILKES DR

15 RHOF 15

RHETT RD

RHETT RD

SCARLETT LN

30m

100ft

47-1S-30

Parcel 2 - Proof of Ownership



Chris Jones - Escambia County Property Appraiser

Reference: 351S309001000032



Account: [040646000](#)

Section Map: [35-1S-30-3](#)

Situs: 6 RHETT RD

Complex: TWELVE OAKS PB 4 P 19

Owner: PENSACOLA CHRISTIAN COLLEGE INC

Mailing Address:

PO BOX 18000

PENSACOLA, FL 32523

Last Sale: 11/1985, \$49,000

Property Use: VACANT RESIDENTIAL

Approx. Acreage: 0.9558 ac

Bldg. Count: 0

Total Heated Area: 0 sf

Zoned: Com

Taxing Auth: COUNTY MSTU

Schools:

Elem: BRENTWOOD

Int: WOODHAM

High: WASHINGTON

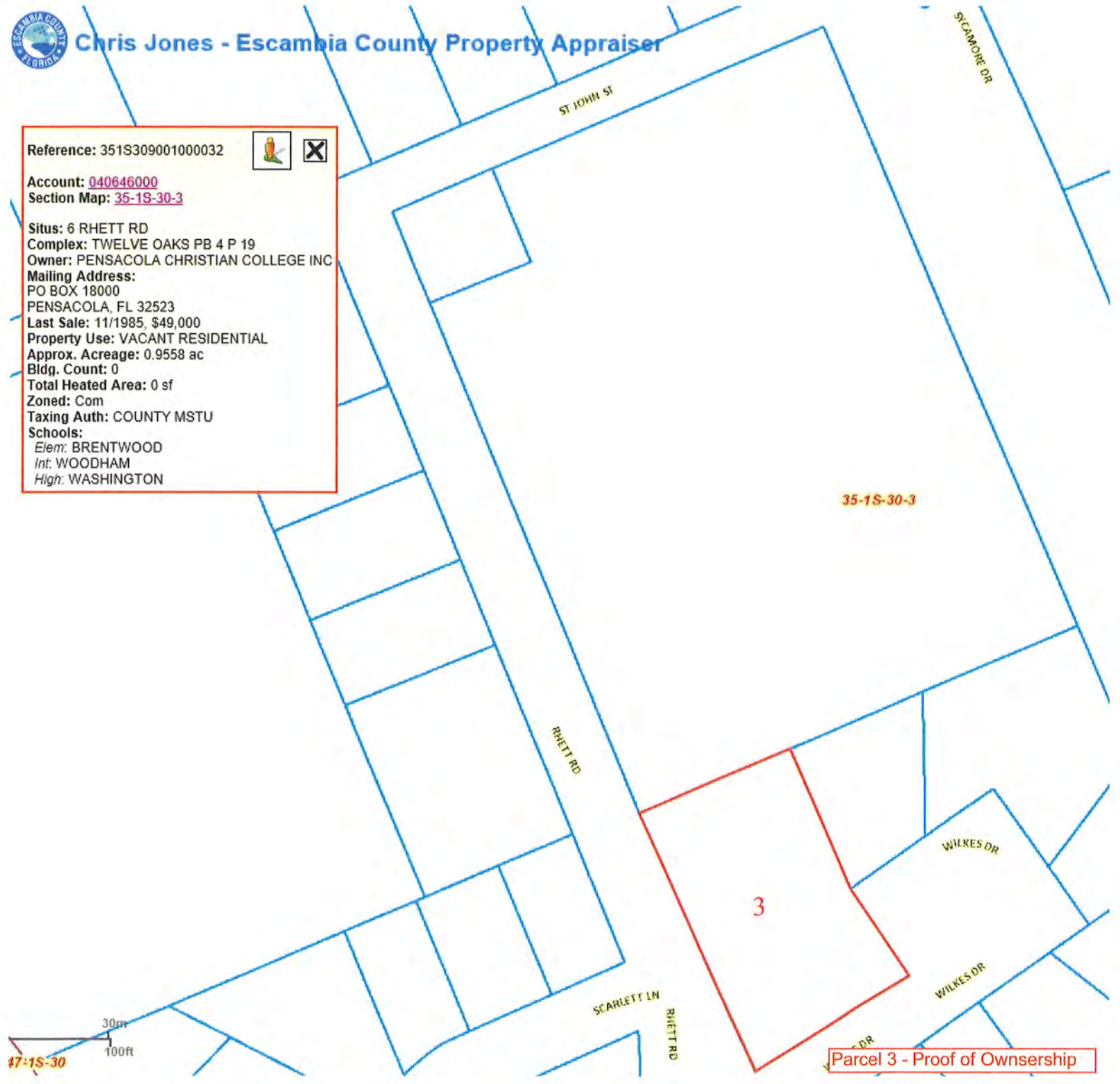
35-1S-30-3

3

Parcel 3 - Proof of Ownership

30m
100ft

47-1S-30





Chris Jones - Escambia County Property Appraiser

Reference: 351S309001000006



Account: [040622000](#)

Section Map: [35-1S-30-3](#)

Situs: RHETT RD

Complex: TWELVE OAKS PB 4 P 19

Owner: PENSACOLA CHRISTIAN COLLEGE INC

Mailing Address:

PO BOX 18000

PENSACOLA, FL 32523

Last Sale: n/a

Property Use: VACANT RESIDENTIAL

Approx. Acreage: 0.7064 ac

Bldg. Count: 0

Total Heated Area: 0 sf

Zoned: Com

Taxing Auth: COUNTY MSTU

Schools:

Elem: BRENTWOOD

Int: WOODHAM

High: WASHINGTON

35-1S-30-3

4

ST JOHN ST

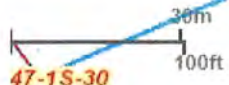
RHETT RD

SCARLETT LN

RHETT RD

WILK

WILK



47-1S-30

Parcel 4 - Proof of Ownership

DEVELOPMENT REVIEW APPLICATION

ESCAMBIA COUNTY DEVELOPMENT SERVICES DEPARTMENT
3363 West Park Place, Pensacola, FL 32505 850-595-3472
www.myescambia.com

Project Name West Field

Project Address: 125 St. John Street Pensacola Florida

Choose either **BOX 1** or **BOX 2**, mark **ONLY ONE (1)** application type. In **BOX 3**, mark only one type of proposed land use.

BOX 1: Major Development Application Type 1) <input checked="" type="checkbox"/> Site Plan 2) <input type="checkbox"/> Preliminary Plat 3) <input type="checkbox"/> Construction Plans 3) <input type="checkbox"/> Master Plan 4) <input type="checkbox"/> Minor Subdivision 5) <input type="checkbox"/> Final Plat 6) <input type="checkbox"/> Artificial Lake 7) <input type="checkbox"/> Artificial Pond	BOX 2: Minor Development Application Type 1) <input type="checkbox"/> Site Plan Minor (See form on web site titled "Minor Development Site Plan Submittal")
BOX 3: Type of Proposed Land Use <input type="checkbox"/> Commercial <input type="checkbox"/> Residential <input type="checkbox"/> Both	

List the Property Reference Number(s) for all parcels involved:

Parcel	Sec #	Twp #	Rge #	Sub #	Lot #	Blk #	Parcel	Sec #	Twp #	Rge #	Sub #	Lot #	Blk #
1	35	1S	30	9002	000	001	4	35	1S	30	000	007	
2	35	1S	30	9002	001	001	5						
3	35	1S	30	9001	000	032	6						

Project Narrative: Describe the proposed development project including: 1) all existing property uses, conditions and improvements, 2) all proposed uses, 3) height of each building/ structure in stories and feet, 4) federal and state regulatory permits required, 5) density transfer calculations if density transfer is proposed. (A separate written narrative may be submitted with the application instead of using the space provided below).

See Site Narrative, Attached

Property Owners: Name: Pensacola Christian College

Street address: 250 Brent Lane City: Pensacola State: FL

Zip Code: 32503 Phone: Work (850) 969-1610 Cell () _____ Fax (850) 969-1510

E-mail address: _____

Developer: Name: Pensacola Christian College

Street address: 250 Brent Lane City: Pensacola State: FL

Zip Code: 32503 Phone: Work (850) 969-1610 Cell () _____ Fax 850) 969-1510

E-mail address: _____

Agent / Engineer: Name: Kenneth Horne & Associates, Mike Sanders

Street address: 9201 N 9th Ave City: Pensacola State: FL

Zip Code: 32504 Phone: Work (850) 471-9005 Cell () _____ Fax (850) 471-0093

E-mail address: mike@kh-a.com

Provide the requested information in the space provided:

Future Land Use Category(ies): MU-1 Zoning District(s): Com

Has any part of the project site been previously involved in a Future Land Use Map Amendment, Application for Rezoning, Application for Conditional Use, Application for Variance, Application for Vested Rights, Appeal of Administrative Decision, other county review?
No Yes _____ If YES, which type: _____, Date ____/____/____, Case # _____

Does the proposed project require a Variance, Conditional Use Approval, Rezoning, or a Future Land Use Change?
No Yes _____ If YES, which: _____ If YES, attach written explanation.

***If you would like to apply for a Variance (as required by the Land Development Code) prior to the issuance of a Development Order, please contact (850) 595-3472.**

Provide the requested information in the space provided:

Water Provider: ECUA Septic _____ Sewer Provider: ECUA

Are there existing building(s) on site? No Yes _____

Describe last use of building(s): Storage, Residence, Bldgs has been demolished.

SQ. FT. of Building Footprint: 80,074

SQ. FT. of Impervious Surface (Including Bldg Footprint): 183,673

Total Site Acreage: 8.06 Total Acreage to be disturbed: 8.06

Total Acres of Wetlands: 0 Total Acres of Wetlands to be disturbed: 0

Number of Trees on site: 31 Number of Trees to be removed: non exempt - 3

If you have any question or comments regarding this application, please contact us at (850) 595-3472.

We appreciate suggestions of how to improve our services.

DEVELOPMENT REVIEW APPLICATION CERTIFICATION FORM

I affirm and certify that I am duly qualified as authorized agent to make such application; that I understand the questions asked in the application; that all information and statements submitted in any documents or plans concerning this application are accurate to the best of my knowledge and belief; that I understand the application, attachments, and fees become part of the Official Records of Escambia County and not returnable or refundable; that this application is of my own choosing and staff has explained all procedures relating to this request; that there are no guarantees as to the outcome of this request; that the application is being accepted subject to verification of information; that any false information knowingly given by me may result in denial of the application, and that additional information may be required by Escambia County in order to make a determination.

West Field
Name of Proposed Development

Mike Sanders 10-24-17
Authorized Agent's Signature Date

Agents Name (print): Mike Sanders

Company Name: KH&A

Street address: 7201 N 9th Ave City: Pensacola State: FL

Zip Code: 32504 Phone: Work (850) 471-9005 Fax: (850) 471-0093

STATE of Florida

COUNTY of Escambia

The forgoing instrument was acknowledged before me this 24th day of October,
year of 2017 by Mike Sanders who () did did not take an oath.

He/she is () personally known to me, () produced current Florida/Other driver's license, and/or () produced current
as identification.

Belinda G. Rowell 10/24/17 Belinda G. Rowell
Signature of Notary Public Date Printed Name of Notary

11/7/2020 GG 24815
My Commission Expires Commission No. (Notary seal must be affixed)

AFFIDAVIT OF OWNERSHIP AND LIMITED POWER OF ATTORNEY

As owner of the property located at 125 St. John St, Pensacola, Florida, property reference number(s) 351S309002000001,351S309002001001,351S309001000032,351S309001000007, I hereby designate Kenneth Horne & Associates, Mike Sanders for the sole purpose of completing this Development Review Application and to act on my behalf during the county's processing of the Development Review Application on the above referenced property.

This Limited Power of Attorney is granted on this 16th day of October the year of 2017 and is effective until the County has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Department of Growth Management.

[Signature]
Signature of Property Owner

Date

Troy Shoemaker
Printed Name of Owner

STATE of _____

COUNTY of _____

The forgoing instrument was acknowledged before me this 16 day of October year of 2017 by Troy Shoemaker who () did () did not take an oath.

He/she is () personally known to me, () produced current Florida/Other driver's license, and/or () produced current _____ as identification.

[Signature]
Signature of Notary Public

10/16/17
Date

Stephanie Stoodt
Printed Name of Notary

May 9, 2021
My Commission Expires

 Commission # GG 078136
(Printed Name of Notary to be affixed)

Site Design Narrative

West Field

PENSACOLA CHRISTIAN COLLEGE Pensacola, FL

Prepared By: Kenneth Horne & Associates, Inc.
In association with
Strobel & Hunter Architects

October, 2017

Scope of Work: The applicant proposes to construct a regulation high school baseball field including dugouts and a concession building at an educational facility, namely a Pensacola Christian Academy, a grammar and high school. A regulation soccer field will be constructed overlapping a portion of the baseball field. The site will be used for physical education classes and high school baseball games. The proposed fields are private. The site is located on the east side of Rhett Road south from the intersection of Rhett Road and St. John Street to the intersection of Wilkes Drive and Rhett Road. This site is a part of the Pensacola Christian Academy campus. Previously on the site was an old school building used as a storage building for over 10 years. On the southeast corner of the intersection of Rhett Road and St. John Street, there was a single family house. On the northeast corner of the intersection of Rhett Road and Wilkes Drive there was a single family house. All buildings were demolished approximately six months ago. The appropriate permits for that work were obtained at that time.

At the northeast corner of the site, a dressing and equipment storage building will be constructed for an existing paint ball area. These players use an undeveloped portion of the site and other than constructing the building, no work will take place on that portion of the site.

Two parking lots are proposed to support the facility. The north parking lot at the intersection of St. John St and Rhett Road, will have 34 spaces. The south parking lot at

the intersection of Wilkes Drive and Rhett Road will have 69 spaces including five handicap spaces.

The appropriate potable water and sanitary sewer utilities will be installed to support the facility. The limits of construction is approximately 8.04 acres. Two new driveways will be constructed off of Rhett Road to access the site. Construction access will also be off Rhett Road.

This document addresses civil, sitework, water, and sewer utilities as necessary to support the design and construction of the facility along with documentation of compliance with the Escambia County Land Development Code as it relates to issues such as access management, parking, stormwater management, utility availability, traffic concurrency etc.

Site Location & Environmental: The proposed project is located on the east side of Rhett Road from the intersection of St. John St and Rhett Road to the intersection of Rhett Road and Wilkes Drive and is a part of the Pensacola Christian Academy campus. Existing asphalt parking, asphalt driveways and concrete driveways will be removed as a part of construction. The two single family houses and old school building have been removed. No wetlands or endangered species will be impacted by the proposed development.

Tree Removal: There are 31 protected trees within the project area. It will be necessary to remove ten protected trees within the limits of construction. Seven of these trees are exempt from mitigation as they are located within the playing fields. Three trees will be mitigated. Twenty-one trees will be preserved. It will be necessary to trim limbs from some of the trees to remain. Mitigation for three non-protected trees removed will be as per County requirements. \$5,460 will be paid into the Tree Restoration fund. No trees outside the limits of construction will be removed.

Topographical Survey: The design of the facility is based upon a topographical survey prepared by Pittman Glaze & Associates, Inc., and site investigation.

Stormwater Pollution Prevention: Silt fences and/or haybale sediment barriers are incorporated into the design to prevent sediment migration off-site. These measures will be depicted on the Existing Conditions & Demolition Plan, and in the General Notes. The Contractor will be required to file an NPDES NOI for Stormwater Discharge During Construction Activities. It will be the Contractor's responsibility to install and maintain the proper sediment/erosion control devices as per Escambia County requirements.

Project Site Access: Temporary construction access will be off Rhett Road. Upon completion of construction, the site shall be accessed via two driveways off of Rhett Road. Two driveway connections are proposed to be made to Rhett Road. Due to the location of the site and existing driveways, the proposed driveways are unable to align with those across Rawson Lane. The site is located at the intersection of Rhett Road and St. John Street on the north and the intersection of Rhett Road and Wilkes Drive on the south.

Site Demolition: Existing underground and overhead utilities on site that conflict with the proposed construction will be removed. The existing asphalt and concrete parking and driveways will be removed from the site. Mitigation for tree removal will be as per Escambia County requirements.

Parking: One hundred and three parking spaces including five handicap spaces will be constructed on the site to support the facility.

Handicap: Handicap access will be constructed to the ball field. Handicap access on site to the proposed ball field will meet ADA and Escambia County requirements. The number of handicap parking spaces provided is five.

Water Service & Fire Protection: Domestic water service for this project will be taken from an existing water meter located on the east side of Rhett Road. Backflow prevention devices are in place at the connection to the public water system. All potable water connections will be behind the ECUA meter.

An existing fire hydrant on the east side of Rhett Road will provide fire protection to all the buildings. Said hydrant is approximately 470 feet from the furthest building, and within 355 feet to all other buildings.

Sanitary Sewer: The layout of the buildings necessitates installing wastewater services at more than one location. Two six inch sanitary sewers laterals and one four inch will be installed for collection of wastewater. One six inch line will be installed on the south side of the proposed concession building. This line will replace an existing sewer line running from an existing storage building along the south side of the site to an existing manhole on the east side of Rhett Road. Proposed line will collect wastewater from the existing storage building, concession building and dugout. There will be no cooking facilities in said building and the dugout does not have a bathroom, only a water fountain. This line will connect to the same existing manhole as the existing lateral connects to now (existing lateral to be removed).

Another six inch sanitary lateral will be installed on the east side of the paint ball building to the existing twelve inch sewer line on the south side of St. John Road.

A four inch line will be installed on the west side of the dugout located on the west side of the baseball field. This line will connect onsite to the proposed six inch lateral on the south side of the site. The four inch line will collect wastewater from a dugout. Again only a water fountain will be installed in the dugout, there are no bathrooms in the

dugouts. The existing wastewater lines discharges into Rhett Road Lift Station. Plans and a “Single Service Connection Information Sheet” have been submitted to ECUA.

Stormwater: A new stormwater treatment pond will be constructed on the west side of Rhett Road for treatment of the first one inch of runoff. The system has been designed to retain and treat the first one inch volume over the drainage basin. See attached stormwater narrative and ERP calculations.

WEST FIELD FOR PENSACOLA CHRISTIAN COLLEGE, INC.

PROJECT
LOCATION



LOCATION MAP
SCALE 1" = 1000'

UTILITY COMPANIES:

UTILITY INFORMATION SHOWN AS PER FIELD INFORMATION
TELEPHONE - BELL SOUTH TELECOMMUNICATIONS, INC., 605 WEST GARDEN STREET, PENSACOLA, FLORIDA 32501; (850) 436-1616
ELECTRIC - GULF POWER COMPANY, 9220 PINE FOREST ROAD, PENSACOLA, FLORIDA 32534; (850) 484-5770
SANITARY SEWER/WATER - ESCAMBIA COUNTY UTILITY AUTHORITY, ELLISON INDUSTRIAL PARK, PENSACOLA, FLORIDA; (850) 476-5110
NATURAL GAS - ENERGY SERVICES OF PENSACOLA, 16 SOUTH PALAFOX STREET, PENSACOLA, FLORIDA; (850) 474-5322

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- IF EXISTING UTILITY LINES ARE DISTURBED DUE TO CONSTRUCTION ACTIVITY THEY WILL BE RELOCATED AS PER UTILITY COMPANY AND PENSACOLA CHRISTIAN COLLEGE REQUIREMENTS. NOTIFY SUNSHINE UTILITIES 48 HOURS PRIOR TO DIGGING WITHIN R/W (800-432-4770).
- CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH DAMAGING OR DISRUPTING EXISTING UTILITY LINES. THE CONTRACTOR SHALL PAY FOR ALL COSTS TO REPAIR OR REPLACE SAID LINE, AND ALL COST INCURRED BY OWNER FOR DISRUPTION OF SAID LINE, INCLUDING DOWNTIME.
- THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND, MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHOULD NOTIFY THE PROJECT ENGINEER IMMEDIATELY UPON ENCOUNTERING ANY UNEXPECTED STRUCTURE, UTILITY LINE, OR OTHER UNUSUAL CONDITION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK. EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY BY PITTMAN-GLAZE AND ASSOCIATES AND PREVIOUS CONSTRUCTION PLANS.
- FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITY, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF LOCATING, PRESERVING AND PROTECTING SAID UTILITY OR STRUCTURE.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES AND PENSACOLA CHRISTIAN COLLEGE FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES, AND OTHER UTILITIES AS NECESSARY.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS SEWER DRAINS, WATER, CHILLED WATERLINES OR GAS PIPES, CONDUITS, POLES, WALLS POSTS ETC., ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED, UNLESS NOTED.
- ALL VALVE BOXES SHALL BE SET FLUSH WITH FINISHED GRADE.
- EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR AT ALL TIMES AS PER ESCAMBIA COUNTY REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO PREVENT AND CONTROL EROSION AND SEDIMENTATION. AREAS OF CONTROL AND TYPICAL SECTION OF BARRIERS ARE SUGGESTIONS ONLY AND DO NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TO PREVENT AND CONTROL EROSION AND SEDIMENTATION.
- SEDIMENT SHALL BE RETAINED ON THE SITE OF DEVELOPMENT, AND REMOVED AT THE END OF CONSTRUCTION.
- ALL SITE WORK MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, UNLESS NOTED OTHERWISE IN THE CONSTRUCTION DOCUMENTS.
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- THE CONTRACTOR IS TO RESTORE ALL DISTURBED ESCAMBIA COUNTY RIGHT-OF-WAY IN ACCORDANCE WITH ESCAMBIA COUNTY REQUIREMENTS.
- THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING. COORDINATE SITE VISIT WITH OWNER.
- CONTRACTOR SHALL COMPLETE ALL WORK INDICATED IN CONSTRUCTION DOCUMENTS USING HAND LABOR IF NECESSARY OR APPROPRIATE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION TO THE TESTING REQUIREMENTS OUTLINED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION TO TREES TO REMAIN. BARRICADE IN ACCORDANCE WITH DETAIL PROVIDED HEREIN, AND ESCAMBIA COUNTY REQUIREMENTS. CONTRACTOR SHALL ERECT BARRICADES PRIOR TO INITIATION OF ANY LAND DISTURBANCE AND MAINTAIN THROUGH COMPLETION OF CONSTRUCTION. FOR ANY TREE SHOWN TO REMAIN THAT IS DAMAGED BY THE CONTRACTOR'S FORCES, THE CONTRACTOR SHALL PAY PENSACOLA CHRISTIAN COLLEGE THE SUM OF \$300.00 DOLLARS PER INCH DIAMETER OF TREE THAT IS DAMAGED.
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND THE CONTRACT.
- CLEAR AND GRUB ONLY AS NECESSARY TO COMPLETE NEW CONSTRUCTION. (6' MAXIMUM BEYOND FINISHED CONTOUR)
- BURNING WILL NOT BE PERMITTED ONSITE OR ON CAMPUS.
- ALL NEW PAVEMENT SHALL BE 1 1/2" FDOT TYPE SP 9.5 ASPHALTIC CONCRETE.
- BASE MATERIAL FOR ASPHALT PARKING AND DRIVE SHALL CONSIST OF 6-INCH COMPACTED FDOT GRADED AGGREGATE BASE, AS INDICATED ON CONSTRUCTION PLANS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- CONTRACTOR'S ACCESS TO THE SITE SHALL BE FROM RHETT ROAD.
- SHOULD IT BE NECESSARY, CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS SITE. CONTRACTOR SHALL INCLUDE COST FOR SAME IN HIS BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER.
- STAGING AREA AND EQUIPMENT STORAGE SHALL BE AS DESIGNATED BY THE OWNER.
- CONTRACTOR SHALL DELIVER THE STAGING AREA TO THE OWNER ON OR BEFORE THE DATE OF COMPLETION OF CONSTRUCTION AND SAME SHALL BE IN AS GOOD AS OR BETTER CONDITION AS EXISTED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SECURE THE PROJECT SITE AT THE END OF EACH DAY AND ON WEEKENDS.
- WHERE UNSUITABLE MATERIALS ARE ENCOUNTERED IN PAVED AREAS, THE UNSUITABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BELOW FINISHED SUBGRADE ELEVATION AND BACKFILLED WITH CLEAN SAND CONTAINING LESS THAN 10% FINES. SUBMIT SAMPLE TO GEOTECHNICAL ENGINEER FOR TESTING PRIOR TO PLACEMENT. SEE TECHNICAL SPECIFICATIONS.
- CONTRACTOR EMPLOYEE PARKING SHALL BE DESIGNATED BY THE OWNER AND GENERAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE AREA.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION TO TREES TO REMAIN. BARRICADE IN ACCORDANCE WITH DETAIL PROVIDED HEREIN, AND ESCAMBIA COUNTY REQUIREMENTS. CONTRACTOR SHALL ERECT BARRICADES PRIOR TO INITIATION OF ANY LAND DISTURBANCE AND MAINTAIN THROUGH COMPLETION OF CONSTRUCTION. FOR ANY TREE SHOWN TO REMAIN THAT IS DAMAGED BY THE CONTRACTOR'S FORCES, THE CONTRACTOR SHALL PAY PENSACOLA CHRISTIAN COLLEGE THE SUM OF \$300.00 DOLLARS PER INCH DIAMETER OF TREE THAT IS DAMAGED.
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND THE CONTRACT.
- CLEAR AND GRUB ONLY AS NECESSARY TO COMPLETE NEW CONSTRUCTION. (6' MAXIMUM BEYOND FINISHED CONTOUR)
- BURNING WILL NOT BE PERMITTED ONSITE OR ON CAMPUS.
- ALL NEW PAVEMENT SHALL BE 1 1/2" FDOT TYPE SP 9.5 ASPHALTIC CONCRETE.
- BASE MATERIAL SHALL CONSIST OF 6-INCH COMPACTED FDOT GRADED AGGREGATE BASE, AS INDICATED ON CONSTRUCTION PLANS.
- THE CONTRACTOR SHALL NOT BLOCK OR OBSTRUCT ANY ROADS OR DRIVES WITHOUT FIRST RECEIVING PERMISSION FROM PENSACOLA CHRISTIAN COLLEGE AND ESCAMBIA COUNTY TO DO SO.
- CONTRACTOR IS RESPONSIBLE FOR PREVENTING THE TRANSFER OF MUD/DIRT/DEBRIS FROM CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. CONTRACTOR IS RESPONSIBLE FOR CLEAN UP OF SAME.
- CONTRACTOR SHALL CLEANUP THE ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWICE PER WEEK. THIS SHALL INCLUDE PLACING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, BUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE PER WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN HIS BID.
- DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY CONTRACTOR PRIOR TO OBTAINING C.O.

- CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING HIS OWN QUANTITIES AND SHALL PROVIDE SAME ON APPROPRIATE FORM IN THE PROJECT MANUAL AND SUBMIT WITH HIS BID. CONTRACTOR SHALL PROVIDE UNIT PRICES WITH HIS QUANTITIES. FOR ANY ADDITIONAL WORK FOR WHICH THERE IS NO UNIT PRICE, CONTRACTOR SHALL SUBMIT ITEMIZED COST IN A FORM SATISFACTORY TO THE ENGINEER/ARCHITECT.
- CONTRACTOR SHALL ADHERE TO PENSACOLA CHRISTIAN COLLEGE'S AND OTHER AUTHORITIES HAVING JURISDICTION, RULES CONCERNING SAFETY.
- JOBSITE SAFETY IS THE EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL OSHA AND OTHER APPLICABLE SAFETY REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
- CONTRACTOR WILL ADHERE TO PENSACOLA CHRISTIAN COLLEGE'S CONTRACTOR'S CODE OF CONDUCT AT ALL TIMES WHILE ON CAMPUS.
- CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO REMOVING ANY TREE.
- CONTRACTOR IS CAUTIONED THAT ALL MATERIAL SUBMITTALS, DESIGN MIXES AND OTHER SUBMITTALS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION OR CONSTRUCTION. SHOULD INSTALLATION OR CONSTRUCTION OCCUR PRIOR TO APPROVAL, CONTRACTOR MAY BE REQUIRED TO REMOVE AND REPLACE SAME AT HIS OWN EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING, COORDINATING AND ASSISTING GEOTECHNICAL ENGINEER WITH ALL TESTING. SHOULD TESTING NOT BE DONE OR NOT OCCUR AT THE APPROPRIATE TIME, THE CONTRACTOR MAY BE REQUIRED TO REMOVE OR UNCOVER WORK AND REPLACE AT HIS OWN EXPENSE.
- CONTRACTOR TO PROVIDE GEOTECHNICAL ENGINEER WITH 24 HOURS ADVANCE NOTICE FOR TESTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION TO THE TESTING REQUIREMENTS SET FORTH IN THE CONSTRUCTION DOCUMENTS.
- WHERE NEW CURB JOINS EXISTING CURB, STYLE SHALL MATCH UNLESS OTHERWISE NOTED.
- FOR REMOVAL OR RELOCATION OF LIGHT POLES AND WIRING, SEE ELECTRICAL PLANS. ALL POLES TO BE DELIVERED TO OWNER.
- AT THE COMPLETION OF THE PROJECT AND PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE TO OWNER AND ENGINEER, A "REDLINE MARK-UP" SET OF ASBUILT DRAWINGS SHOWING ALL UTILITIES (INCLUDING ELECTRICAL, TELEPHONE, GAS AND STORM) INSTALLED, AND EXISTING UTILITIES UNCOVERED DURING THE COURSE OF THE WORK. ASBUILT DRAWINGS SHALL BE CLEAN, NEAT AND LEGIBLE. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION, WHICH SHOW ASBUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, DIMENSIONS, ETC.
- CONTRACTOR IS TO PERFORM ALL EXCAVATION THAT IS IN CLOSE PROXIMITY TO GAS LINES, FIBER OPTICS AND ELECTRICAL LINES BY HAND. WHILE EXCAVATING AROUND GAS LINES, THE CONTRACTOR SHALL HAVE AN EMPLOYEE AT THE SHUT-OFF VALVE, AT THE READY TO CLOSE THE VALVE IF NECESSARY.
- SEE TOP SOIL AND SOD NOTES ON SHEET C405.
- ALL FLAT OUTSIDE CONCRETE WORK, INCLUDING SIDEWALKS, CURBS, PADS, ETC. IS TO BE CONSTRUCTED BY A CONCRETE COMPANY WITH A MINIMUM OF 5 YEARS EXPERIENCE IN SAID OUTSIDE CONCRETE WORK, AND BE ON THE P.C.C. BIDDERS LIST. SUCH WORK MAY NOT BE PERFORMED BY THE GENERAL CONTRACTOR. SUBMIT NAME OF CONCRETE COMPANY WITH BID.

ESCAMBIA COUNTY REQUIRED NOTES:

(CONTRACTOR TO ADHERE TO THESE NOTES IN ADDITION TO OTHER NOTES, PLANS AND PROJECT MANUAL)

- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND AND SWALES TOPS AND SIDES SHALL BE SODDED.
- SEDIMENT SHALL BE RETAINED ON THE SITE OF DEVELOPMENT.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, RETENTION AREA, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
- EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.
- ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE RESIDENTIAL STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL RUNOFF DURING ALL PHASES OF CONSTRUCTION.
- IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- ALL DISTURBED AREAS WITHIN COUNTY RIGHT-OF-WAY TO BE STABILIZED WITH SOD.

EROSION AND SEDIMENTATION CONTROL NOTES

(FOR ADDITIONAL NOTES AND DETAILS SEE SHEET C502)

- SILT FENCE SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT FENCES TIGHTLY ABUTTING ONE ANOTHER PRIOR TO EARTHWORK OPERATIONS.
- THE SILT FENCE BARRIER SHALL BE ENTRENCHED AND BACK FILLED. A TRENCH SHALL BE EXCAVATED THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 6 INCHES. THE EXCAVATED SOIL SHALL CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.
- SILT FENCE BARRIERS SHALL BE SECURELY ANCHORED.
- SILT FENCE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
- SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE, END RUNS AND UNDERCUTTING BENEATH FENCE.
- NECESSARY REPAIRS TO SILT FENCE BARRIERS OR REPLACEMENT OF FENCE SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDDED.
- CONTRACTOR IS REQUIRED TO SUBMIT AND COMPLY WITH AN NPDES PERMIT.

PROPERTY OWNER:
PENSACOLA CHRISTIAN COLLEGE INC.
250 BRENT LANE, PENSACOLA, FLORIDA 32504
850-969-1610

DEVELOPER:
PENSACOLA CHRISTIAN COLLEGE INC.

PROJECT ADDRESS:
60 RHETT RD

PROPERTY ID:
35-15-30-9002-000-001 (6.33 ACRE)
35-15-30-9002-001-001 (0.23 ACRE)
35-15-30-9001-000-032 (0.96 ACRE)
35-15-30-9001-000-007 (0.24 ACRE)

LIMITS OF CONSTRUCTION:
8.06 ACRES

ZONED:
COM

FUTURE LAND USE:
MU-U

PLANS PREPARED BY:
KENNETH HORNE & ASSOCIATES
MARCH 2017

FLOODZONE:
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD_ZONE_X (MINIMAL RISK AREAS OUTSIDE THE 1 PERCENT AND 2 PERCENT ANNUAL CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C03806, MAP REVISION DATED SEPTEMBER 29, 2006"

UTILITIES:
POTABLE WATER SERVICE AVAILABILITY - ECUA
SEWER SERVICE PROVIDER/AVAILABILITY - ECUA
LOCATION AND SIZE OF ANY WATER LINES - AS SHOWN
LOCATION OF FIRE HYDRANTS - AS SHOWN

OVERLAY:
THE PROJECT IS LOCATED IN OAKFIELD ORLEY

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET & GENERAL NOTES
C002	GENERAL & SURVEYOR'S NOTES AND LEGEND
C101	EXISTING CONDITIONS
C102	DEMOLITION PLAN
C103	TREE REMOVAL PLAN
C201	STAKING PLAN
C202	INFIELD STAKING PLAN
C203	INFIELD DETAILS
C301	UTILITY PLAN
C401	STORM STRUCTURE PLAN
C402	GRADING PLAN
C403	GRADING PLAN
C404	UNDERDRAIN PLAN
C405	LANDSCAPE PLAN
C406	IRRIGATION PLAN
C407	IRRIGATION PLAN
C501	DETAILS
C502	DETAILS
C503	IRRIGATION DETAILS

NO. DATE REVISIONS

THESE DRAWINGS ARE THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

KENNETH C. HORNE
FL. PE. 40149

KH&A
Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10689 PENSACOLA, FLORIDA 32524
7201 N 9TH AVENUE SUITE 6 PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL. CERTIFICATE OF AUTHORIZATION NO. 8288

PENSACOLA CHRISTIAN COLLEGE
WEST FIELD
COVER SHEET
FLORIDA
ESCAMBIA

DRAWN BY: PJC
DESIGNED BY: DMS
CHECKED BY: KCH
DATE: 5/29/17
SCALE: NO SCALE
NOT FOR CONSTRUCTION
BY: SABEL

PROJECT NO.: 2016-67
SHEET: 1 OF 19

LEGAL DESCRIPTION, PARCEL A
 Begin at the intersection of the South right of way of St. John Street (50' R/W) and the West right of way of Louisville and Nashville Railroad (100' R/W); thence South 65 degrees 18'10" West along said South right of way line for a distance of 344.62 feet; thence South 24 degrees 14'56" East for a distance of 122.00 feet; thence South 65 degrees 18'10" West for a distance of 122.00 feet to the East right of way of Rhett Road (66' R/W); thence South 24 degrees 14'56" East along said East right of way line for a distance of 500.11 feet to the North line of Twelve Oaks subdivision, as recorded in Plat Book 4 at page 14; thence North 65 degrees 17'25" East along said North line for a distance of 466.85 feet to the West right of way line of said Louisville and Nashville Railroad; thence North 24 degrees 16'12" West along said West right of way line for a distance of 622.00 feet to the point of beginning.
 All lying and being in Section 35, Township 1 South, Range 30 West, Escambia County, Florida.

LEGAL DESCRIPTION, PARCEL B
 That portion of Lot 2, Vidal Grant, Section 35, Township 1 South, Range 30 West, Escambia County, Florida, according to plat of said grant recorded in Deed Book 89 at Page 174 of the public records of the said County, described as follows:
 Commencing at a permanent reference monument at the Northwest corner of Lot 1, Twelve Oaks, according to plat filed in Plat Book 4 at Page 14, of the records of said County; thence North 65 degrees 24' East, along the South right of way line of Church Lane according to said plat of Twelve Oaks, a distance of 208.0 feet to a permanent reference monument for the point of beginning; thence continue North 65 degrees 24' East, 122.0 feet to an iron pipe; thence South 24 degrees 07' East, 122.0 feet to an iron pipe; thence South 65 degrees 24' West, 122.0 feet to an iron pipe in the East right of way line of Rhett Road according to said plat of Twelve Oaks; thence North degrees 24 07' West along said East line, 122.0 feet to the point of beginning.

LEGAL DESCRIPTION, PARCEL C
 Lots 32 and 33, Twelve Oaks, a subdivision in the Vidal Grant, Section 35, Township 1 South, Range 30 West, Escambia County, Florida as recorded in Plat Book 4 at page 14 of the public records of said County.

BENCHMARKS:
 40-14-201V - A concrete monument with F.D.O.T. brass disk located 54' +/- south of the centerline of Brent Lane and 106' +/- west of the centerline of Rawson Lane; 2.15' west of a support pole for billboard.
 Elevation = 49.37'
 160754 - A railroad spike in the north side of a power pole located 110' +/- west of Sycamore Drive and 25' +/- south of the centerline of St. John Street.
 Elevation = 47.26'
 160754A - An "X" in the north bonnet bolt of a fire hydrant located 350' +/- south of the centerline of St. John Street and 35' +/- east of the centerline of Rhett Road.
 Elevation = 49.51'
 160754B - An "X" in the north bonnet bolt of a fire hydrant located 50' +/- north of the centerline of Wilkes Drive and 20' +/- east of the centerline of Rhett Road.
 Elevation = 49.61'

SURVEYOR'S NOTES:
 1. The underground utilities shown have been located from field survey information and existing drawings. The surveyor has not physically located the underground utilities. The surveyor does not certify that the underground utilities shown comprise all such utilities or that they are the exact size, material, or location as indicated.
 2. This survey does not reflect or determine ownership.
 3. This survey is subject to any facts that may be disclosed by a full and accurate title search.
 4. This survey is subject to setbacks, easements, and restrictions of record.
 5. To assure the contractor is on the same vertical and horizontal datum as this survey, it is strongly recommended that vertical checks be made between two benchmarks and that horizontal checks be made between three control points or property corners.
 6. Footings and foundations below natural ground not located.
 7. Due to current safety regulations, we are unable to access any sewer manholes and/or structures in order to verify pipe size or material. Pipe size and material has been shown as per plans or by approximate measurements. It is strongly recommended that size and material are verified before any design work begins.
 8. Coordinates shown are State Plane Coordinates referenced to N.A.D. 83 datum, 2011 adjustment, Florida North Zone and expressed in U.S. survey feet.
 9. State Plane coordinates based on Trimble 4 Florida Department of Transportation continuously operating reference station (CORS) network.

LEGEND:

Right of way	R/W
Benchmark	BM
Elevation	ELEV
Finished floor elevation	FFE
Invert	INV
Oak tree	
Crape myrtle	
Palm tree	
Magnolia tree	
Cedar tree	
Pecan tree	
Miscellaneous tree	
1" iron pipe found	
1/2" Capped iron rod set #1075	
1/2" Capped iron rod found noted "X" cut in concrete set	
Nail and disk found no #	
1" Capped pipe found	
1/2" iron rod found	
4"x4" Concrete monument found no #	
Nail and disk set #1075	
Nail and disk found #1749	
Fire hydrant	
Sanitary sewer manhole	
Telephone manhole	
Electric manhole	
Manhole	
Water valve	
Water meter	
Gas meter	
Telephone equipment	
Electric equipment	
Sewer cleanout	
Sprinkler control valve	
Water faucet	
Backflow preventor	
Light pole	
Light pole with base	
Power pole	
Water pole	
Power pole with underground cable	
Mailbox	
Signal box	
Gulf Power Company marker	
Storm inlet	
Road sign	
Sward post	
Telephone marker	
Metal post for netting	
Spot elevation	
Contour line	
Chain link fence	
Wood fence	
Electric line	
Cable line	
Telephone line	
Gas line	
Water line	
Buried telephone line	
Concrete	
Gravel	
Asphalt	

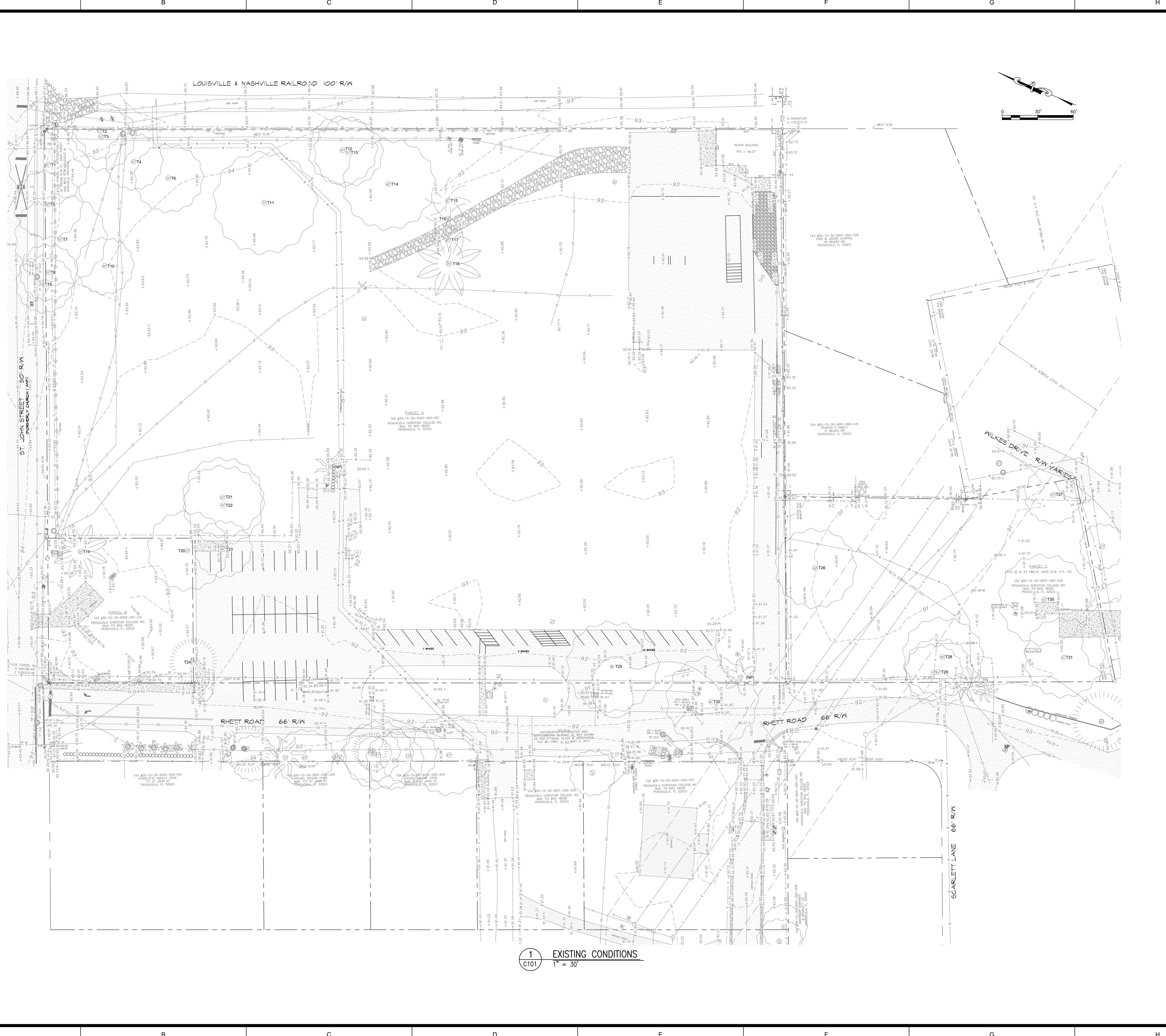
STRUCTURE TABLE		
STRUCTURE NAME:	DETAILS:	PIPES:
ST-1	FDOT TYPE "E" INLET TOP = 91.64 INV OUT = 89.17 (P-1)	P-1 18" RCP
ST-2	FDOT TYPE "E" INLET TOP = 91.65 INV IN = 89.10 (P-1) INV IN = 89.32 (UD-1) INV OUT = 89.10 (P-2)	P-1 18" RCP UD-1 4" PVC P-2 18" RCP
ST-3	FDOT TYPE "E" INLET TOP = 92.20 INV IN = 89.00 (P-2) INV IN = 89.14 (P-4) INV OUT = 91.20 (P-3)	P-2 18" RCP P-4 12" PVC P-3 24" RCP
ST-4	18" NYLOPLAST BASIN TOP = 91.30 INV OUT = 89.20 (P-4)	P-4 12" PVC
ST-5	24" NYLOPLAST BASIN TOP = 93.24 INV IN = 90.55 (UD-2) INV OUT = 90.00 (P-5)	UD-2 4" PVC P-5 12" PVC
ST-6	24" NYLOPLAST BASIN TOP = 91.30 INV OUT = 89.30 (P-6)	P-6 12" PVC
ST-7	FDOT TYPE "E" INLET TOP = 93.30 INV IN = 88.55 (P-3) INV IN = 89.03 (P-6) INV IN = 89.85 (P-5) INV OUT = 87.77 (P-7)	P-3 24" RCP P-6 12" PVC P-5 12" PVC P-7 24" RCP
ST-8	18" NYLOPLAST BASIN TOP = 93.15 INV OUT = 91.65 (P-8)	P-8 12" PVC
ST-9	18" NYLOPLAST BASIN TOP = 92.74 INV IN = 91.24 (P-8) INV OUT = 89.12 (P-9)	P-8 12" PVC P-9 12" PVC
ST-10	FDOT TYPE "E" INLET TOP = 90.10 INV IN = 85.50 (P-7) INV IN = 88.18 (P-9) INV OUT = 86.40 (P-10)	P-7 24" RCP P-9 12" PVC P-10 24" RCP
ST-11	FDOT TYPE "E" INLET TOP = 89.73 INV IN = 86.07 (P-10) INV OUT = 85.67 (P-11)	P-10 24" RCP P-11 24" RCP
ST-12	FDOT TYPE "E" INLET TOP = 90.33 INV IN = 85.38 (P-11) INV OUT = 85.28 (P-12)	P-11 24" RCP P-12 24" RCP

STRUCTURE TABLE		
STRUCTURE NAME:	DETAILS:	PIPES:
ST-13	OUTFALL STRUCTURE TOP = 92.25 INV IN = 84.79 (P-12) INV OUT = 84.00 (P-13)	P-12 24" RCP P-13 24" RCP
ST-14	4' STORM MANHOLE TOP = 92.45 INV IN = 83.60 (P-13) INV OUT = 82.96 (P-14)	P-13 24" RCP P-14 24" RCP
ST-15	24" MITERED END SECTION INV IN = 82.00 (P-14)	P-14 24" RCP
ST-16	18" NYLOPLAST BASIN TOP = 93.41 INV OUT = 92.10 (P-16)	P-16 10" PVC
ST-17	18" NYLOPLAST BASIN TOP = 93.74 INV IN = 91.85 (P-16) INV OUT = 91.75 (P-17)	P-16 10" PVC P-17 10" PVC
ST-18	18" NYLOPLAST BASIN TOP = 93.95 INV IN = 91.54 (P-17) INV OUT = 91.44 (P-18)	P-17 10" PVC P-18 12" PVC
ST-19	18" NYLOPLAST BASIN TOP = 94.07 INV IN = 91.36 (P-18) INV OUT = 91.26 (P-19)	P-18 12" PVC P-19 12" PVC
ST-20	12" NYLOPLAST BASIN TOP = 94.07 INV OUT = 91.24 (P-20)	P-20 4" PVC
ST-21	18" NYLOPLAST BASIN TOP = 94.07 INV IN = 91.05 (P-19) INV OUT = 90.95 (P-21)	P-19 12" PVC P-21 12" PVC
ST-22	18" NYLOPLAST BASIN TOP = 93.95 INV IN = 90.85 (P-21) INV OUT = 90.75 (P-22)	P-21 12" PVC P-22 12" PVC
ST-23	18" NYLOPLAST BASIN TOP = 93.74 INV IN = 90.51 (P-22) INV OUT = 90.41 (P-23)	P-22 12" PVC P-23 12" PVC
ST-24	18" NYLOPLAST BASIN TOP = 93.41 INV IN = 89.95 (P-23) INV OUT = 89.85 (P-24)	P-23 12" PVC P-24 12" PVC

STRUCTURE TABLE		
STRUCTURE NAME:	DETAILS:	PIPES:
ST-25	18" NYLOPLAST BASIN TOP = 91.35 INV IN = 89.97 (UD-6) INV OUT = 89.35 (P-25)	UD-6 4" PVC P-25 12" PVC
ST-26	24" NYLOPLAST BASIN TOP = 92.78 INV OUT = 90.16 (P-26)	P-26 12" PVC
ST-27	24" NYLOPLAST BASIN TOP = 93.00 INV IN = 89.89 (P-26) INV OUT = 92.50 (P-27)	P-26 12" PVC P-27 12" PVC
ST-28	FDOT TYPE "E" INLET TOP = 90.48 INV IN = 87.65 (P-27) INV IN = 88.15 (UD-3) INV IN = 88.15 (UD-4) INV OUT = 87.13 (P-28)	P-27 12" PVC UD-3 4" PVC UD-4 4" PVC P-28 24" RCP
ST-29	18" NYLOPLAST BASIN TOP = 91.00 INV IN = 88.67 (UD-5) INV OUT = 88.67 (P-29)	UD-5 4" PVC P-29 10" PVC
ST-30	FDOT TYPE "E" INLET TOP = 91.29 INV IN = 88.45 (P-29) INV IN = 86.92 (P-28) INV OUT = 86.82 (P-30)	P-29 10" PVC P-28 24" RCP P-30 24" RCP
ST-31	4' STORM MANHOLE TOP = 91.56 INV IN = 86.36 (P-30) INV IN = 86.61 (P-31) INV OUT = 86.26 (P-32)	P-30 24" RCP P-31 12" PVC P-32 24" RCP
ST-32	18" NYLOPLAST BASIN TOP = 93.24 INV IN = 89.49 (P-24) INV IN = 86.96 (P-25) INV OUT = 86.86 (P-31)	P-24 12" PVC P-25 12" PVC P-31 12" PVC
ST-33	4' STORM MANHOLE TOP = 91.30 INV IN = 85.99 (P-32) INV OUT = 84.00 (P-33)	P-32 24" RCP P-33 24" RCP
ST-34	24" MITERED END SECTION TOP = 84.75 INV IN = 82.00 (P-33)	P-33 24" RCP

SEE SHEET C401 FOR STORM STRUCTURE PLAN AND PIPE TABLE.

PENNSACOLA CHRISTIAN COLLEGE WEST FIELD NOTES AND LEGEND ESCAMBIA FLORIDA		KENNETH HORNE & ASSOCIATES, INC. CIVIL ENGINEERS P.O. BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8288	
DRAWN BY: PJC DESIGNED BY: GMS CHECKED BY: KCH DATE: 5/25/17 SCALE: NO SCALE NOT FOR CONSTRUCTION BY:	PROJECT NO.: 2016-67 SHEET: 2 OF 19	REVISIONS NO. DATE 1 2 3 4 5	STATE OF FLORIDA PROFESSIONAL ENGINEER KENNETH C. HORNE FL PE 40149



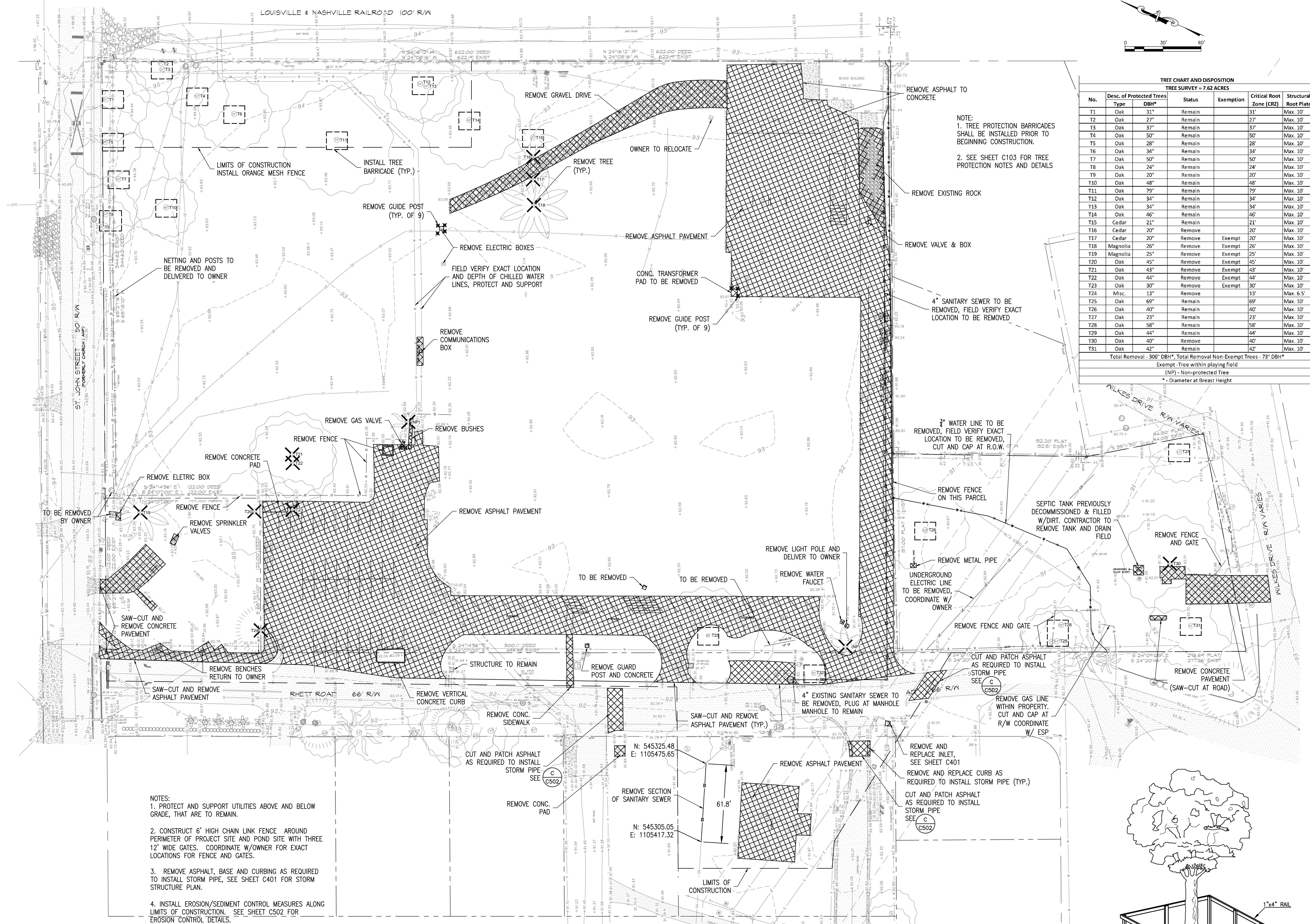
1
C101 EXISTING CONDITIONS
1" = 30'

NO.	DATE	REVISIONS

	Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005, info@kha-a.com, FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8298
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DRAWN BY: PLC DESIGNED BY: GMS CHECKED BY: KCH DATE: 5/29/17 SCALE: 1" = 30' NOT FOR CONSTRUCTION BY:	PENSACOLA CHRISTIAN COLLEGE WEST FIELD EXISTING CONDITIONS ESCAMBIA FLORIDA
---	--

PROJECT NO:	2016-67
SHEET:	C101
	4 OF 19



- NOTES:
1. PROTECT AND SUPPORT UTILITIES ABOVE AND BELOW GRADE, THAT ARE TO REMAIN.
 2. CONSTRUCT 6' HIGH CHAIN LINK FENCE AROUND PERIMETER OF PROJECT SITE AND POND SITE WITH THREE 12' WIDE GATES. COORDINATE W/OWNER FOR EXACT LOCATIONS FOR FENCE AND GATES.
 3. REMOVE ASPHALT, BASE AND CURBING AS REQUIRED TO INSTALL STORM PIPE, SEE SHEET C401 FOR STORM STRUCTURE PLAN.
 4. INSTALL EROSION/SEDIMENT CONTROL MEASURES ALONG LIMITS OF CONSTRUCTION. SEE SHEET C502 FOR EROSION CONTROL DETAILS.
 5. CONTRACTORS ARE TO UTILIZE THE EXISTING PAVED DRIVEWAYS FOR CONSTRUCTION ENTRANCES UNTIL THE POINT THE NEW ASPHALT IS INSTALLED.

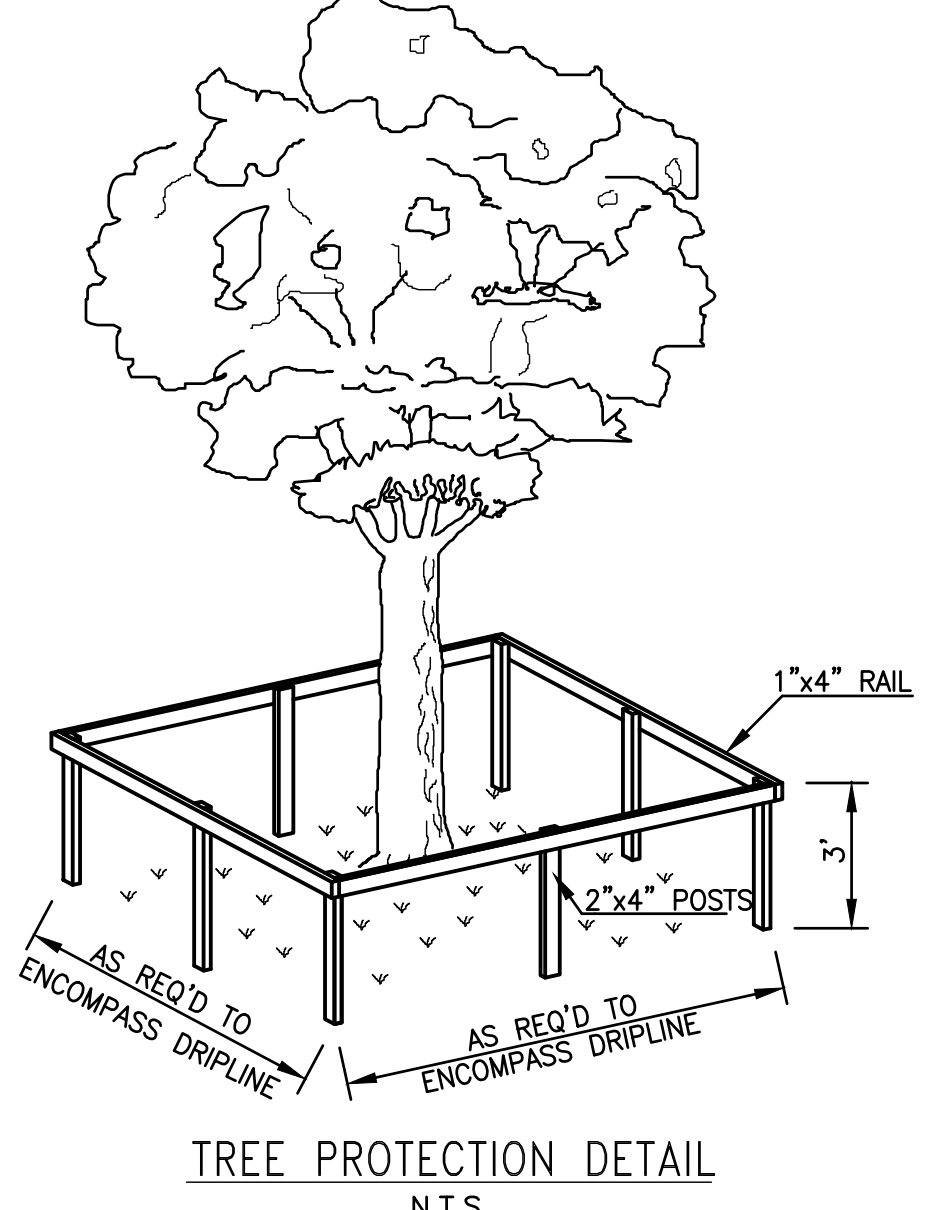
1 DEMOLITION PLAN
1" = 30'

TREE CHART AND DISPOSITION
TREE SURVEY = 7.62 ACRES

No.	Desc. of Protected Trees	Type	DBH*	Status	Exemption	Critical Root Zone (CRZ)	Structural Root Plate
T1	Oak	31"	31"	Remain		31'	Max. 10'
T2	Oak	27"	27"	Remain		27'	Max. 10'
T3	Oak	37"	37"	Remain		37'	Max. 10'
T4	Oak	50"	50"	Remain		50'	Max. 10'
T5	Oak	28"	28"	Remain		28'	Max. 10'
T6	Oak	34"	34"	Remain		34'	Max. 10'
T7	Oak	50"	50"	Remain		50'	Max. 10'
T8	Oak	24"	24"	Remain		24'	Max. 10'
T9	Oak	20"	20"	Remain		20'	Max. 10'
T10	Oak	48"	48"	Remain		48'	Max. 10'
T11	Oak	79"	79"	Remain		79'	Max. 10'
T12	Oak	34"	34"	Remain		34'	Max. 10'
T13	Oak	34"	34"	Remain		34'	Max. 10'
T14	Oak	46"	46"	Remain		46'	Max. 10'
T15	Cedar	21"	21"	Remain		21'	Max. 10'
T16	Cedar	20"	20"	Remove		20'	Max. 10'
T17	Cedar	20"	20"	Remove	Exempt	20'	Max. 10'
T18	Magnolia	26"	26"	Remove	Exempt	26'	Max. 10'
T19	Magnolia	25"	25"	Remove	Exempt	25'	Max. 10'
T20	Oak	45"	45"	Remove	Exempt	45'	Max. 10'
T21	Oak	43"	43"	Remove	Exempt	43'	Max. 10'
T22	Oak	44"	44"	Remove	Exempt	44'	Max. 10'
T23	Oak	30"	30"	Remove	Exempt	30'	Max. 10'
T24	Misc.	13"	13"	Remove	Exempt	13'	Max. 6.5'
T25	Oak	69"	69"	Remain		69'	Max. 10'
T26	Oak	40"	40"	Remain		40'	Max. 10'
T27	Oak	23"	23"	Remain		23'	Max. 10'
T28	Oak	58"	58"	Remain		58'	Max. 10'
T29	Oak	44"	44"	Remain		44'	Max. 10'
T30	Oak	40"	40"	Remove		40'	Max. 10'
T31	Oak	42"	42"	Remain		42'	Max. 10'

Total Removal = 306" DBH*, Total Removal Non-Exempt Trees = 73" DBH*

Exempt - Tree within playing field
(NP) - Non-protected tree
* - Diameter at Breast Height

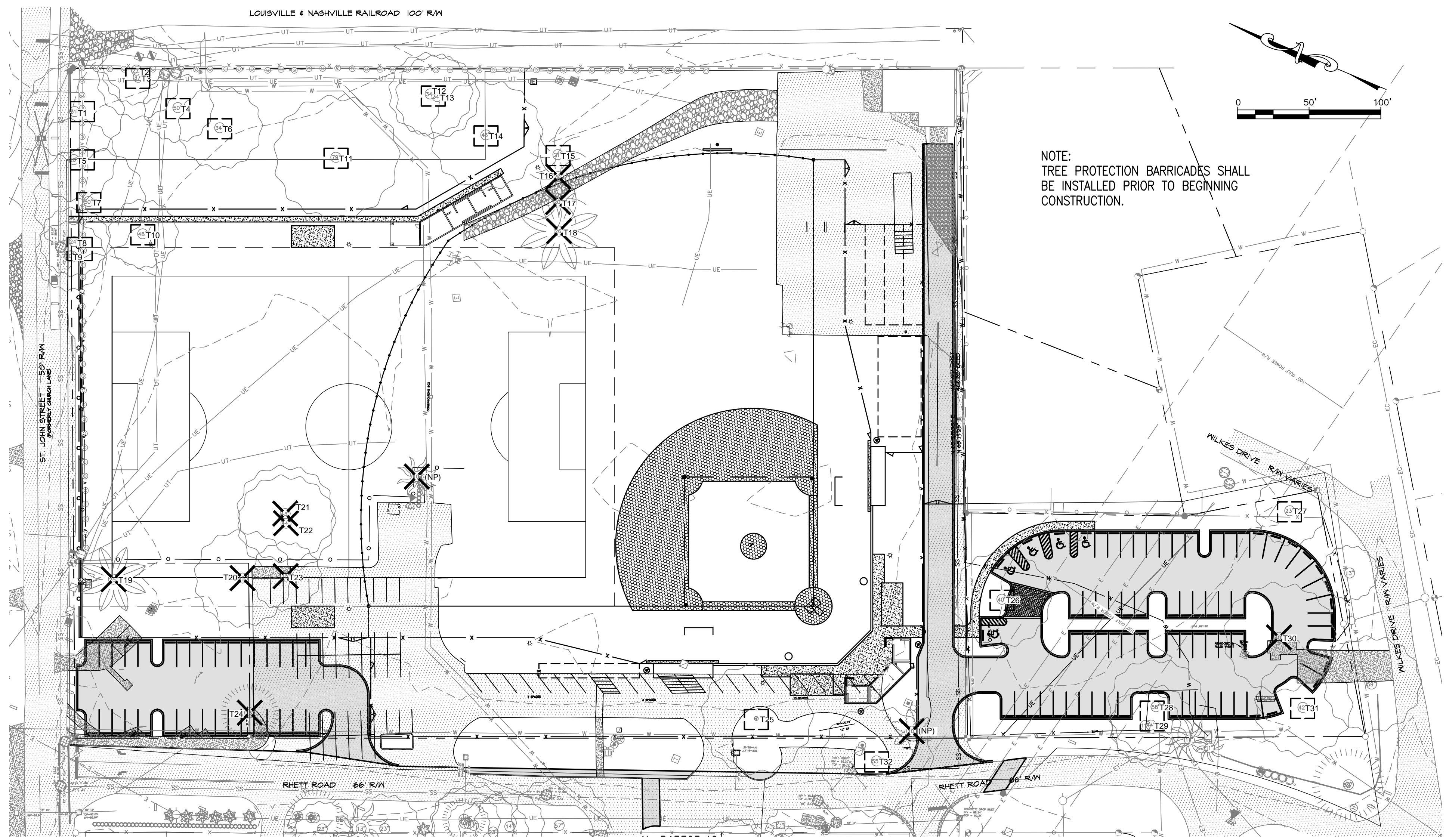


NO.	DATE	REVISIONS

Kenneth Home & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10689 PENSACOLA FLORIDA 32524
7201 N 9TH AVENUE SUITE 6 PENSACOLA FLORIDA 32504
(850) 471-9005 info@kha-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8298

PENSACOLA CHRISTIAN COLLEGE	WEST FIELD	FLORIDA
DEMOLITION PLAN		ESCAMBIA

DRAWN BY: PLC	PROJECT NO.: 2016-67
DESIGNED BY: GMS	C102
CHECKED BY: KCH	SHEET: 4 OF 19
DATE: 5/29/17	
SCALE: 1" = 30'	
NOT FOR CONSTRUCTION	
BY: SAHEL	



1 TREE REMOVAL PLAN
1" = 50'

TREE CHART AND DISPOSITION					
TREE SURVEY = 7.62 ACRES					
No.	Desc. of Protected Trees	Status	Exemption	Critical Root Zone (CRZ)	Structural Root Plate
T1	Oak 31"	Remain		31'	Max. 10'
T2	Oak 27"	Remain		27'	Max. 10'
T3	Oak 37"	Remain		37'	Max. 10'
T4	Oak 50"	Remain		50'	Max. 10'
T5	Oak 28"	Remain		28'	Max. 10'
T6	Oak 34"	Remain		34'	Max. 10'
T7	Oak 50"	Remain		50'	Max. 10'
T8	Oak 24"	Remain		24'	Max. 10'
T9	Oak 20"	Remain		20'	Max. 10'
T10	Oak 48"	Remain		48'	Max. 10'
T11	Oak 79"	Remain		79'	Max. 10'
T12	Oak 34"	Remain		34'	Max. 10'
T13	Oak 34"	Remain		34'	Max. 10'
T14	Oak 46"	Remain		46'	Max. 10'
T15	Cedar 21"	Remain		21'	Max. 10'
T16	Cedar 20"	Remove		20'	Max. 10'
T17	Cedar 20"	Remove	Exempt	20'	Max. 10'
T18	Magnolia 26"	Remove	Exempt	26'	Max. 10'
T19	Magnolia 25"	Remove	Exempt	25'	Max. 10'
T20	Oak 45"	Remove	Exempt	45'	Max. 10'
T21	Oak 43"	Remove	Exempt	43'	Max. 10'
T22	Oak 44"	Remove	Exempt	44'	Max. 10'
T23	Oak 30"	Remove	Exempt	30'	Max. 10'
T24	Misc. 13"	Remove	Exempt	13'	Max. 6.5'
T25	Oak 69"	Remain		69'	Max. 10'
T26	Oak 40"	Remain		40'	Max. 10'
T27	Oak 23"	Remain		23'	Max. 10'
T28	Oak 58"	Remain		58'	Max. 10'
T29	Oak 44"	Remain		44'	Max. 10'
T30	Oak 40"	Remove		40'	Max. 10'
T31	Oak 42"	Remain		42'	Max. 10'
T32	Oak 55"	Remain		55'	Max. 10'

Total Removal - 306" DBH*, Total Removal Non-Exempt Trees - 73" DBH*
 Exempt - Tree within playing field
 (NP) - Non-protected Tree
 * - Diameter at Breast Height

ALL MITIGATION TREES SHALL BE CANOPY TREES AND SHALL MEET THE REQUIREMENTS AS PER ESCAMBIA COUNTY FOR TYPE, SIZE, CALIPER, SPACING, ETC.

TOTAL REMOVAL (DBH) = 306 INCHES
 TOTAL REMOVAL (DBH) OF NON-EXEMPT TREES = 60 INCHES

TOTAL TREE REPLACEMENT PER TREE INVENTORY AREA WITHIN THE DEVELOPMENT PARCEL IS 60 CALIPER INCHES. THEREFORE TOTAL REPLACEMENT TREES REQUIRED IS: 60 CALIPER INCHES X 0.50 = 30 CALIPER INCHES.
 REPLACEMENT TREES TO BE 3 INCH CALIPER
 30 CALIPER INCHES / 3 CALIPER INCHES = 10 TREES

MITIGATION TREES REQUIRED: 10 - 3 INCH CALIPER TREES

TOTAL 3 INCH CALIPER TREES REQUIRED MINUS 3 INCH CALIPER TREES TO BE PLANTED X 3 INCH / 2.5 CALIPER INCHES X \$350 = FEE TO BE PAID INTO TREE RESTORATION FUND.

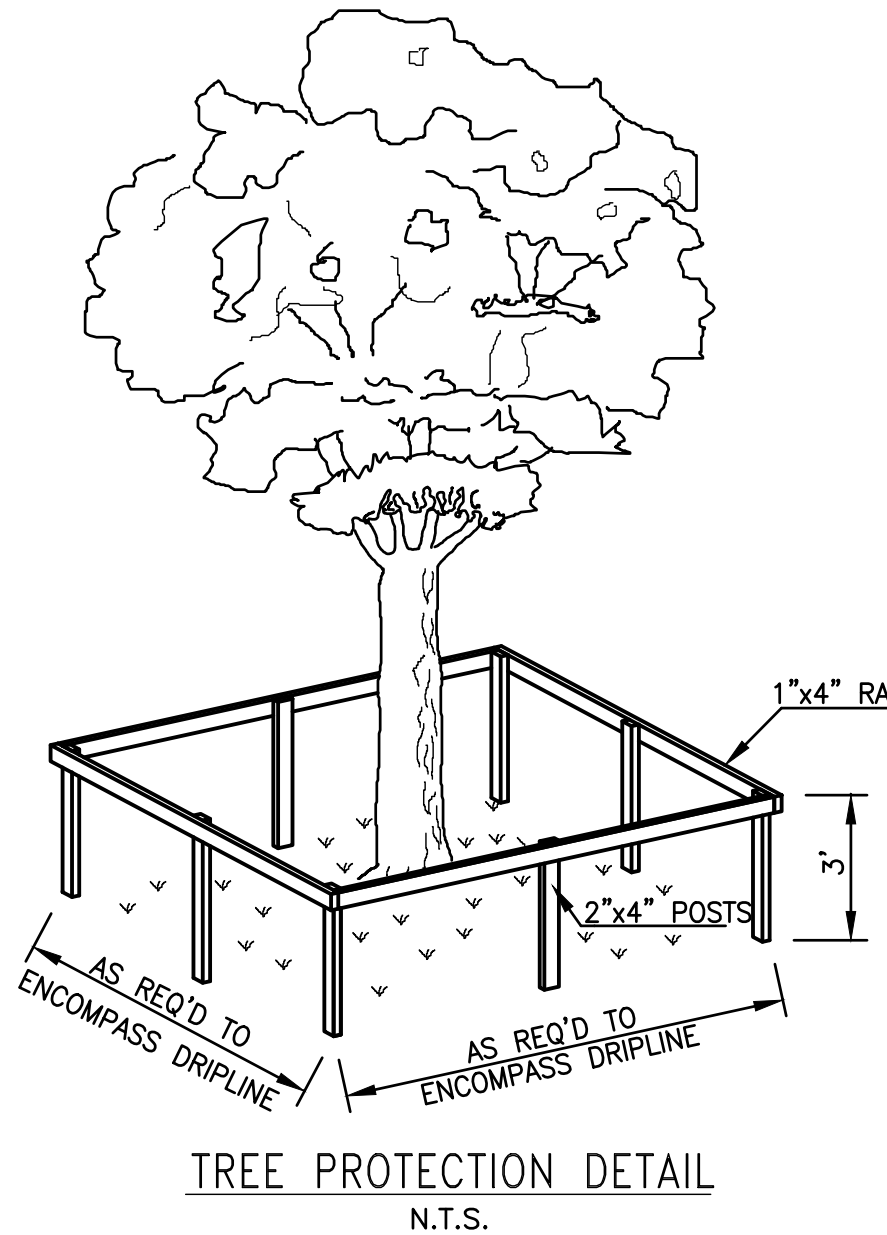
10-0=10
 CALIPER INCHES OF UNPLANTED TREES 10X3=30 CALIPER INCHES.
 30 CALIPER INCHES DIVIDED BY 2.5 CALIPER INCHES = 12 TREES

12 UNPLANTED TREES AT \$350 PER TREE = \$4200.00

NOTE:
 IF 3" CALIPER TREES ARE UNAVAILABLE AT TIME OF PLANTING, THEN TREES SHALL BE A MINIMUM OF 2.5 INCH CALIPER.

TREE PROTECTION NOTES:

- DURING DEVELOPMENT ACTIVITIES, PROTECTED TREES SHALL BE PROTECTED FROM ACTIVITIES WHICH MAY INJURE OR KILL THEM.
- THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH 1 INCH OF TRUNK DIAMETER (DBH).
- THE STRUCTURAL ROOT PLATE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE-HALF FOOT FOR EACH INCH OF TRUNK DIAMETER (DBH), BUT NO LESS THAN SIX FEET AND NO MORE THAN TEN FEET.
- THE CRITICAL ROOT ZONE IS, AND WILL REMAIN, SUBSTANTIALLY UNDISTURBED. ALTHOUGH AN UNDISTURBED CIRCULAR AREA CENTERED ON THE TREE GENERALLY ASSURES LESS CRITICAL ROOT LOSS, MODIFICATIONS TO CRZ PERIMETERS RESULTING IN NON-CENTRIC, IRREGULAR, AND/OR SMALLER AREAS ARE ACCEPTABLE FOR TREE PRESERVATION IF EITHER OF THE FOLLOWING CONDITIONS ARE MET:
 - MAXIMUM DISTURBANCE. THE MODIFIED ROOT ZONE INCLUDES AT LEAST 50 PERCENT OF THE CONCENTRIC CRZ, CONTAINS NO LESS TOTAL CONTIGUOUS AREA THAN THE CONCENTRIC CRZ, AND INCLUDES NO DISTURBANCE OR ENCROACHMENTS BY IMPROVEMENTS WITHIN THE STRUCTURAL ROOT PLATE AREA.
 - EXISTING CONDITIONS. THE TREE HAS DEMONSTRATED LONG-TERM VIABILITY WITHIN THE SAME SUB-STANDARD ROOT ZONE AND THAT AREA WILL NOT BE FURTHER REDUCED OR ADVERSELY IMPACTED. IN SOME CASES A CERTIFIED ARBORIST MAY BE REQUIRED TO DELINEATE THE FUNCTIONING ROOT ZONE AND CONFIRM AVOIDANCE OF FURTHER IMPACTS.
- NO MORE THAN 25 PERCENT OF THE CANOPY HAS BEEN OR WILL BE REMOVED AND THE PRUNING IS DONE ACCORDING TO ANSI STANDARDS (A300).
- TREES (AND OTHER VEGETATION) DESIGNATED FOR PRESERVATION ACCORDING TO AN APPROVED SITE DEVELOPMENT PLAN SHALL BE PROTECTED FROM ALL POTENTIALLY HARMFUL ACTIVITY DURING DEVELOPMENT BY THE TEMPORARY INSTALLATION OF PROTECTIVE BARRIERS.
- BARRIERS SHALL BE CONSTRUCTED OF CHAIN LINK FENCE, ORANGE LAMINATED PLASTIC FENCING, OR WOOD POSTS AND RAILS, CONSISTENT WITH PROFESSIONAL ARBORICULTURAL PRACTICES, AND SHALL BE INSTALLED ALONG THE PERIMETER OF ALL REQUIRED PRESERVE AREAS PRIOR TO ANY LAND CLEARING, DEMOLITION, GRADING, OR CONSTRUCTION.
- NO POTENTIALLY HARMFUL ACTIVITY SHALL TAKE PLACE WITHIN THE PROTECTIVE BARRIER. HARMFUL ACTIVITIES INCLUDE BUT NOT LIMITED TO GRADE CHANGE, TRENCHING, COMPACTION, GRUBBING OR ROOT RAKING. ACTIVITIES WITHIN BARRIERS OR CHANGES IN BARRIER LOCATION SHALL BE SPECIFICALLY APPROVED BY THE COUNTY.
- ALL TREES TO BE PROTECTED SHALL BE PROTECTED BY MEANS OF A PHYSICAL BARRIER WHICH WILL LIMIT ACCESS TO SAID TREE. SAID PROTECTIVE BARRIER SHALL BE COMPOSED OF WOOD OR OTHER SUITABLE MATERIALS WHICH ASSURE COMPLIANCE WITH THE INTENT OF THIS ORDINANCE. SAID PROTECTIVE BARRIERS, WHERE REQUIRED, SHALL REMAIN UNTIL SUCH TIME AS CONSTRUCTION IS COMPLETE. ALSO, DURING CONSTRUCTION, NO ATTACHMENTS OR WIRES SHALL BE ATTACHED TO ANY PROTECTED TREE. BARRIERS WILL BE REQUIRED FOR ALL TREES BEING PROTECTED.
- ROAD RIGHT-OF-WAYS, UTILITY EASEMENTS, ETC. THESE AREAS MAY BE RIBBONED OFF BY PLACING STAKES A MAXIMUM OF FIFTY (50) FEET APART AND TAPING RIBBON, PLASTIC TAPE, ROPE, ETC... FROM STAKE TO STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS TO BE CLEARED.
- LARGE PROPERTY AREAS SEPARATE FROM THE CONSTRUCTION OR LAND CLEARING AREA INTO WHICH NO EQUIPMENT WILL VENTURE MAY ALSO BE RIBBONED OFF.



TREE PROTECTION DETAIL
N.T.S.

NO. DATE REVISIONS

1
2
3
4
5
6

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 No. 40149
 KENNETH C. HORNE
 FL. P.E. 40149

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Kenneth Horne & Associates, Inc.
 CIVIL ENGINEERS
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 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-9005 info@kh-a.com FAX (850) 471-0093
 FL. CERTIFICATE OF AUTHORIZATION NO. 8298

PENSACOLA CHRISTIAN COLLEGE
 WEST FIELD
TREE REMOVAL PLAN
 ESCAMBIA FLORIDA

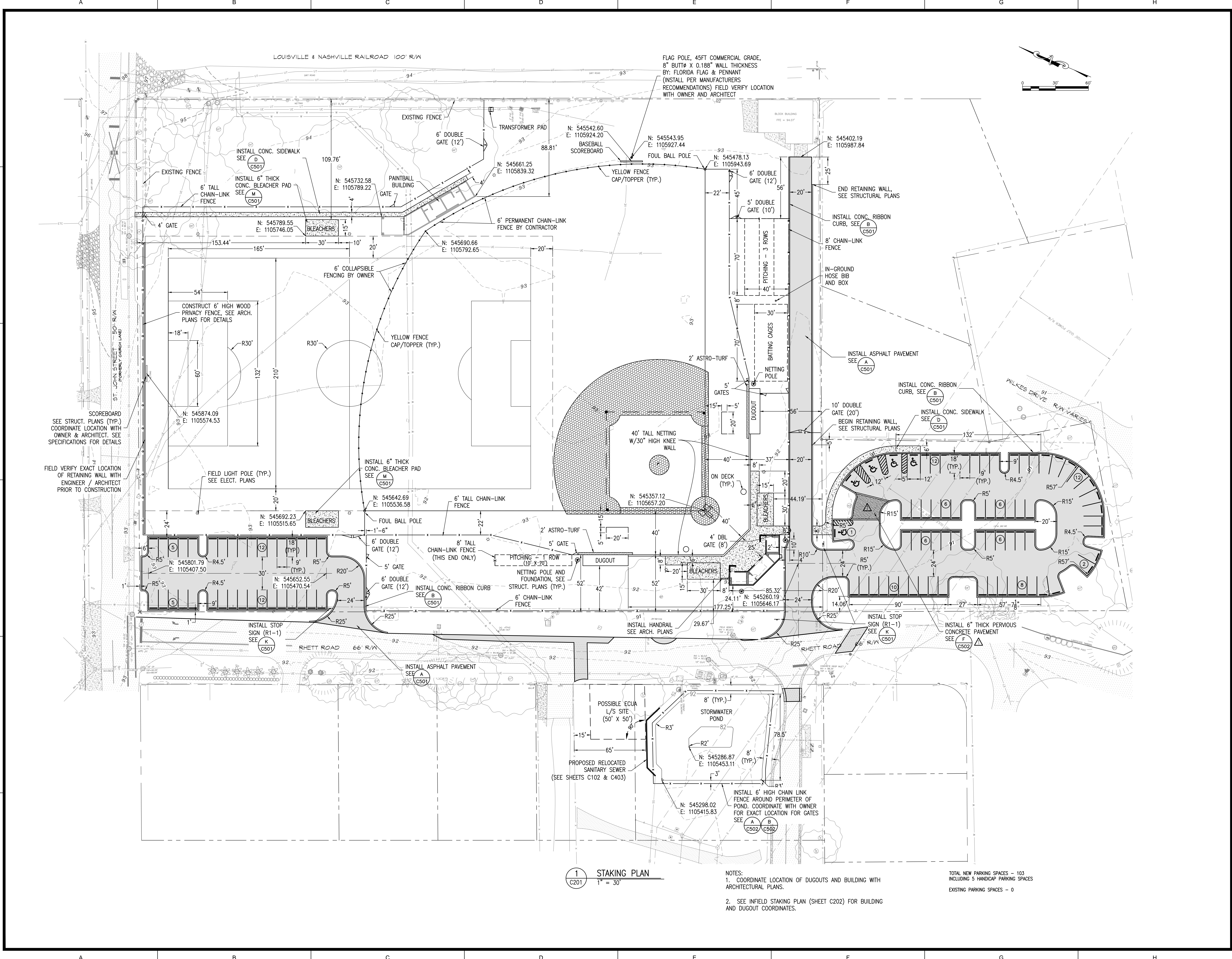
PROJECT NO. 2016-67
C103
 SHEET: 6 OF 19

DRAWN BY: PLC
 DESIGNED BY: GMS
 CHECKED BY: KCH
 DATE: 5/25/17
 SCALE: 1" = 30'
 NOT FOR CONSTRUCTION
 BY: SAEL

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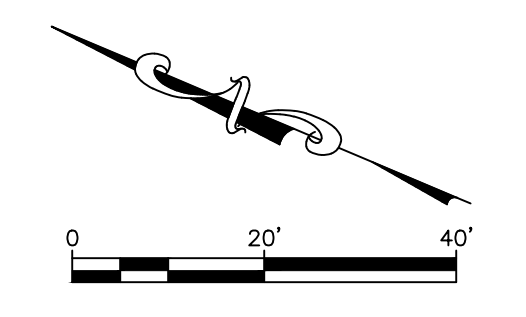
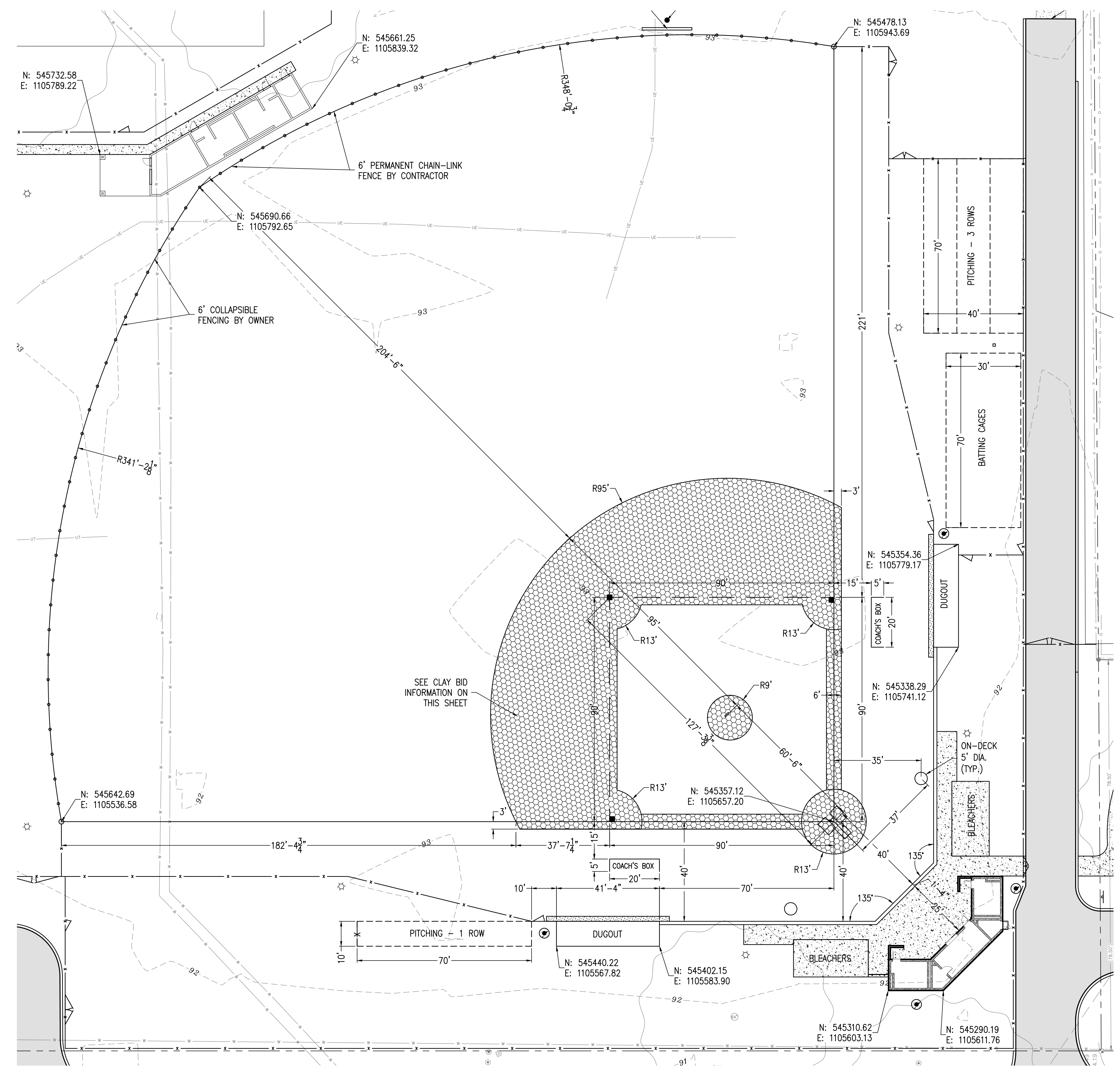
1 STAKING PLAN
1" = 30'

NOTES:
1. COORDINATE LOCATION OF DUGOUTS AND BUILDING WITH ARCHITECTURAL PLANS.
2. SEE INFIELD STAKING PLAN (SHEET C202) FOR BUILDING AND DUGOUT COORDINATES.

TOTAL NEW PARKING SPACES - 103
INCLUDING 5 HANDICAP PARKING SPACES
EXISTING PARKING SPACES - 0

REVISIONS NO. DATE DESCRIPTION 1 11/14/17 REVISION 1	
KENNETH C. HORNE LICENSE NO. 40149 STATE OF FLORIDA PROFESSIONAL ENGINEER	
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS P.O. BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-1905 info@kha.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8288	
PENSACOLA CHRISTIAN COLLEGE WEST FIELD STAKING PLAN FLORIDA ESCAMBIA	
DRAWN BY: RLC DESIGNED BY: GMS CHECKED BY: KCH DATE: 5/23/17 SCALE: 1" = 30' NOT FOR CONSTRUCTION BY: DATE:	PROJECT NO.: 2016-67 SHEET: 6 OF 19

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NOTES:

- 1.) FIELD VERIFY LAYOUT WITH OWNER PRIOR TO COMMENCING CONSTRUCTION.
- 2.) SURVEYOR TO VERIFY LAYOUT OF INFIELD, INCLUDING PITCHER'S MOUND, HOME PLATE AND BASES. SHOULD LAYOUT BE INCORRECT, CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING LAYOUT AT HIS OWN EXPENSE.
- 3.) ALL FENCING AROUND BALL FIELD SHALL HAVE A YELLOW PVC CAP FITTED TO THE TOP OF POST.
- 4.) PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO PROVIDE SAMPLE OF SOIL MATERIAL TO BE USED ON INFIELD TO PSI, SUFFICIENT FOR TESTING TO CONFIRM SAME MEETS SPECIFICATIONS. FIELD SAMPLES WILL BE TAKEN BY PSI DURING CONSTRUCTION. SHOULD MATERIAL FAIL TO MEET SPECIFICATIONS, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE ALL MATERIAL NOT CONFORMING TO SPECIFICATIONS AND REPLACE WITH PROPER MATERIAL AT HIS OWN EXPENSE.
- 5.) SEE SHEET C203 FOR DETAILS AND FOR INSTALLATION INSTRUCTIONS FOR BATTER'S & CATCHER'S BOXES AND PITCHER'S MOUND.

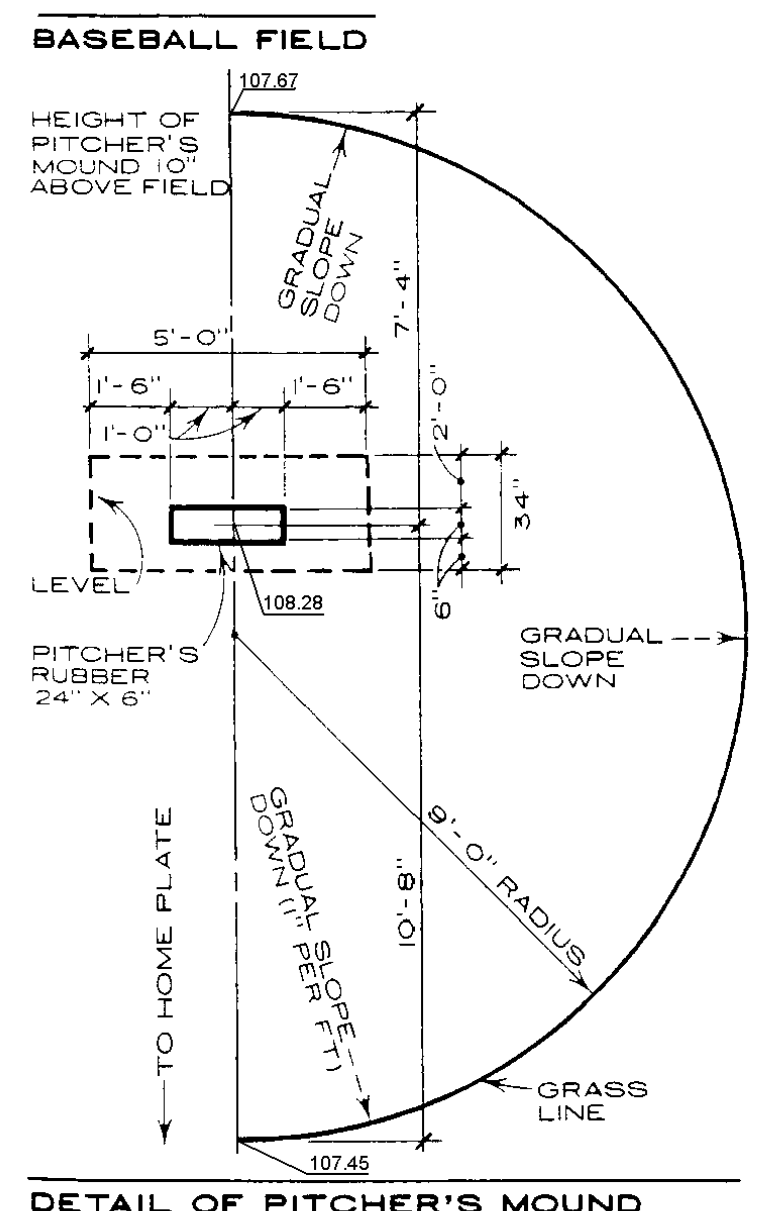
CLAY BID INFORMATION

BASE BID
 6" THICK SAND-CLAY (SEE SPECIFICATIONS) COMPACTED TO 100% OF A STANDARD PROCTOR WITH CRIMSON STONE ULTIMATE I ADDITIVE OR APPROVED EQUAL. (ADDITIVE AT MANUFACTURER'S RECOMMENDED RATES)

ALT. NO 1
 6" THICK SAND-CLAY (SEE SPECIFICATIONS) COMPACTED TO 100% OF A STANDARD PROCTOR WITH DIAMOND PRO ADDITIVE OR APPROVED EQUAL. (ADDITIVE AT MANUFACTURER'S RECOMMENDED RATES)

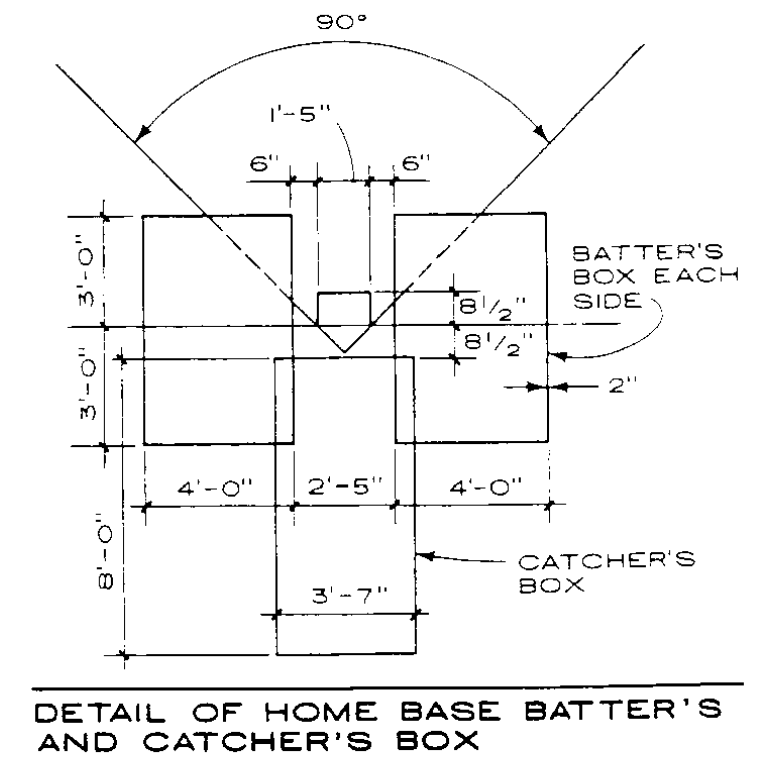
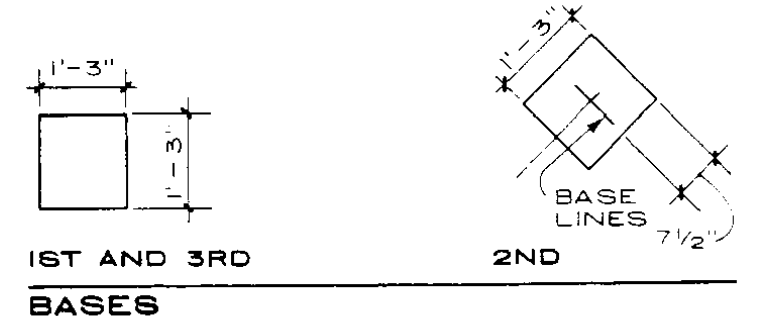
1
 C202 INFIELD STAKING PLAN
 1" = 20'

	REVISIONS						
NO.	DATE						
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS P.O. BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8288 KENNETH C. HORNE FL PE 40149							
PENSACOLA CHRISTIAN COLLEGE WEST FIELD INFIELD STAKING PLAN ESCAMBIA FLORIDA							
DRAWN BY:	PLC	DESIGNED BY:	GMS	CHECKED BY:	KCH	DATE:	5/25/17
SCALE:	1" = 30'	NOT FOR CONSTRUCTION					
PROJECT NO.:	2016-67	SHEET: 7 OF 19					
C202							

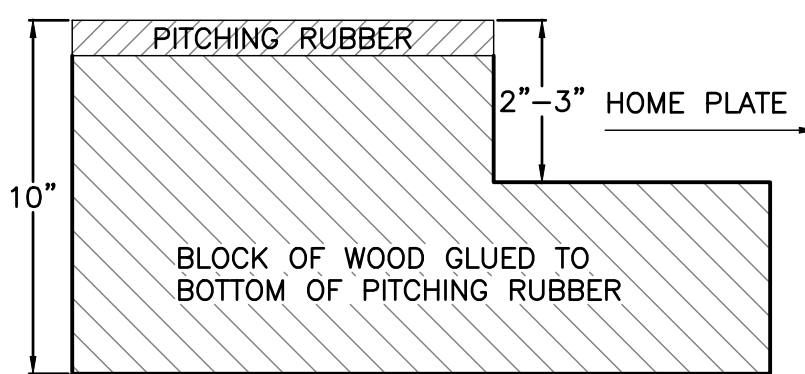
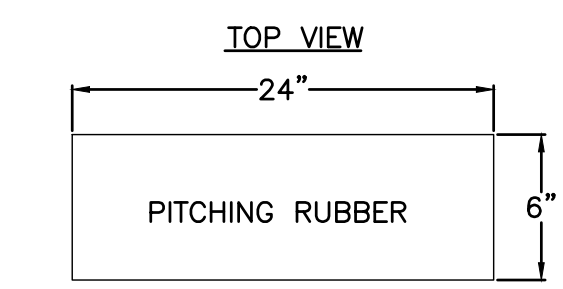


PITCHER'S MOUND DETAIL
N.T.S.

SOIL INFILTRATION MIXTURE: 25% TO 30% CLAY PASSING A 200 SIEVE, 55% TO 65% SAND AND 9% TO 18% SILT. COMPACT TO 100% OF A STANDARD PROCTOR. COMPACTED THICKNESS TO BE 8". ADD TOP DRESSING / ADDITIVES AS PER SUPPLIER / MANUFACTURER RECOMMENDATIONS.



BATTER'S AND CATCHER'S BOX DETAILS
N.T.S.



PITCHING RUBBER DETAIL
N.T.S.

NOTE: OWNER TO SUPPLY BASES, HOME PLATE AND PITCHING RUBBER. CONTRACTOR TO INSTALL.

CATCHER'S & BATTER'S BOX
INSTALLATION INSTRUCTIONS



STEP 1: CAREFULLY MEASURE OUT THE CATCHER'S AND BATTER'S BOX USING THE RECOMMENDED DIMENSIONS.



STEP 2: CUT OUT AND REMOVE ALL LOOSE DIRT FROM THE HIGH STRESS AREA SURROUNDING THE BATTER'S BOX TO A DEPTH OF 3".



STEP 3: PLACE DIAMOND PRO MOUND / HOME PLATE CLAY BRICKS AS EVENLY AND CLOSE TOGETHER AS POSSIBLE.



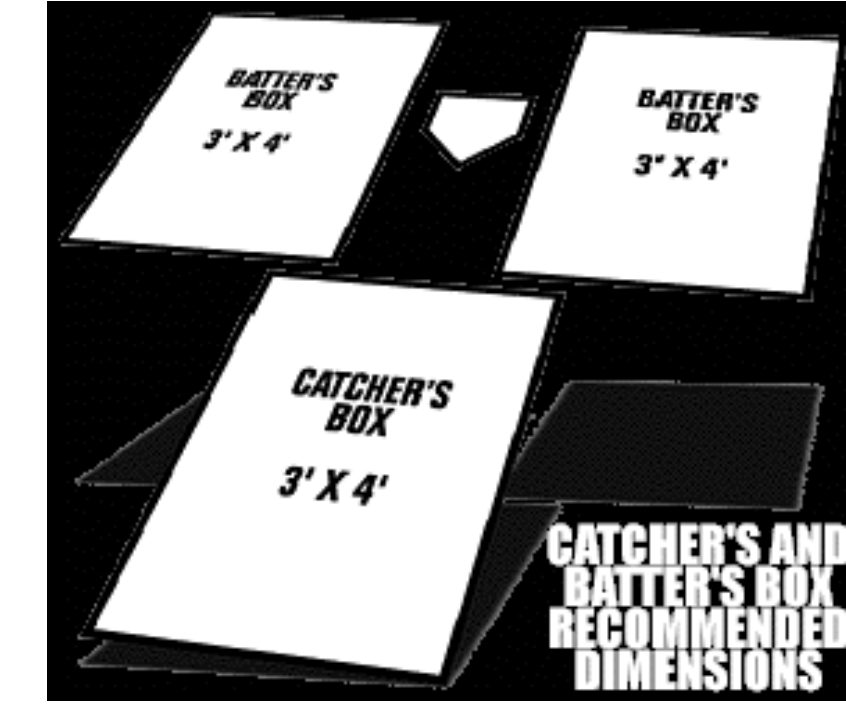
STEP 4: ONCE THE BRICKS HAVE BEEN PLACED, WATER THE CUT AREA. TAMP THE BRICKS INTO PLACE.



STEP 5: FILL IN THE 1/2" REMAINING AREA WITH EITHER THE CUT OUT LOOSE MATERIAL OR WITH DIAMOND PRO MOUND / HOME PLATE CLAY FOR THE IDEAL SURFACE.



STEP 6: LEVEL AND COMPACT THE NEW SURFACE. ADD DIAMOND PRO INFILTRATION CONDITIONER TO THE FINISHED AREA FOR A PROFESSIONAL QUALITY PLAYING SURFACE.



INSTALLATION INSTRUCTIONS CRIMSON STONE INC. ULTIMATE I (INFILTRATION MIX)

I. MATERIAL REQUIREMENTS

A. CRIMSON STONE (ULTIMATE I), APPROX. 15 TONS FOR SOFTBALL, 20 TONS FOR BASEBALL, 10 TONS FOR LITTLE LEAGUE

II. SITE PREPARATION

A. DETERMINE DESIRED MEASUREMENTS OF FIELD.

B. EDGE GRASS AREA OF THE PLAYING FIELD SUCH THAT ALL EDGES ARE CLEAN AND SHARP.

III. INSTALLATION OF CRIMSON STONE ULTIMATE I (800-354-5663)

A. LEVEL ENTIRE SKINNED AREA PRIOR TO INSTALLATION PROCEDURE.

B. NAIL OR BOLT DRAG EXISTING MATERIAL TO A DEPTH OF 1 1/2"

C. USING A TOP DRESSER OR BOX BLADE APPLY AN EVEN LAYER OF ULTIMATE I (APPROX. 3/4") OVER THE ENTIRE SKINNED AREA TO 1/4" OVER GRADE.

D. INCORPORATE ULTIMATE I INTO EXISTING SURFACE USING A NAIL OR BOLT DRAG TO ACHIEVE EVEN CONSISTENCY OF MATERIAL TO A DEPTH OF 1 1/2".

E. SCREEN OR MAT DRAG ENTIRE SURFACE TO SMOOTH THE MATERIAL.

F. WATER DOWN MATERIAL WELL. IF A VERY FIRM SURFACE IS NEEDED IMMEDIATELY, ROLL SKINNED AREA WHILE MATERIAL IS STILL DAMP, OR DO SO AT A LATER TIME IF NEEDED.

PITCHER'S MOUND
INSTALLATION INSTRUCTIONS



STEP 1: CAREFULLY MEASURE OUT THE CATCHER'S AND BATTER'S BOX USING THE RECOMMENDED DIMENSIONS.



STEP 2: CUT OUT AND REMOVE ALL LOOSE DIRT FROM THE HIGH STRESS AREA SURROUNDING THE BATTER'S BOX TO A DEPTH OF 3".



STEP 3: PLACE DIAMOND PRO MOUND / HOME PLATE CLAY BRICKS AS EVENLY AND CLOSE TOGETHER AS POSSIBLE.



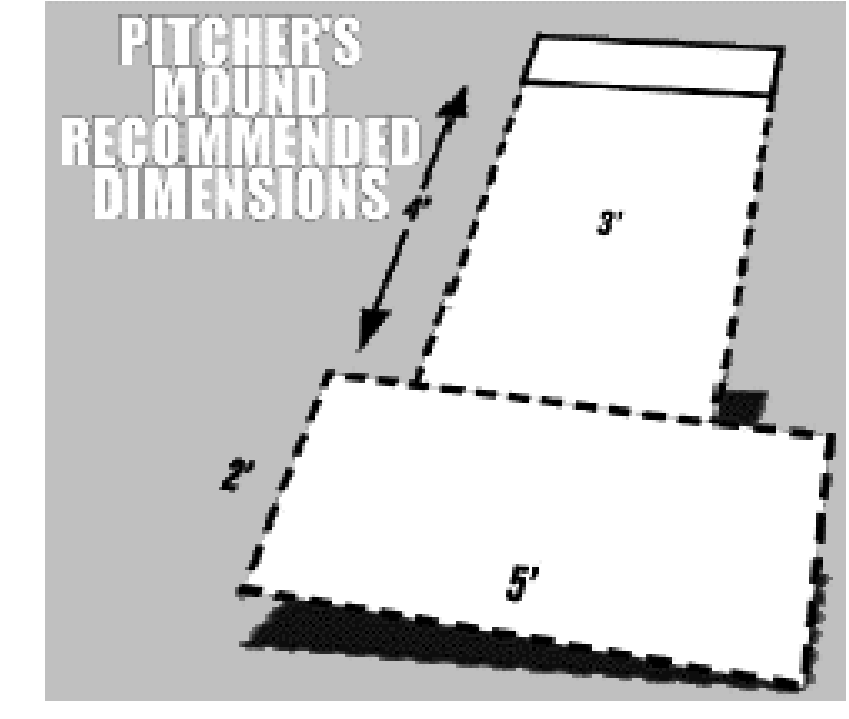
STEP 4: ONCE THE BRICKS HAVE BEEN PLACED, WATER THE CUT AREA. TAMP THE BRICKS INTO PLACE.



STEP 5: FILL IN THE 1/2" REMAINING AREA WITH EITHER THE CUT OUT LOOSE MATERIAL OR WITH DIAMOND PRO MOUND/HOME PLATE CLAY FOR THE IDEAL SURFACE.



STEP 6: LEVEL AND COMPACT THE NEW SURFACE. ADD DIAMOND PRO INFILTRATION CONDITIONER TO THE FINISHED AREA FOR A PROFESSIONAL QUALITY PLAYING SURFACE.



INSTALLATION INSTRUCTIONS CRIMSON STONE INC. MOUND MIX

I. MATERIAL REQUIREMENTS

A. CRIMSON STONE MOUND MIX

II. SITE PREPARATION

A. DETERMINE DESIRED AREAS OF HIGH IMPACT. LANDING AREA IN FRONT OF PITCHING RUBBER, BATTER'S BOXES, AND CATCHER'S BOX.

B. REMOVE THE TOP 4" OF SAND/CLAY MIX FROM THESE AREAS.

III. INSTALLATION OF CRIMSON STONE MOUND MIX (800-354-5663)

A. APPLY WATER TO THE BOTTOM OF THE EXCAVATED AREAS AND LET IT SOAK IN. THIS WILL HELP THE MOUND MIX BOND WITH THE EXISTING SAND/CLAY MIX.

B. APPLY A 2" LAYER OF MOUND MIX TO EACH EXCAVATED AREA AND FIRMLY COMPACT WITH TAMP.

C. LIGHTLY WATER THESE AREAS BEFORE ADDING THE FINAL 2" OF MOUND MIX.

D. AGAIN FIRMLY TAMP AREA TO NEAR GRADE LEVEL.

E. COVER EACH AREA WITH A THIN LAYER OF ULTIMATE I INFILTRATION MATERIAL, AND TAMP AGAIN.

REPAIR

A. SWEEP OUT ANY DIVOTS MADE IN THE MOUND MIX, AND USE A RAKE TO LEVEL OFF ANY HIGH SPOTS.

B. MOISTEN THE AREA TO BE REPAIRED, THEN FILL THE DIVOTS WITH MOUND MIX AND FIRMLY TAMP. WHEN GRADED, COVER WITH A THIN LAYER OF ULTIMATE I INFILTRATION MATERIAL.

* IT IS RECOMMENDED TO LIGHTLY WATER AND COVER THESE AREAS WITH TARPS WHEN NOT IN USE. IF THIS IS NOT POSSIBLE, LIGHTLY WATER OFTEN IF HOT AND DRY CONDITIONS EXIST.

APPROXIMATE NUMBER OF BRICKS NEEDED

PITCHER'S MOUND: 83
BATTER'S BOXES: 216
CATCHER'S BOX: 93
TOTAL BRICKS: 392

AVAILABILITY:
DIAMOND PRO MOUND/HOME PLATE CLAY BRICKS: 300 BRICKS = 1 PALLET
DIAMOND PRO MOUND/HOME PLATE CLAY (50LB.) BAGS = 1 PALLET
DIAMOND PRO MOUND/HOME PLATE CLAY COMBO PALLET: 300 BRICKS PLUS 15 (50LB. BAGS) OF MOUND/HOME PLATE CLAY

NOTE:
BASE BID: CONSTRUCT USING CRIMSON STONE ULTIMATE, MOUND MIX AS PER MANUFACTURER'S RECOMMENDATIONS. PH. 800-354-5663

ALT #1: CONSTRUCT USING DIAMOND PRO BRICKS AND ADDITIVES AS PER MANUFACTURER'S RECOMMENDATION. DISTRIBUTOR TIECO, 850-434-5475 OR 800-228-2987

SUBMIT SPECIFICATIONS AND DETAILS PRIOR TO CONSTRUCTION.

SUGGESTED INSTALLATION METHODS

NOTE: AS CONDITIONS, EQUIPMENT, AND PERSONNEL VARY FROM SITE TO SITE, NO WARRANTY IS IMPLIED OR INTENDED PER THE INSTALLATION INSTRUCTIONS.

NO.	DATE	REVISIONS

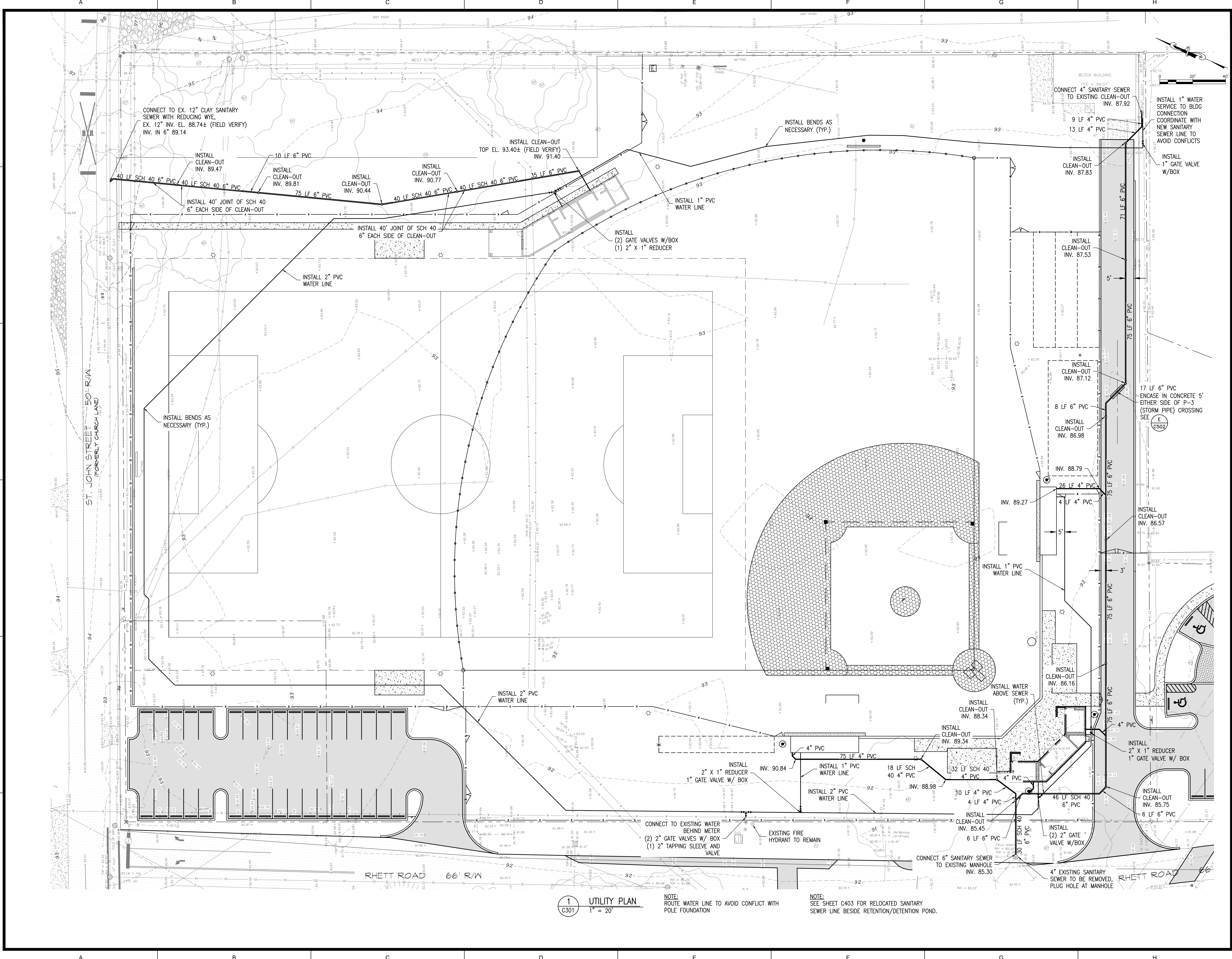
Kenneth C. Horne
FL PE 40149

Kenneth Horne & Associates, Inc.
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(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8288

DRAWN BY: PJC	DESIGNED BY: GMS	CHECKED BY: KCH	DATE: 5/25/17	SCALE: 1" = 30'
PROJECT NO.: 2016-67				
C203				
SHEET: 8 OF 19				

PENSACOLA CHRISTIAN COLLEGE
WEST FIELD
INFILTRATION DETAILS
FLORIDA
ESCAMBA

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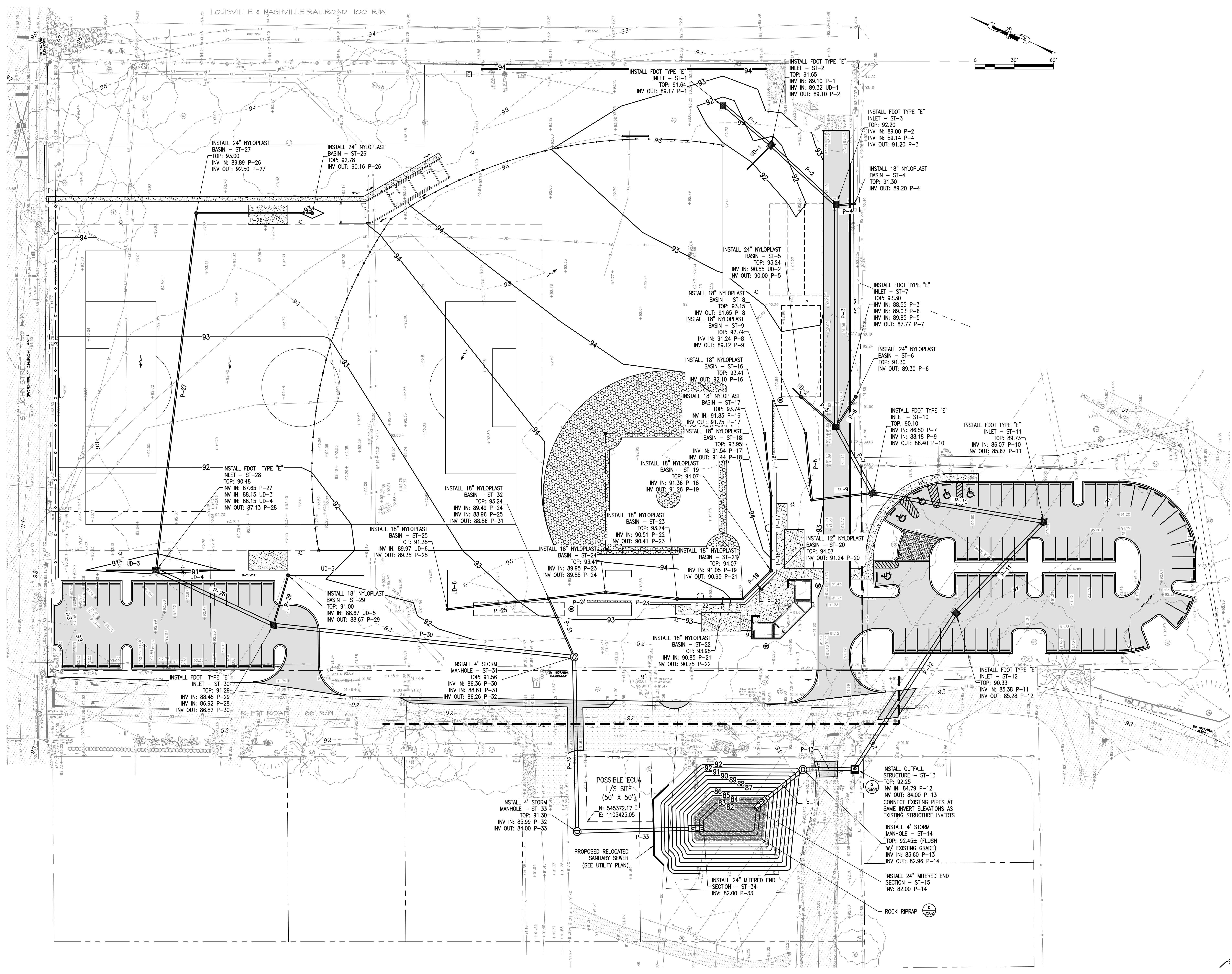


1
C301 UTILITY PLAN
1" = 20'

NOTE:
ROUTE WATER LINE TO AVOID CONFLICT WITH
POLE FOUNDATION

NOTE:
SEE SHEET C403 FOR RELOCATED SANITARY
SEWER LINE BESIDE RETENTION/DETENTION POND.

Kenneth Horne & Associates, Inc. CIVIL ENGINEERS P.O. BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kha.com FAX (850) 471-0093 FL-CERTIFICATE OF AUTHORIZATION NO. 8288	
PENSACOLA CHRISTIAN COLLEGE WEST FIELD UTILITY PLAN ESCAMBIA FLORIDA	
DRAWN BY: PLC DESIGNED BY: GMS CHECKED BY: KCH DATE: 5/29/17 SCALE: 1" = 20' NOT FOR CONSTRUCTION BY: []	PROJECT NO.: 2016-67 C301 SHEET: 9 OF 19



NOTE:
SEE SHEET C002 FOR STORM STRUCTURE TABLE

PIPE NAME	SIZE AND MATERIAL	LENGTH	SLOPE
P-1	18" RCP	48	0.14%
P-2	18" RCP	68	0.15%
P-3	24" RCP	171	1.55%
P-4	12" PVC	14	0.43%
P-5	12" PVC	35	0.42%
P-6	12" RCP	27	1.00%
P-7	24" RCP	58	2.19%
P-8	12" PVC	51	0.80%
P-9	12" PVC	47	2.00%
P-10	24" RCP	133	0.25%
P-11	24" RCP	97	0.30%
P-12	24" RCP	142	0.34%
P-13	24" RCP	40	1.00%
P-14	24" RCP	48	2.00%
P-16	10" PVC	48	0.52%
P-17	10" PVC	42	0.50%
P-18	12" PVC	15	0.52%
P-19	12" PVC	31	0.69%
P-20	4" PVC	5	1.70%
P-21	12" PVC	15	0.65%
P-22	12" PVC	35	0.69%
P-23	12" PVC	55	0.83%
P-24	12" PVC	44	0.83%
P-25	12" PVC	78	0.50%
P-26	12" PVC	89	0.30%
P-27	12" PVC	276	1.76%
P-28	24" RCP	99	0.21%
P-29	10" RCP	40	0.56%
P-30	24" RCP	232	0.20%
P-31	12" PVC	49	0.50%
P-32	24" RCP	134	0.20%
P-33	24" RCP	97	2.06%
UD-1	4" PVC	26	0.65%
UD-2	4" PVC	9	0.22%
UD-3	4" PVC	38	1.29%
UD-4	4" PVC	60	1.00%
UD-5	4" PVC	58	0.50%
UD-6	4" PVC	30	0.20%

1 C401 STORM STRUCTURE PLAN
1" = 30'

NO. DATE REVISIONS

STATE OF FLORIDA PROFESSIONAL ENGINEER

Kenneth C. Hirne
FL. PE. 40149

KH&A Kenneth Hirne & Associates, Inc.
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PO BOX 10669 PENSACOLA FLORIDA 32524
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(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL. CERTIFICATE OF AUTHORIZATION NO. 8288

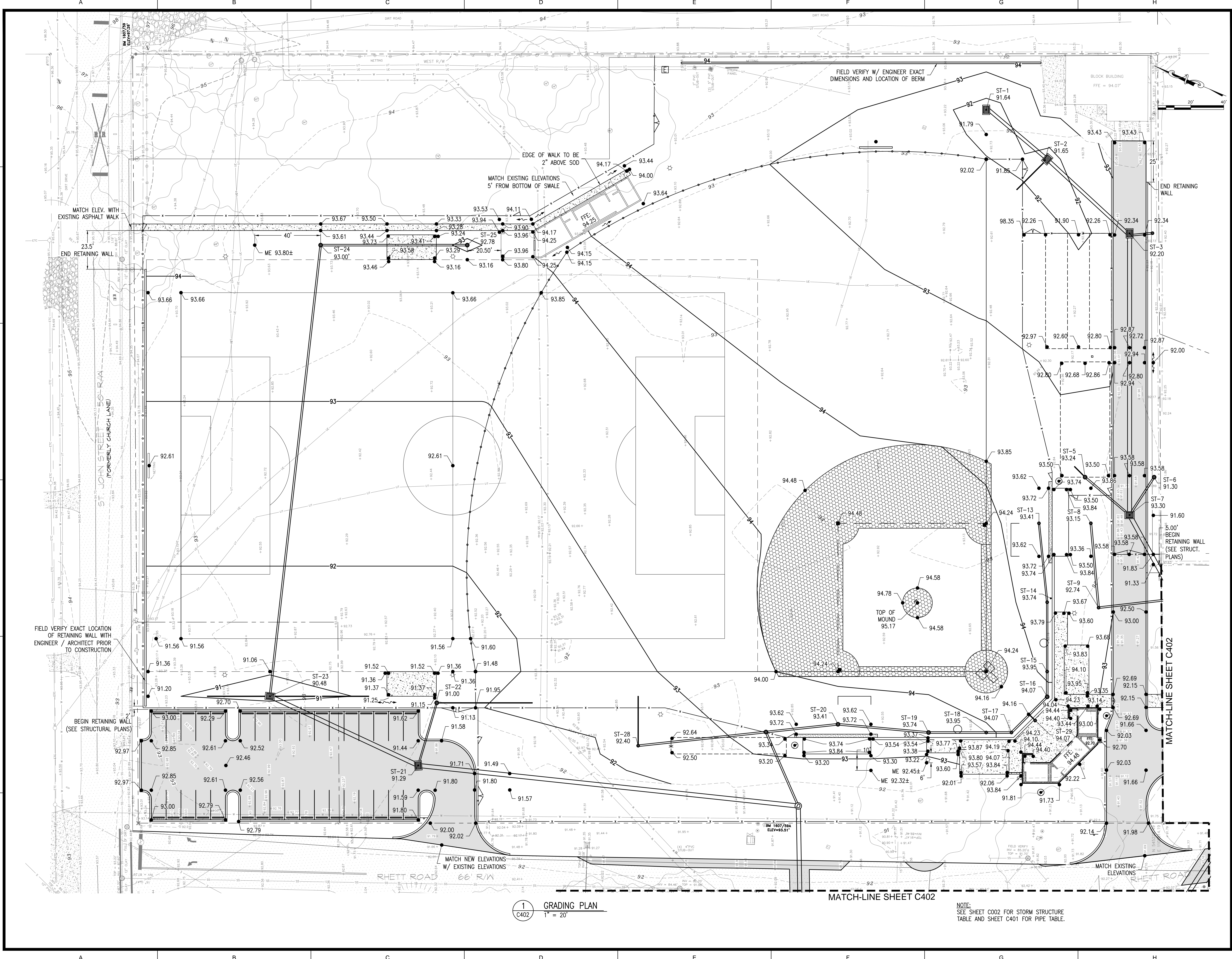
PENSACOLA CHRISTIAN COLLEGE
WEST FIELD
STORM STRUCTURE PLAN
FLORIDA
ESCAMBA

PROJECT NO. 2016-67
C401
SHEET: 10 OF 19

FOR CONSTRUCTION
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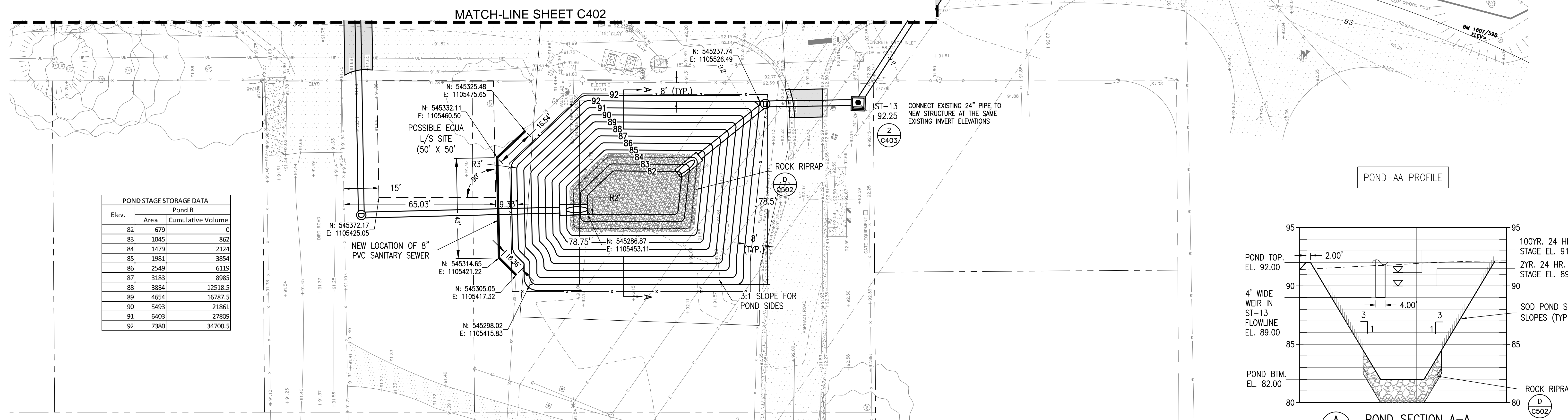
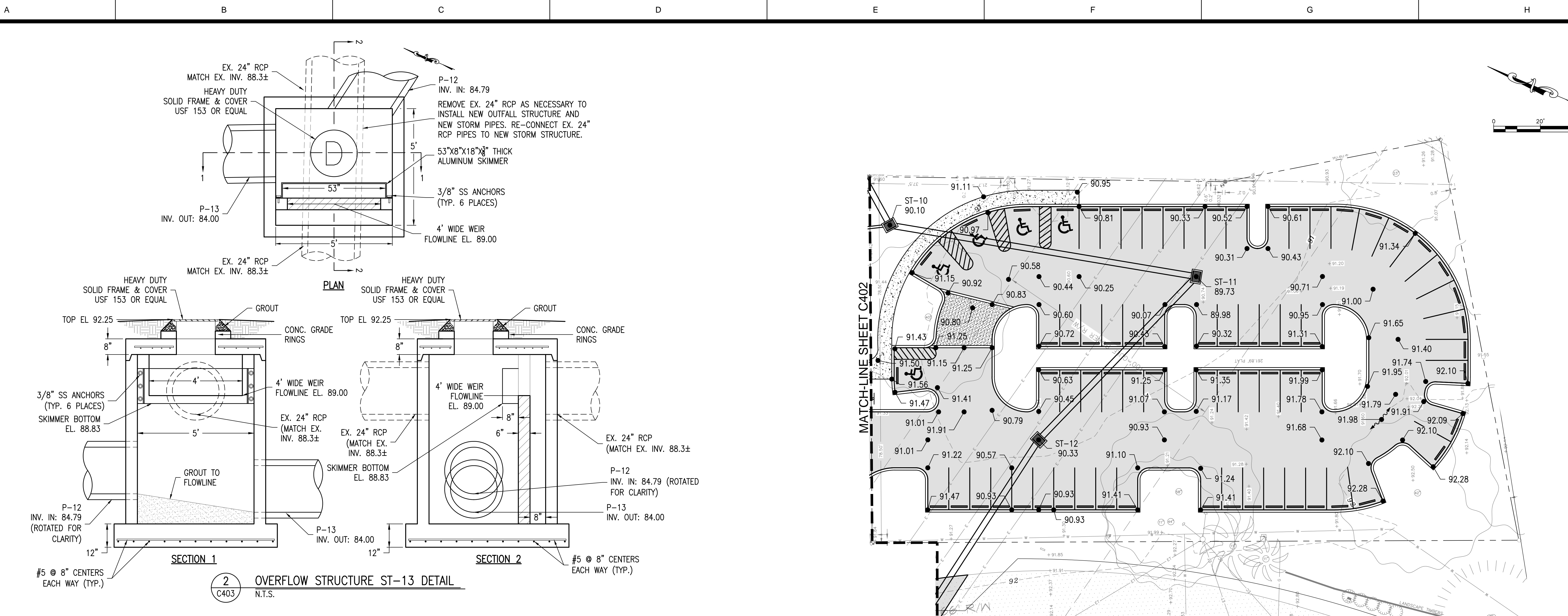


1 GRADING PLAN
C402 1" = 20'

NOTE:
SEE SHEET C002 FOR STORM STRUCTURE
TABLE AND SHEET C401 FOR PIPE TABLE.

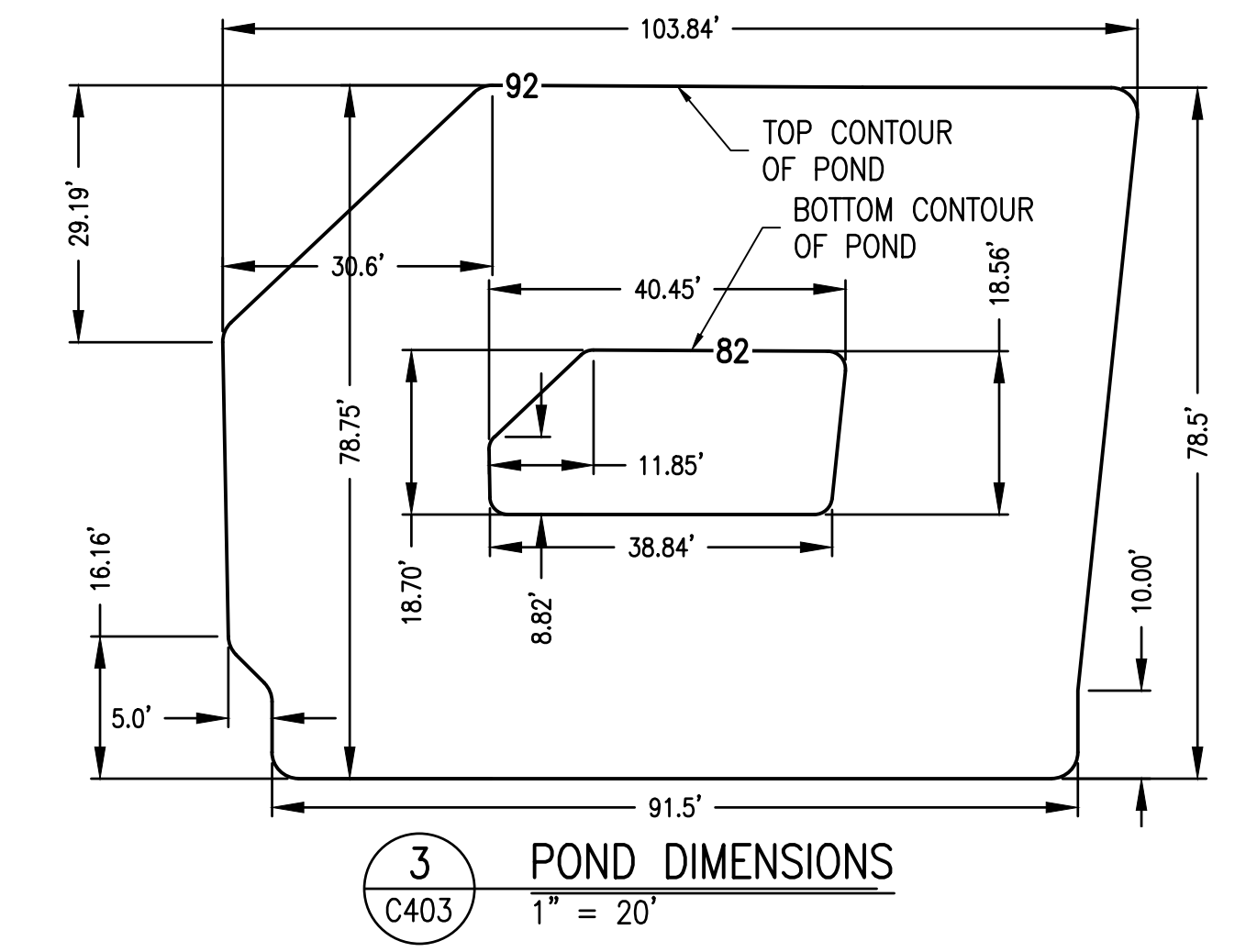
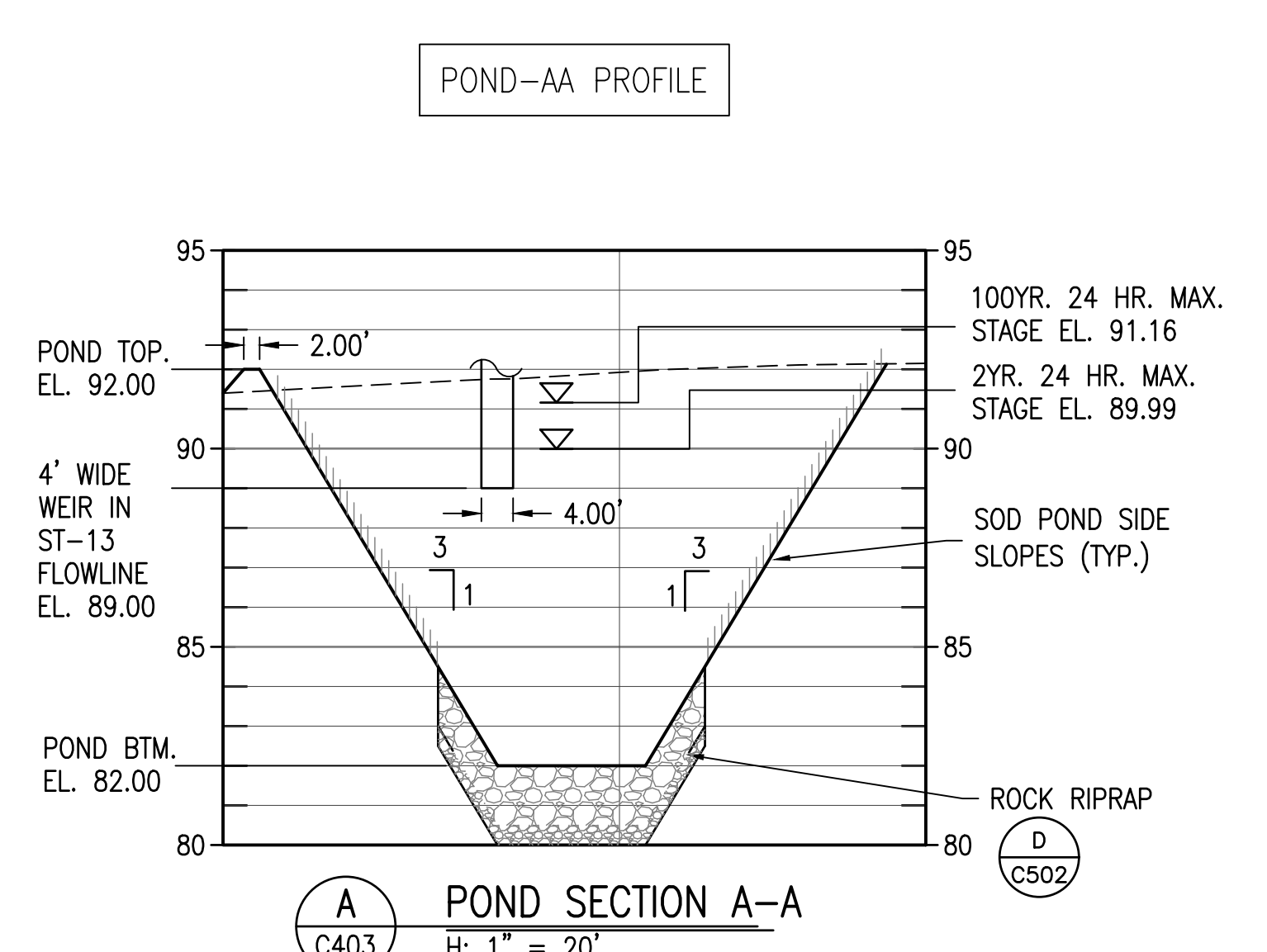
PENNSACOLA CHRISTIAN COLLEGE WEST FIELD GRADING PLAN ESCAMBIA FLORIDA			Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10689, PENSACOLA, FLORIDA 32524 7201 N 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kha.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8288
DRAWN BY: PLC DESIGNED BY: GMS CHECKED BY: KCH DATE: 5/29/17 SCALE: 1" = 20' NOT FOR CONSTRUCTION BY: BABEL	PROJECT NO.: 2016-67 C402 SHEET: 13 OF 19		

S:\Pc Projects\2016-67 E. Bldg Baseball Soccer Field\DWG\DWG\16-67_C403.dwg, Nov 20, 2017 - 10:52:04AM, pascila



POND STAGE STORAGE DATA

Pond B		
Elev.	Area	Cumulative Volume
82	679	0
83	1045	962
84	1479	2124
85	1981	3854
86	2549	6119
87	3183	8985
88	3884	12518.5
89	4654	16787.5
90	5493	21861
91	6403	27809
92	7380	34700.5



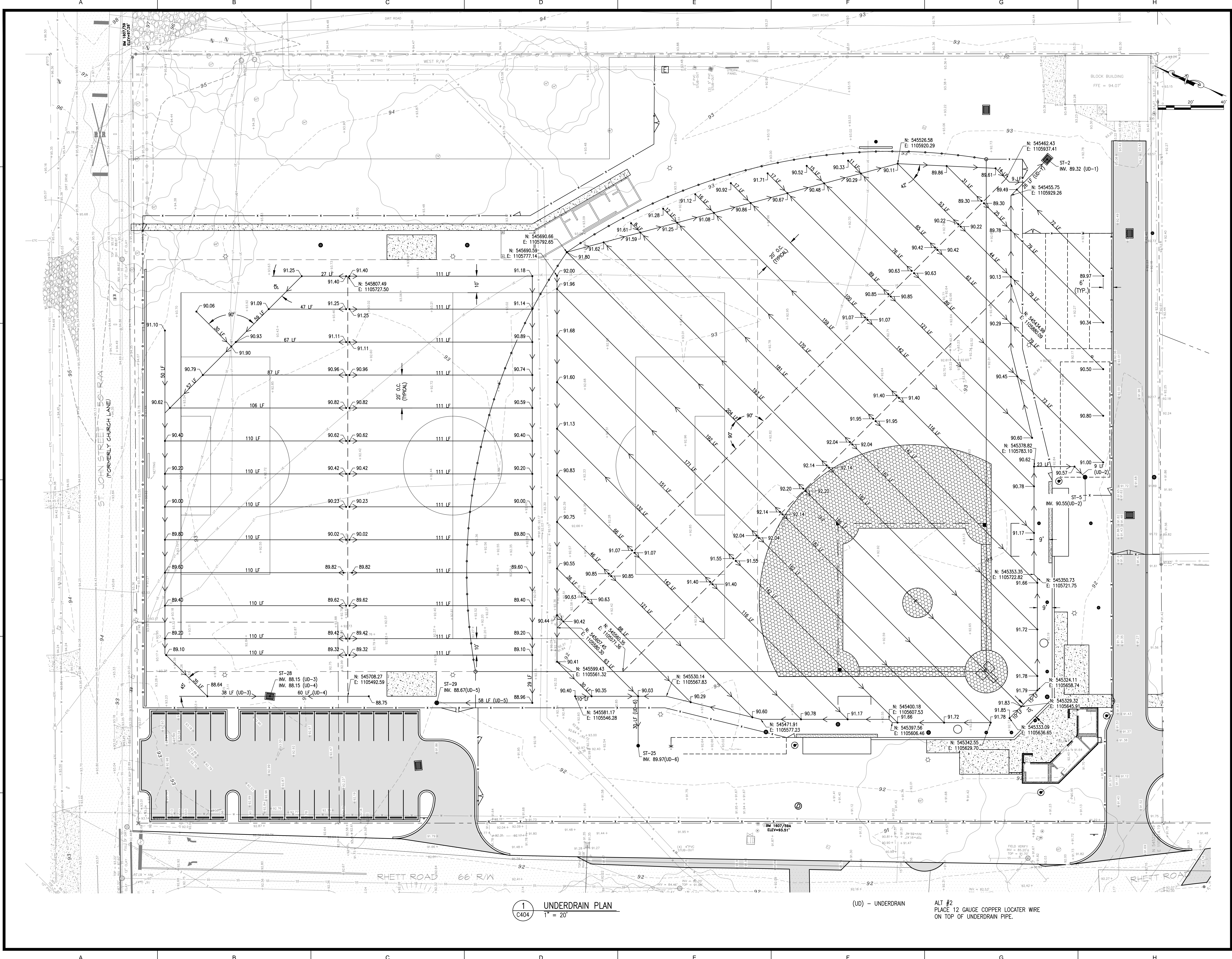
1 GRADING PLAN
1" = 20'

3 POND DIMENSIONS
1" = 20'

NOTE:
SEE SHEET C002 FOR STORM STRUCTURE TABLE AND SHEET C401 FOR PIPE TABLE.

NO. DATE REVISIONS		Kenneth Horne & Associates, Inc. CIVIL ENGINEERS P.O. BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@khp-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 8288
PENSACOLA CHRISTIAN COLLEGE WEST FIELD GRADING PLAN ESCAMBIA FLORIDA		
DRAWN BY: RLC DESIGNED BY: GMS CHECKED BY: KCH DATE: 5/29/17 SCALE: 1" = 20' NOT FOR CONSTRUCTION FOR CONSTRUCTION DATE:	PROJECT NO.: 2016-67 C403	SHEET: 12 OF 19

S:\Pec Projects\2016-17 E Bldg Baseball Soccer Field\DWG\DWG\16-67_C404.dwg, Nov 20, 2017 - 10:52:10AM, pascal



1 UNDERDRAIN PLAN
C404 1" = 20'

(UD) - UNDERDRAIN

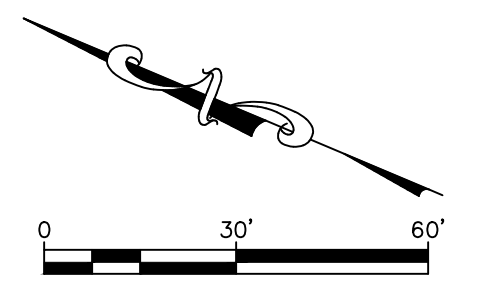
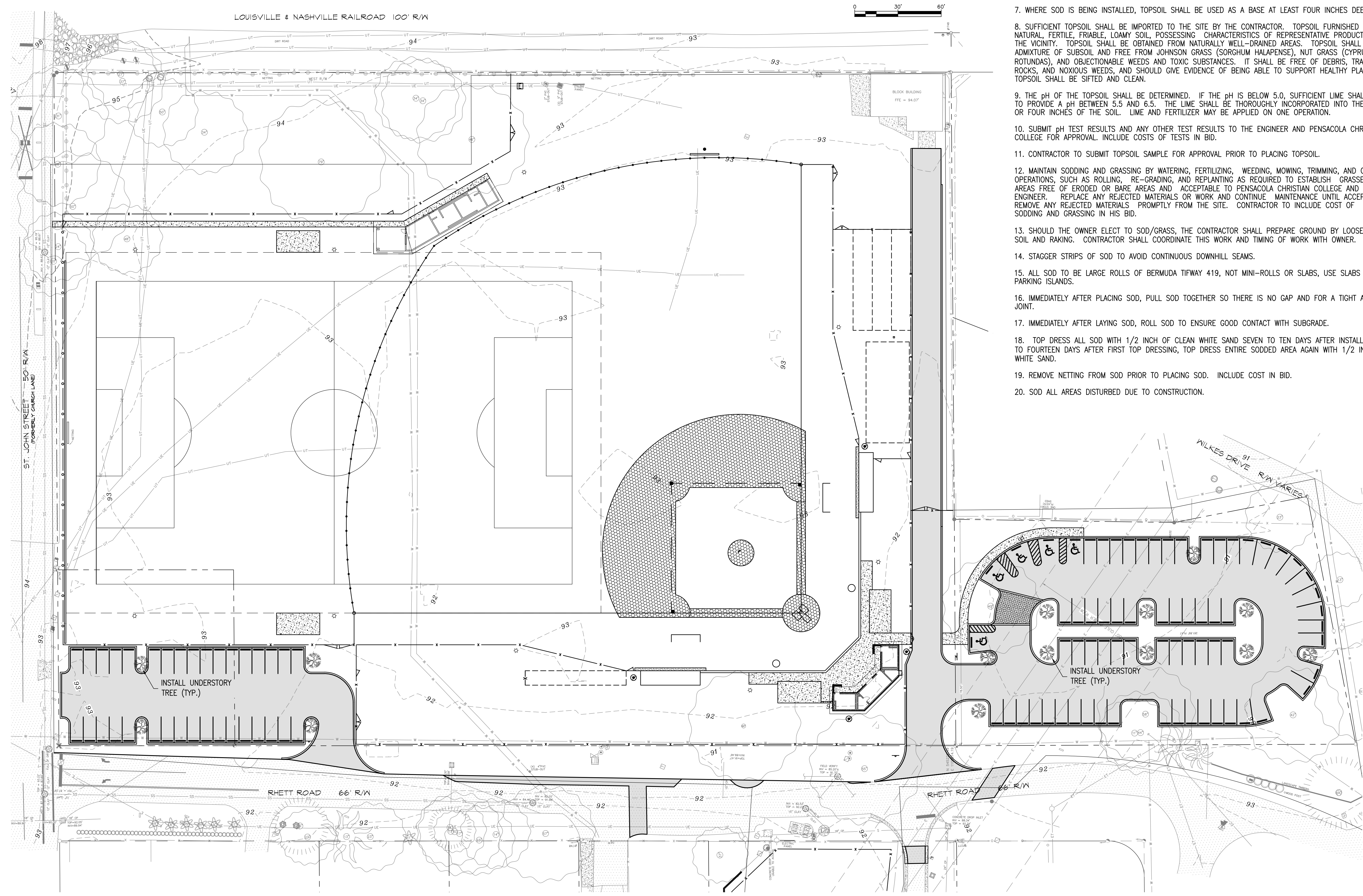
ALT #2
PLACE 12 GAUGE COPPER LOCATOR WIRE
ON TOP OF UNDERDRAIN PIPE.

NO.	DATE	REVISIONS

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10669 PENSACOLA FLORIDA 32524
7201 N 9TH AVENUE SUITE 6 PENSACOLA FLORIDA 32504
(850) 471-9005 info@khp-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8288

PROJECT NO.	2016-67
SHEET:	13 OF 19

S:\Pc Projects\2016-67 E Bldg Baseball Soccer Field\DWG\DWG\16-67_C405.dwg, Nov 20, 2017 - 10:52:30AM, pascola



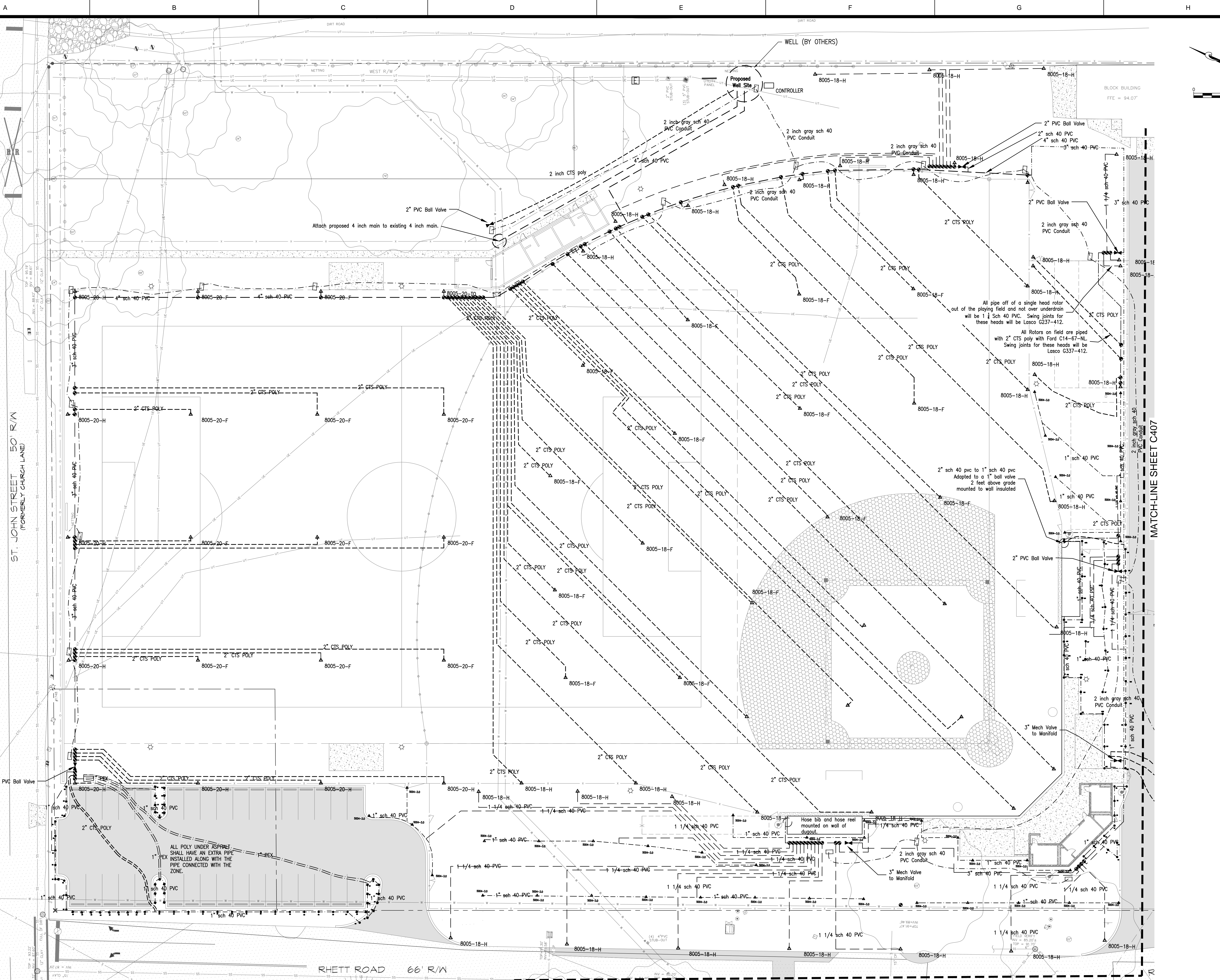
TOPSOIL & SOD NOTES:

1. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENED BY DISKING OR SCARIFYING TO A DEPTH OF A 2 INCHES TO INSURE BONDING OF THE TOPSOIL AND SODDING.
2. TOPSOIL SHALL NOT BE PLACED WHILE IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING.
3. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF FOUR INCHES, EXCEPT OVER UNDERDRAIN.
4. ANY IRREGULARITIES IN THE SURFACE, RESULTING FROM TOP SOILING OR OTHER OPERATIONS, SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
5. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION.
6. THE CONTRACTOR SHALL PREPARE GROUND FOR SOD/GRASSING BY LOOSENING THE SOIL AND RAKING AND AS PER TECHNICAL SPECIFICATIONS. CONTRACTOR SHALL COORDINATE THIS WORK AND TIMING OF WORK WITH OWNER. INCLUDE COST OF SAME IN BID.
7. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST FOUR INCHES DEEP.
8. SUFFICIENT TOPSOIL SHALL BE IMPORTED TO THE SITE BY THE CONTRACTOR. TOPSOIL FURNISHED SHALL BE A NATURAL, FERTILE, FRIABLE, LOAMY SOIL, POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE VICINITY. TOPSOIL SHALL BE OBTAINED FROM NATURALLY WELL-DRAINED AREAS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND FREE FROM JOHNSON GRASS (SORGHUM HALAPENSE), NUT GRASS (CYPRUS ROTUNDUS), AND OBJECTIONABLE WEEDS AND TOXIC SUBSTANCES. IT SHALL BE FREE OF DEBRIS, TRASH STUMPS, ROCKS, AND NOXIOUS WEEDS, AND SHOULD GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY PLANT GROWTH. TOPSOIL SHALL BE SIFTED AND CLEAN.
9. THE pH OF THE TOPSOIL SHALL BE DETERMINED. IF THE pH IS BELOW 5.0, SUFFICIENT LIME SHALL BE ADDED TO PROVIDE A pH BETWEEN 5.5 AND 6.5. THE LIME SHALL BE THOROUGHLY INCORPORATED INTO THE TOP THREE OR FOUR INCHES OF THE SOIL. LIME AND FERTILIZER MAY BE APPLIED ON ONE OPERATION.
10. SUBMIT pH TEST RESULTS AND ANY OTHER TEST RESULTS TO THE ENGINEER AND PENSACOLA CHRISTIAN COLLEGE FOR APPROVAL. INCLUDE COSTS OF TESTS IN BID.
11. CONTRACTOR TO SUBMIT TOPSOIL SAMPLE FOR APPROVAL PRIOR TO PLACING TOPSOIL.
12. MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS, SUCH AS ROLLING, RE-GRADING, AND REPLANTING AS REQUIRED TO ESTABLISH GRASSES/SODDED AREAS FREE OF ERODED OR BARE AREAS AND ACCEPTABLE TO PENSACOLA CHRISTIAN COLLEGE AND THE ENGINEER. REPLACE ANY REJECTED MATERIALS OR WORK AND CONTINUE MAINTENANCE UNTIL ACCEPTED. REMOVE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN HIS BID.
13. SHOULD THE OWNER ELECT TO SOD/GRASS, THE CONTRACTOR SHALL PREPARE GROUND BY LOOSENING THE SOIL AND RAKING. CONTRACTOR SHALL COORDINATE THIS WORK AND TIMING OF WORK WITH OWNER.
14. STAGGER STRIPS OF SOD TO AVOID CONTINUOUS DOWNHILL SEAMS.
15. ALL SOD TO BE LARGE ROLLS OF BERMUDA TIFWAY 419, NOT MINI-ROLLS OR SLABS, USE SLABS ONLY IN PARKING ISLANDS.
16. IMMEDIATELY AFTER PLACING SOD, PULL SOD TOGETHER SO THERE IS NO GAP AND FOR A TIGHT AND SMOOTH JOINT.
17. IMMEDIATELY AFTER LAYING SOD, ROLL SOD TO ENSURE GOOD CONTACT WITH SUBGRADE.
18. TOP DRESS ALL SOD WITH 1/2 INCH OF CLEAN WHITE SAND SEVEN TO TEN DAYS AFTER INSTALLATION. TEN TO FOURTEEN DAYS AFTER FIRST TOP DRESSING, TOP DRESS ENTIRE SODDED AREA AGAIN WITH 1/2 INCH CLEAN WHITE SAND.
19. REMOVE NETTING FROM SOD PRIOR TO PLACING SOD. INCLUDE COST IN BID.
20. SOD ALL AREAS DISTURBED DUE TO CONSTRUCTION.

1
C405 **LANDSCAPE PLAN**
1" = 30'

	REVISIONS						
NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS P.O. BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8228							
PENSACOLA CHRISTIAN COLLEGE WEST FIELD LANDSCAPE PLAN				FLORIDA ESCAMBIA			
DRAWN BY: PJC	DESIGNED BY: GMS	CHECKED BY: KCH	DATE: 5/23/17	SCALE: 1" = 30'	NOT FOR CONSTRUCTION		
PROJECT NO.: 2016-67				SHEET: 14 OF 19			

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ST. JOHN STREET 50' R/W
(FORMERLY CHURCH LANE)

RHETT ROAD 66' R/W

MATCH-LINE SHEET C407

1 IRRIGATION PLAN
C406 1" = 20'

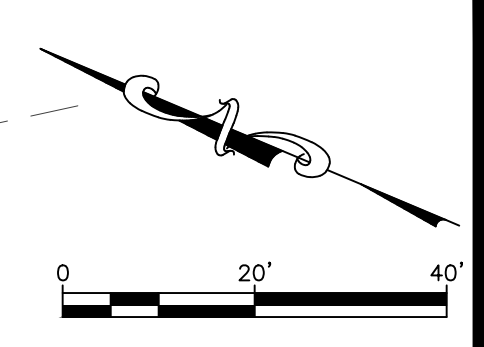
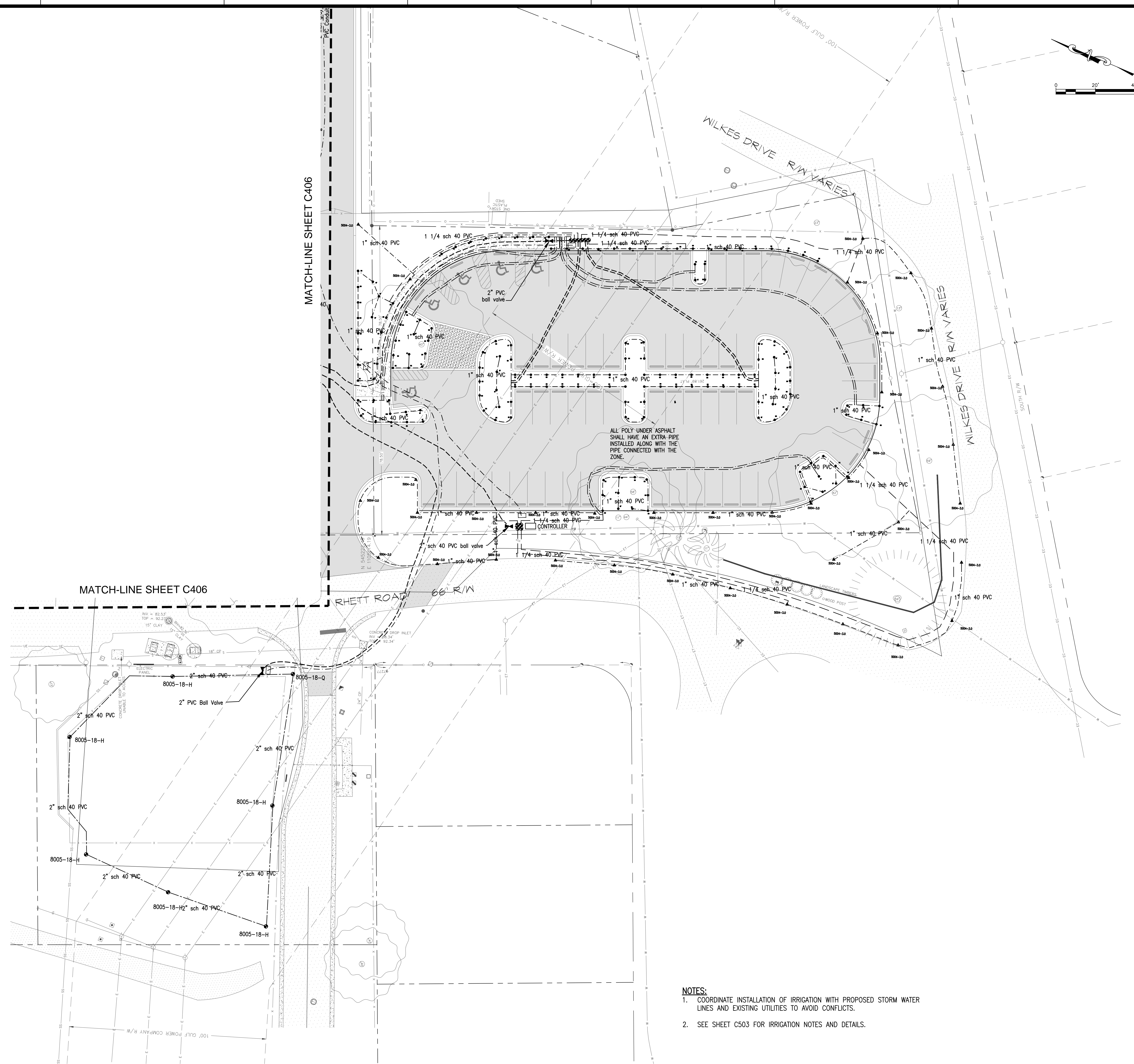
MATCH-LINE SHEET C407

- NOTES:
- COORDINATE INSTALLATION OF IRRIGATION WITH PROPOSED STORM WATER LINES AND EXISTING UTILITIES TO AVOID CONFLICTS.
 - SEE SHEET C503 FOR IRRIGATION NOTES AND DETAILS.

IRRIGATION PLAN
PROVIDED BY PCC

NO. DATE		REVISIONS	
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS P.O. BOX 10689, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@khp-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8288			
DRAWN BY: CT		DESIGNED BY: CT	
CHECKED BY: CT		DATE: 5/29/17	
SCALE: 1" = 20'		NOT FOR CONSTRUCTION	
PROJECT NO.: 2016-67		SHEET: 15 OF 19	
C406		PENSACOLA CHRISTIAN COLLEGE WEST FIELD IRRIGATION PLAN FLORIDA ESCAMBIA	

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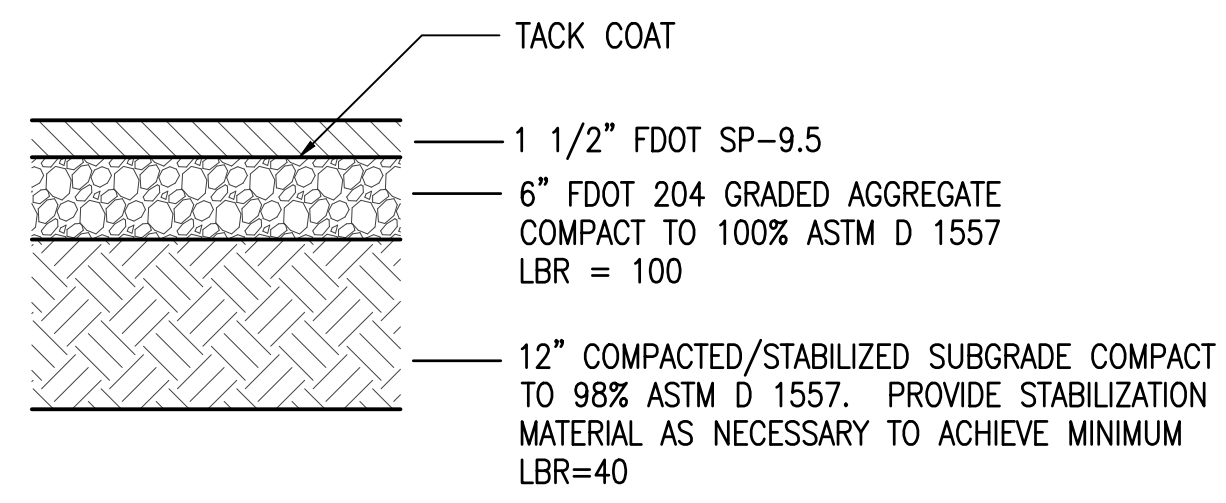


- NOTES:**
- COORDINATE INSTALLATION OF IRRIGATION WITH PROPOSED STORM WATER LINES AND EXISTING UTILITIES TO AVOID CONFLICTS.
 - SEE SHEET C503 FOR IRRIGATION NOTES AND DETAILS.

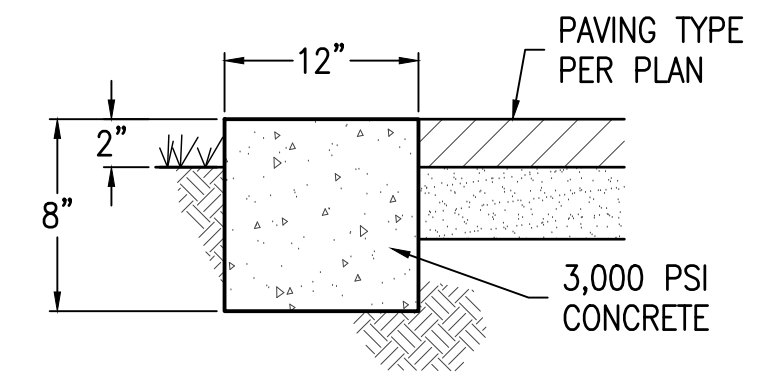
1 IRRIGATION PLAN
C407 1" = 20'

IRRIGATION PLAN
PROVIDED BY PCC

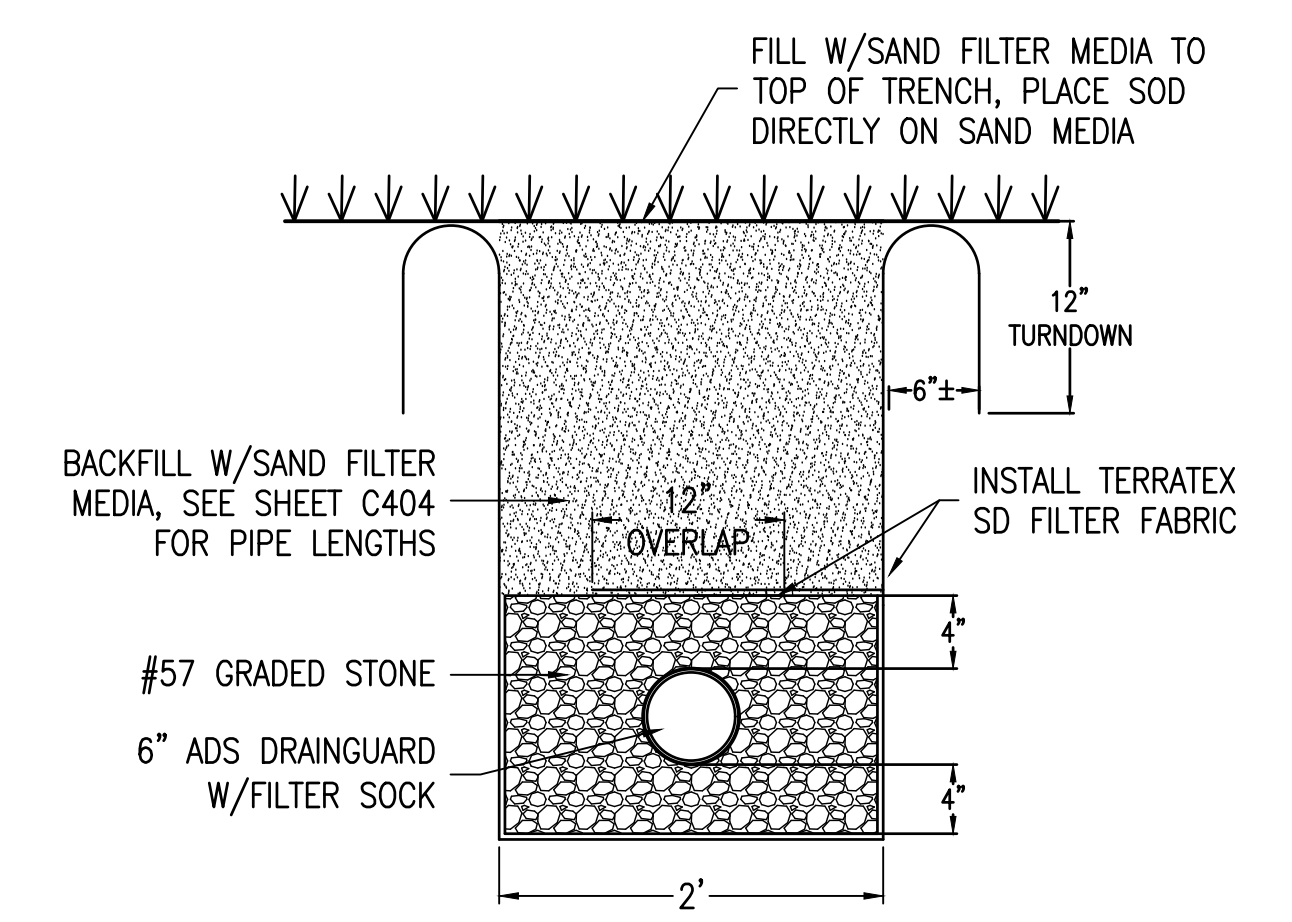
PENNSACOLA CHRISTIAN COLLEGE WEST FIELD IRRIGATION PLAN ESCAMBIA FLORIDA	DRAWN BY: GT DESIGNED BY: GT CHECKED BY:
	DATE: 5/25/17 SCALE: 1" = 20' NOT FOR CONSTRUCTION DATE:
PROJECT NO.: 2016-67 C407 SHEET: 16 OF 19	KENNETH C. HORNE LICENSE NO. 40149 CIVIL ENGINEERS P.O. BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@khp-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8228



A ASPHALT PAVEMENT SECTION
C501 N.T.S.



B RIBBON CURB DETAIL
C501 N.T.S.

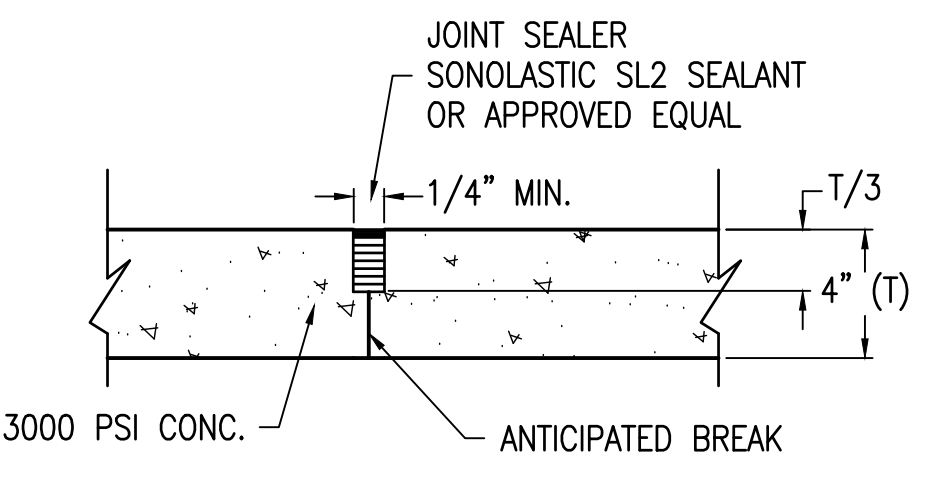


NOTE:
CONTRACTOR SHALL PROVIDE CERTIFICATION TO ENGINEER THAT FILTER MEDIA MEETS SPECIFICATIONS.

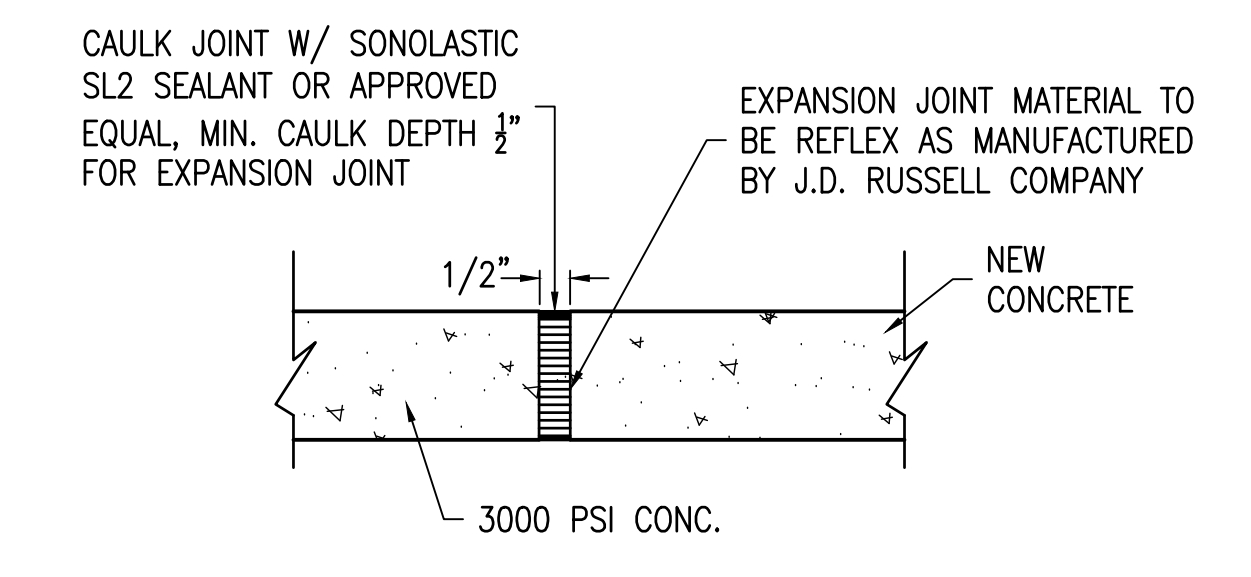
FILTER MEDIA
UNIFORMITY COEFF.: 1.5 TO 4.0
GRAIN SIZE: 0.2 - 0.55mm
PERMEABILITY COEFF.: 2.00 MIN (FT/HR)
5.00 MAX (FT/HR)

C UNDERDRAIN DETAIL
C501 N.T.S.

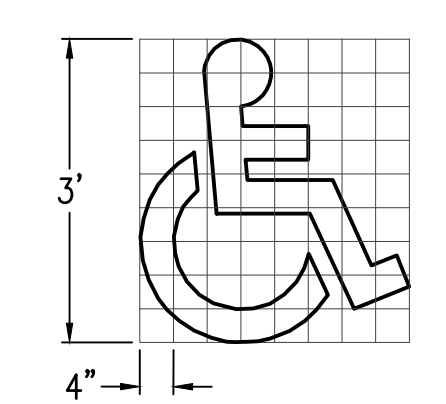
- CONCRETE NOTES:
- CONTRACTOR TO TAKE CARE WHEN FINISHING EXPANSION JOINTS SO THAT ALL JOINTS ARE SMOOTH AND UNIFORM.
 - POORLY FINISHED, ROUGH, OR CRACKING CONCRETE SHALL BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR TO CONTACT AND COORDINATE WITH GEOTECH FOR ALL CONCRETE TESTING. USE GEOTECH SELECTED BY OWNER. OWNER TO PAY FOR TESTING.
 - CONSTRUCT EXPANSION JOINTS WHERE NEW CONCRETE ABUTS NEW OR EXISTING CONCRETE CURBS, ASPHALT, OR OTHER STRUCTURES AND/OR AT DISTANCE EQUAL TO WIDTH OF WALK, 20' ON CENTER FOR CURB & GUTTER.
 - JOINT SEALER TO BE FLEXIBLE EPOXY JOINTING COMPOUND, AS SPECIFIED.
 - CONTRACTOR TO SUBMIT CURING METHOD TO ENGINEER, PRIOR TO SIDEWALK INSTALLATION.
 - ALL CONTROL JOINTS TO BE SCORED **NOT SAWS**.
 - SCORE/TWO CONTROL JOINT ACROSS SIDEWALK AT A DISTANCE EQUAL TO 1/2 OF THE WIDTH OF THE SIDEWALK.
 - SUBMITTALS MUST INCLUDE NAME OF PROJECT, OWNER, AND DATES OF MATERIAL SAMPLINGS.
 - ALL FLAT OUTSIDE CONCRETE WORK, INCLUDING SIDEWALKS, CURBS, PADS, ETC. IS TO BE CONSTRUCTED BY A CONCRETE COMPANY WITH A MINIMUM OF 5 YEARS EXPERIENCE IN SAID OUTSIDE CONCRETE WORK, AND BE ON THE P.C.C. BIDDERS LIST. SUCH WORK **MAY NOT** BE PERFORMED BY THE GENERAL CONTRACTOR. SUBMIT NAME OF CONCRETE COMPANY WITH BID.



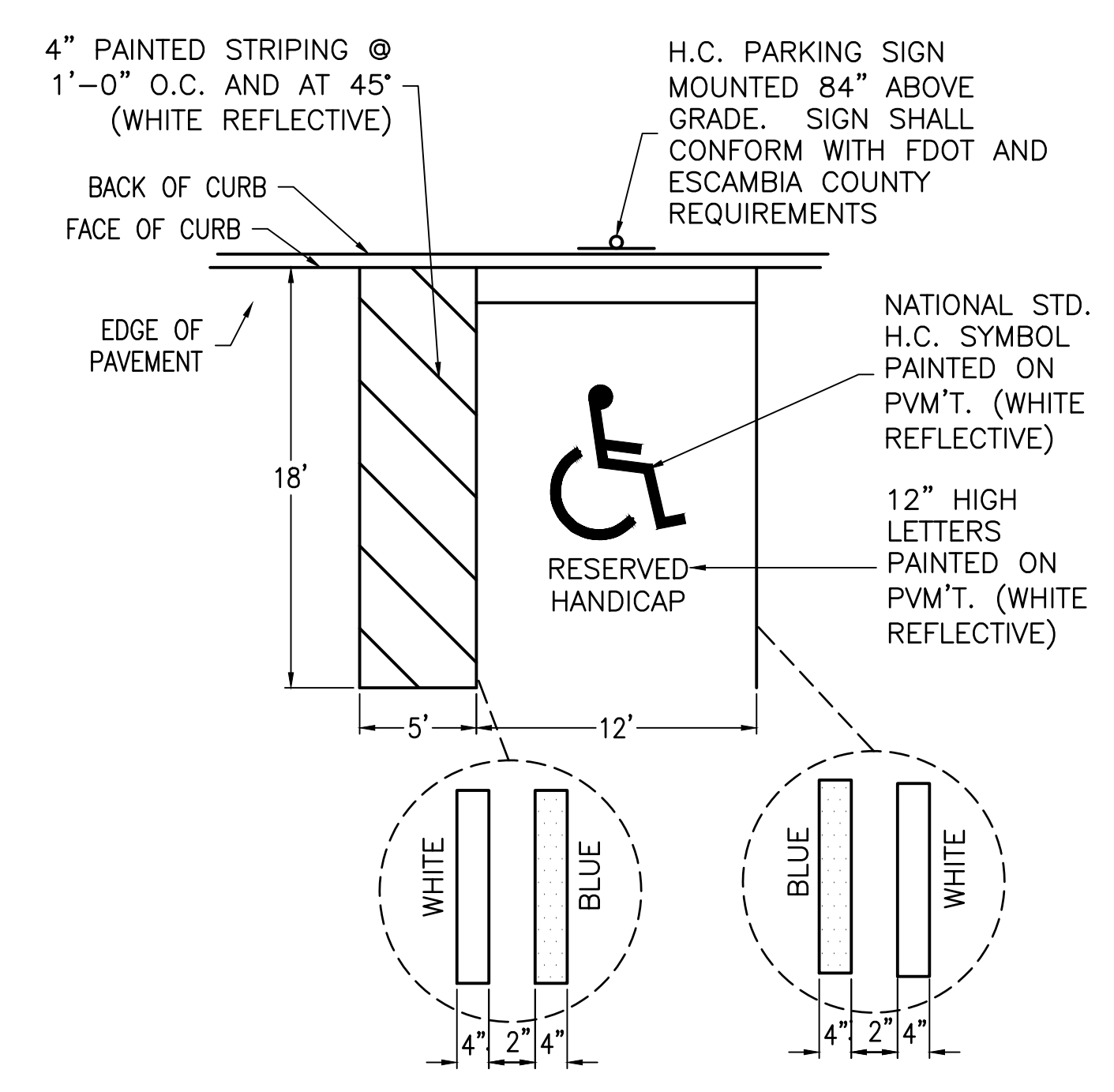
SCORE/TWO SIDEWALK CONTROL JOINT DETAIL
N.T.S.



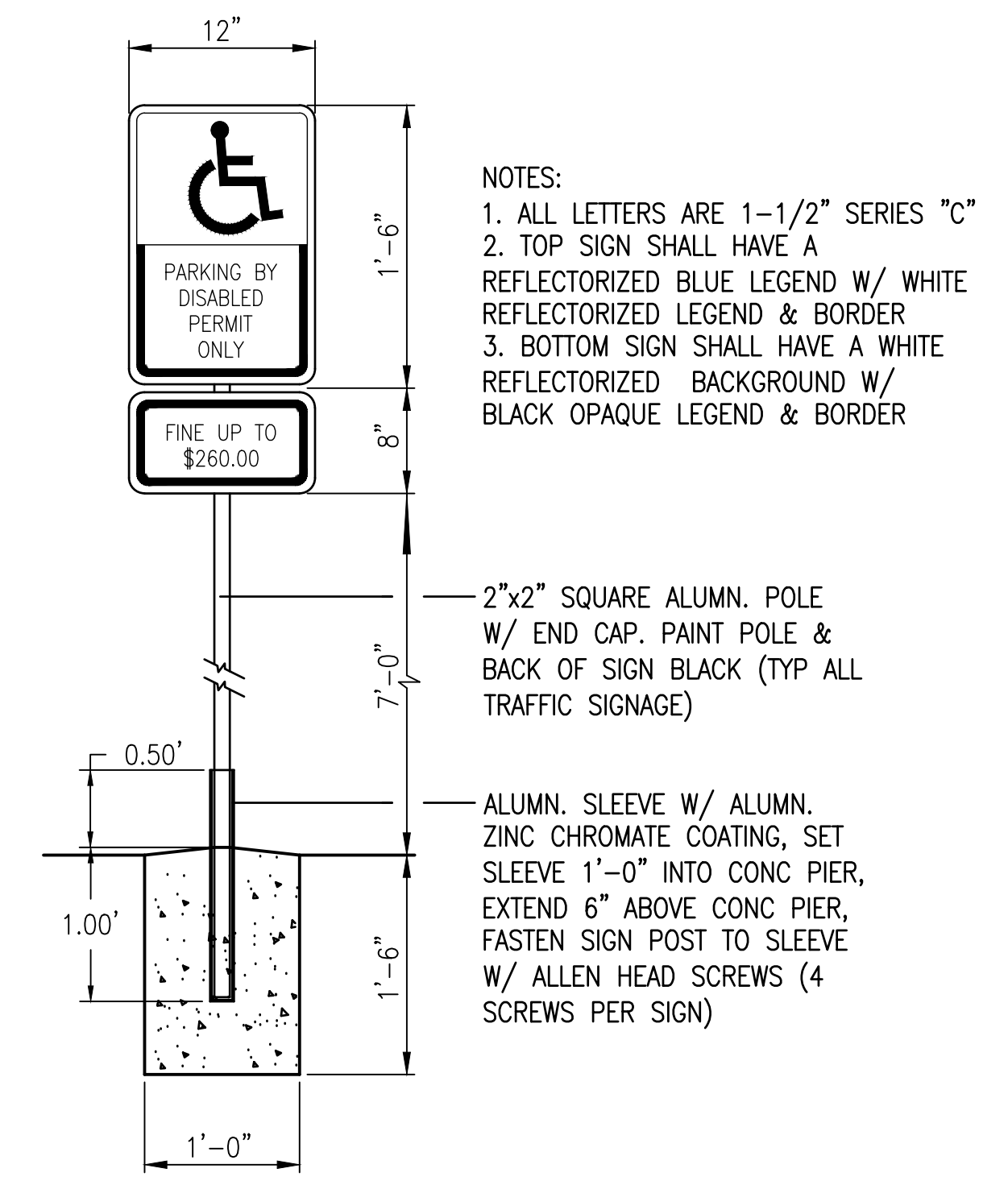
SIDEWALK EXPANSION JOINT DETAIL
N.T.S.



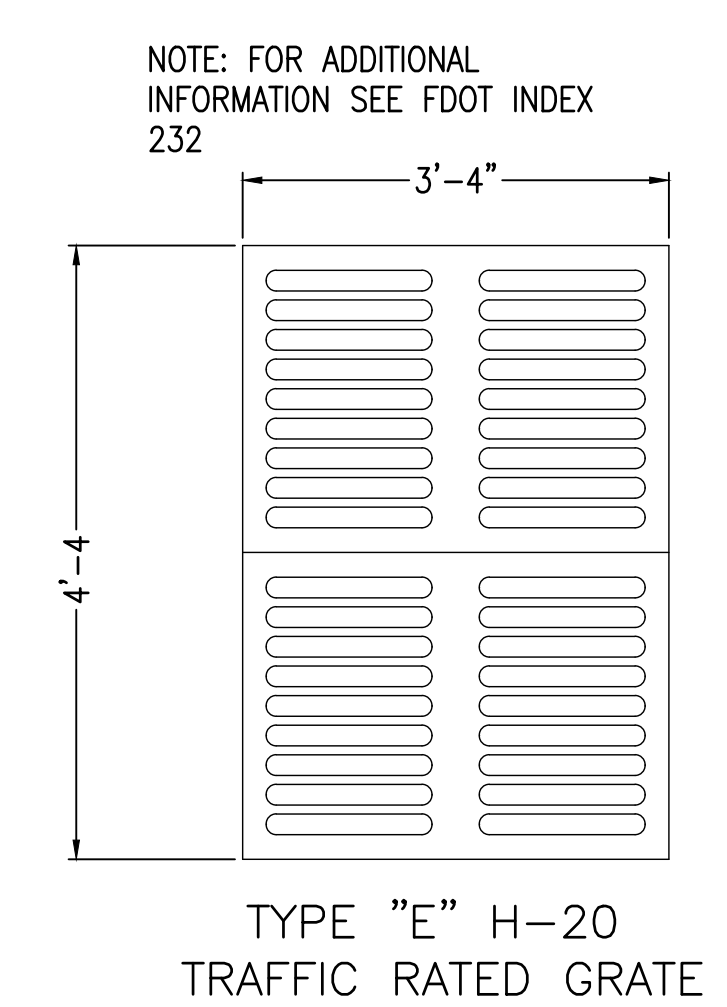
♿ SYMBOL SHALL BE WHITE IN COLOR.



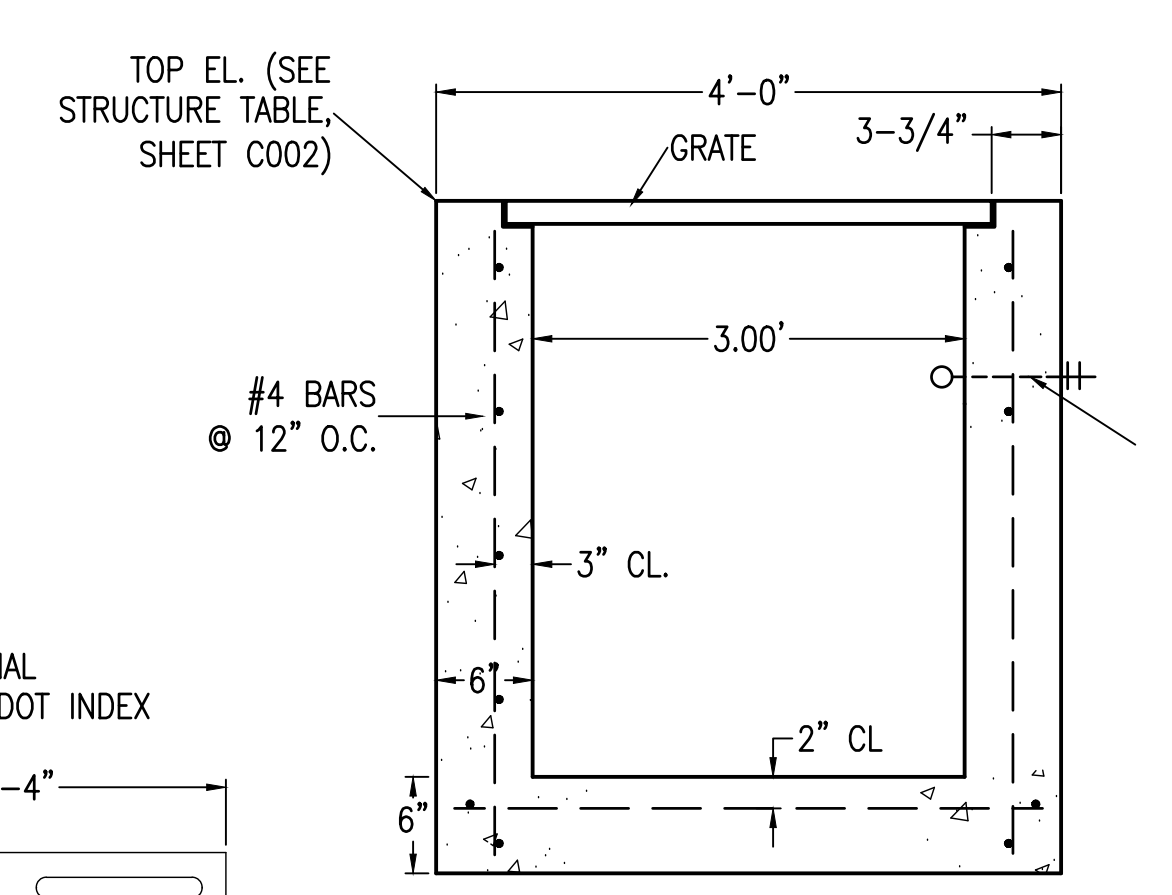
E HANDICAPPED PARKING SPACE STRIPING DETAIL
C501 N.T.S.



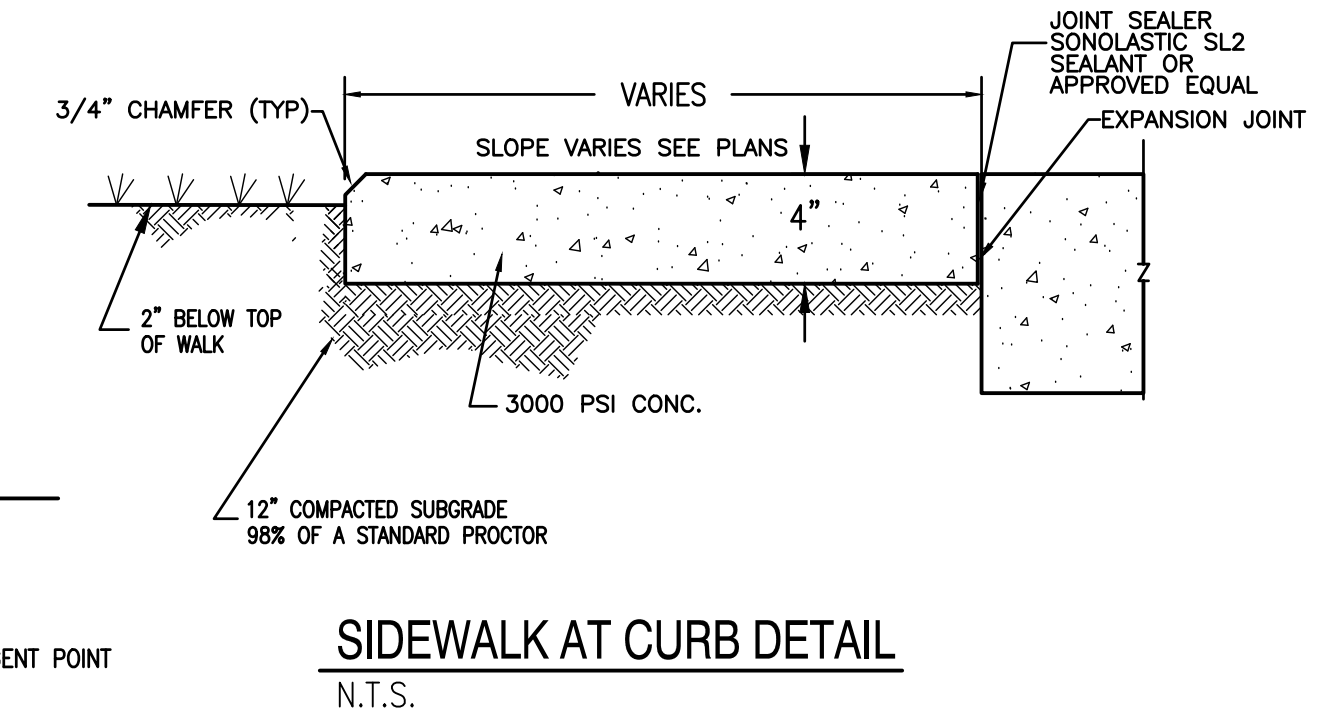
F HANDICAPP SIGN DETAIL
C501 N.T.S.



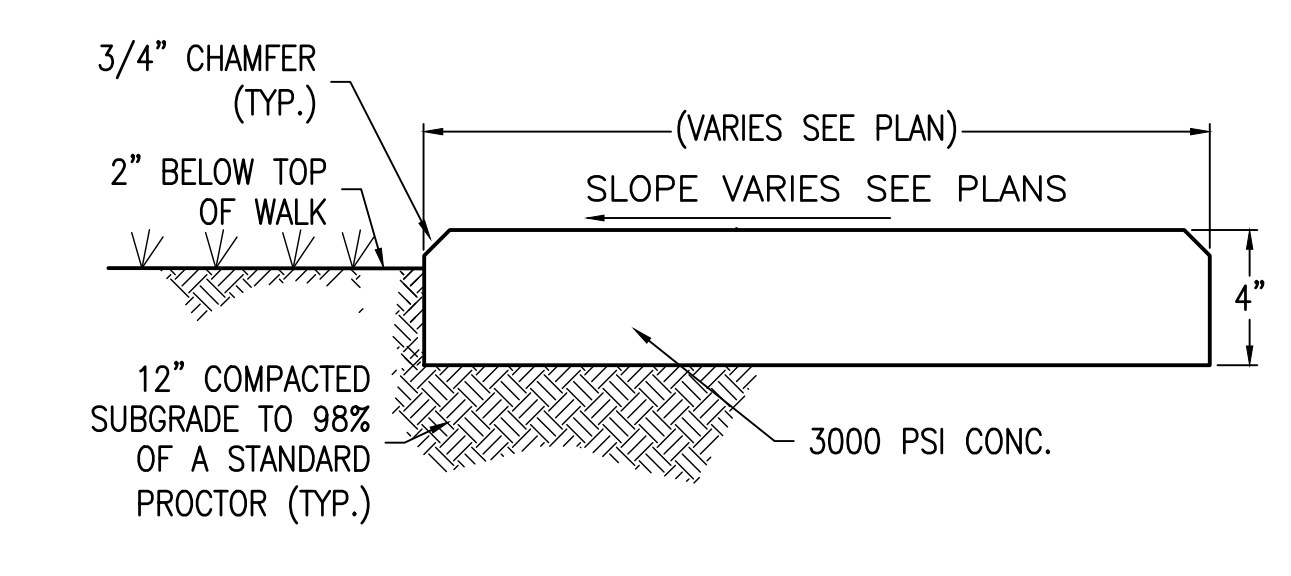
TYPE "E" H-20 TRAFFIC RATED GRATE



SIDEWALK RADIUS DETAIL
N.T.S.

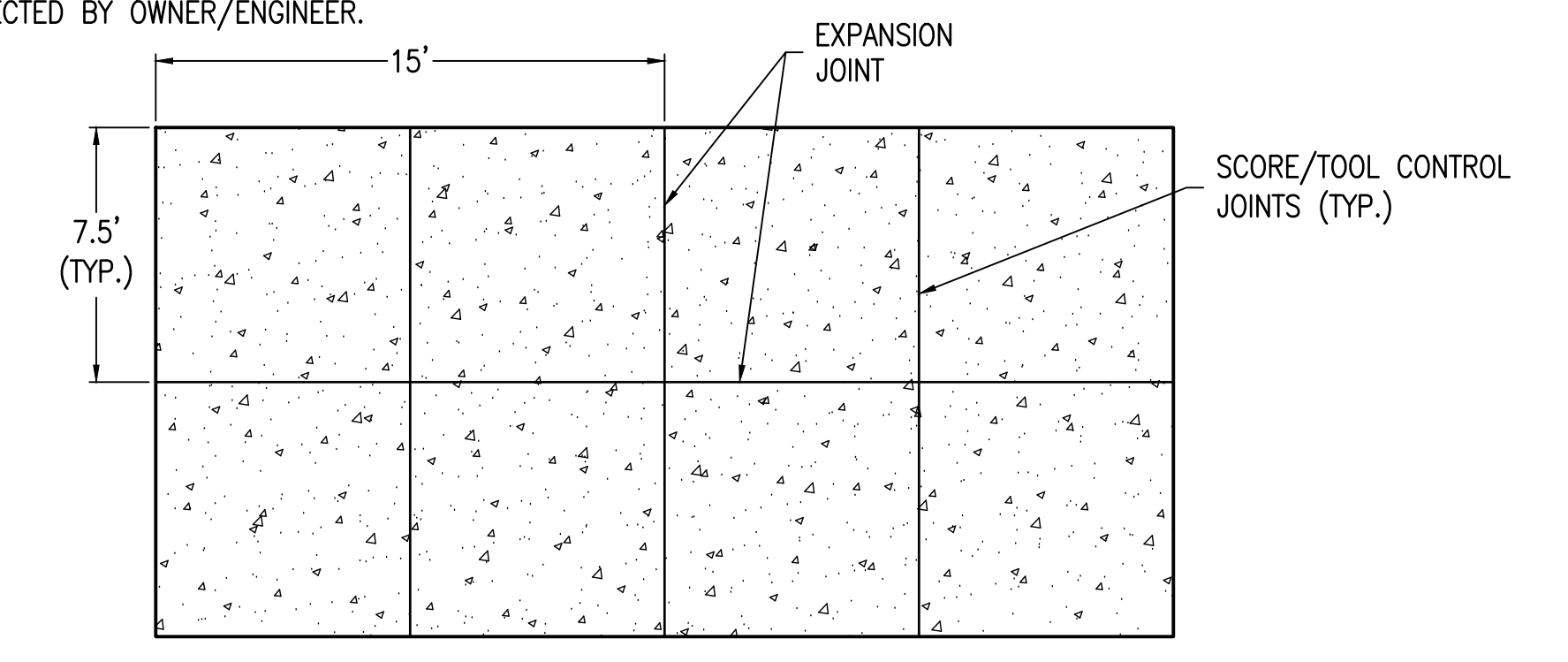


SIDEWALK AT CURB DETAIL
N.T.S.

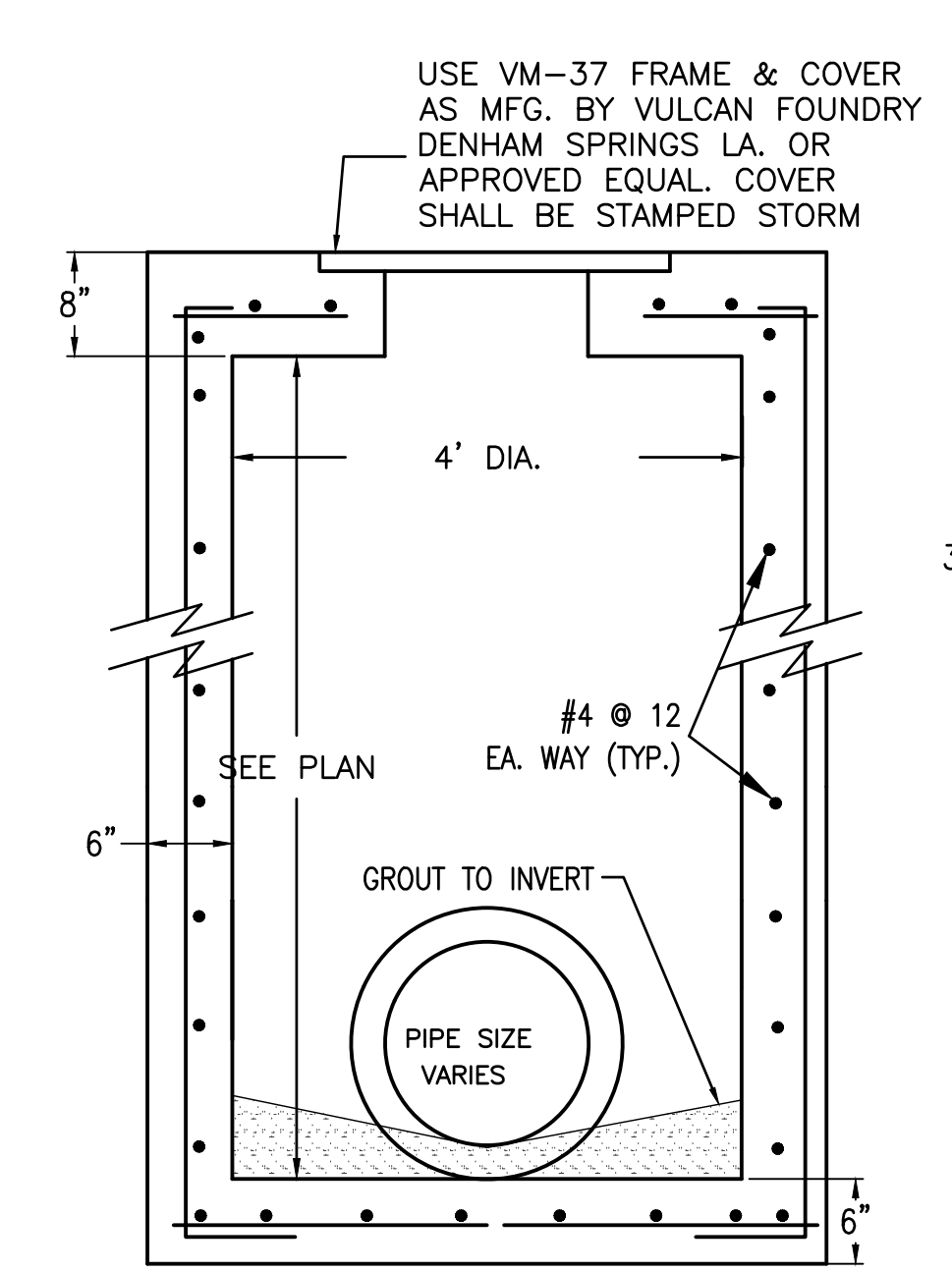


D SIDEWALK DETAILS
C501 N.T.S.

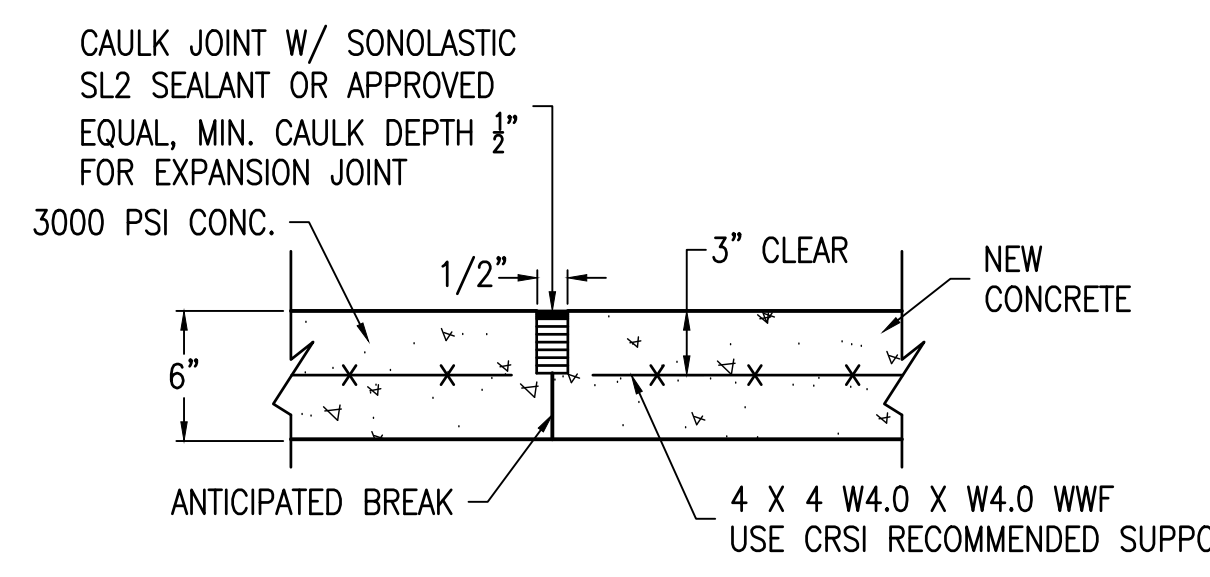
- NOTES:
- CONTRACTOR TO COORDINATE W/ ENGINEER AND SUBMIT JOINTING PATTERN FOR APPROVAL PRIOR TO PLACING CONCRETE.
 - ALL CONTROL JOINTS TO BE TOOLED, **NOT SAWS**. NO JOINT IS TO BE SAWS.
 - CONSTRUCT EXPANSION JOINTS WHERE NEW CONCRETE ABUTS NEW OR EXISTING CONCRETE CURBS, ASPHALT, OR OTHER STRUCTURES AS SHOWN.
 - CONTRACTOR TO SUBMIT CURING METHOD TO ENGINEER PRIOR TO CONCRETE INSTALLATION.
 - REINFORCING FOR BLEACHER SLABS TO BE WWF 4X4 W4.0 X W4.0 ON CHAIRS AND HELD 1" CLEAR FROM THE TOP OF THE BASE SLAB.
 - PROVIDE WWF IN FLAT SHEETS, **NOT ROLLS**.
 - CONTRACTOR TO TAKE EXTRA CARE TO ENSURE WWF IS PLACED CORRECTLY.
 - AFTER REINFORCEMENT (INCLUDING WWF) IS INSTALLED AND PRIOR TO PLACING CONCRETE, SAID REINFORCEMENT IS TO BE INSPECTED BY OWNER/ENGINEER.



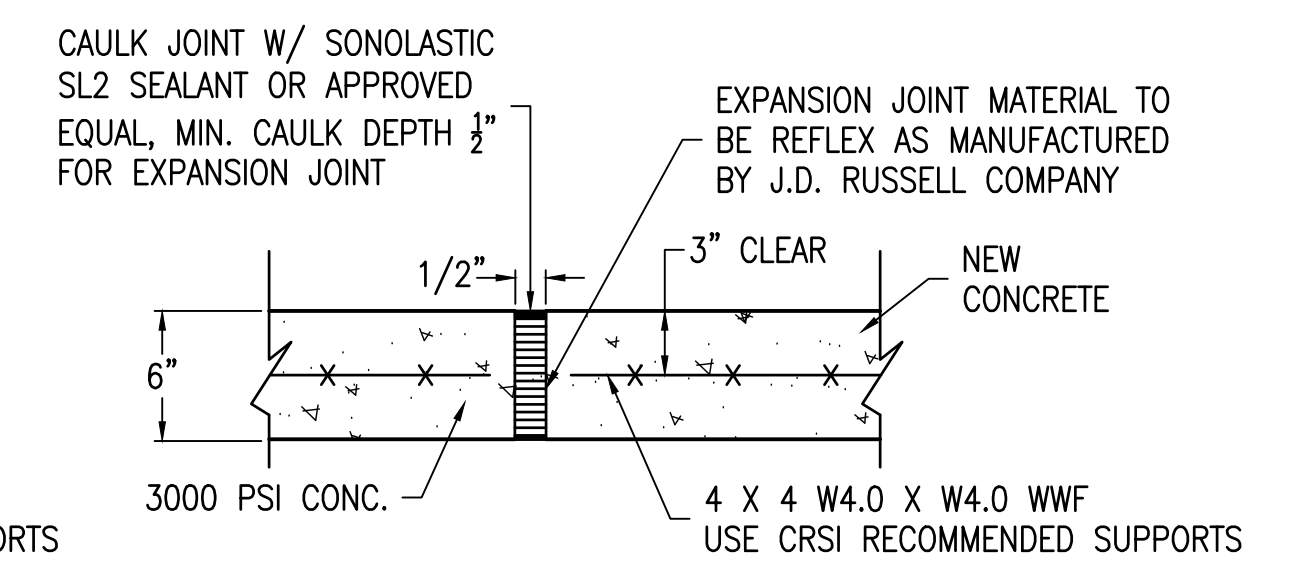
G FDOT TYPE "E" INLET
C502 N.T.S.



L STORMWATER MANHOLE
C501 N.T.S.



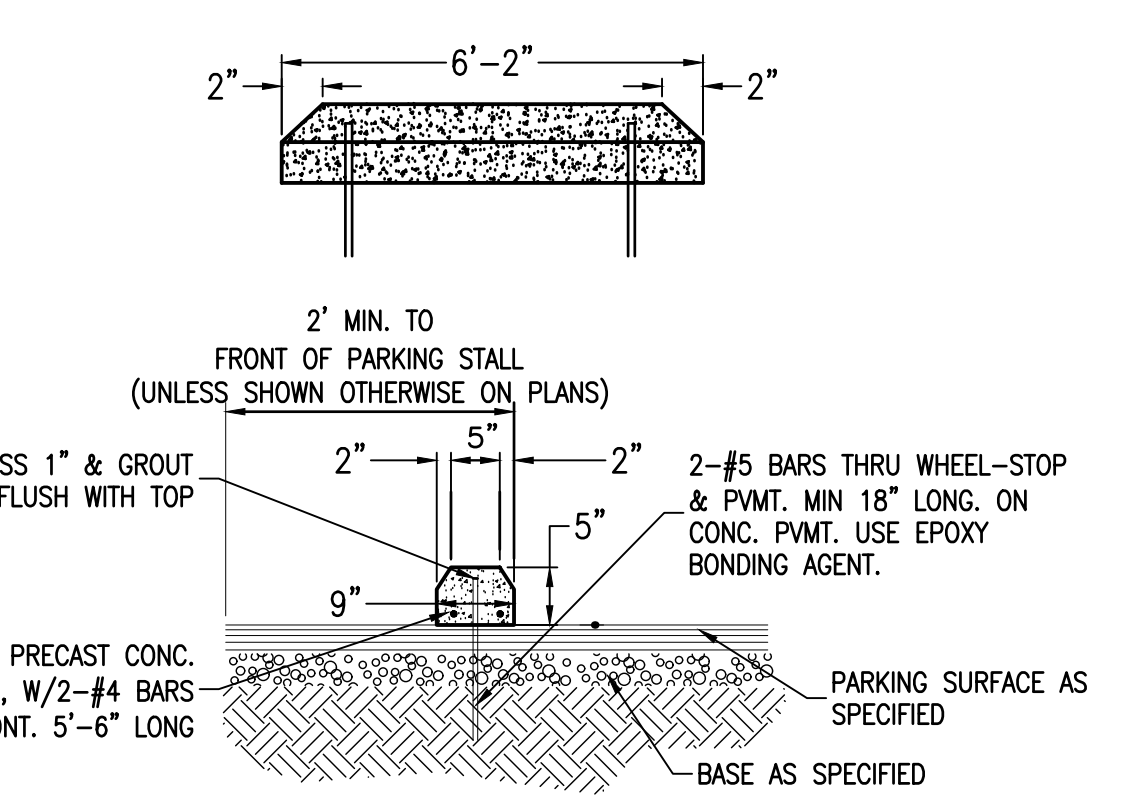
SCORE/TWO CONTROL JOINT DETAIL
N.T.S.



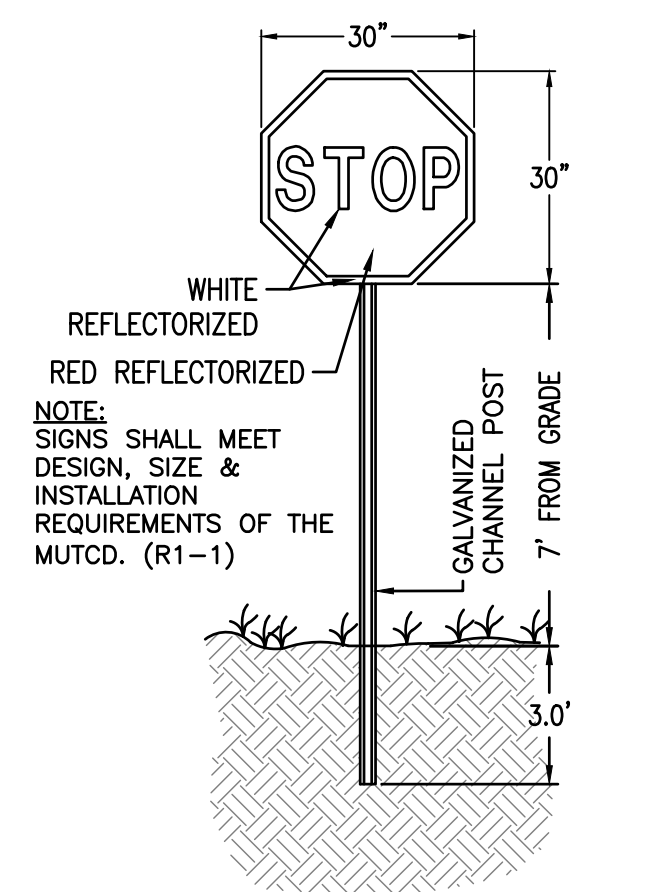
EXPANSION JOINT DETAIL
N.T.S.

M BLEACHER PAD DETAILS
C501 N.T.S.

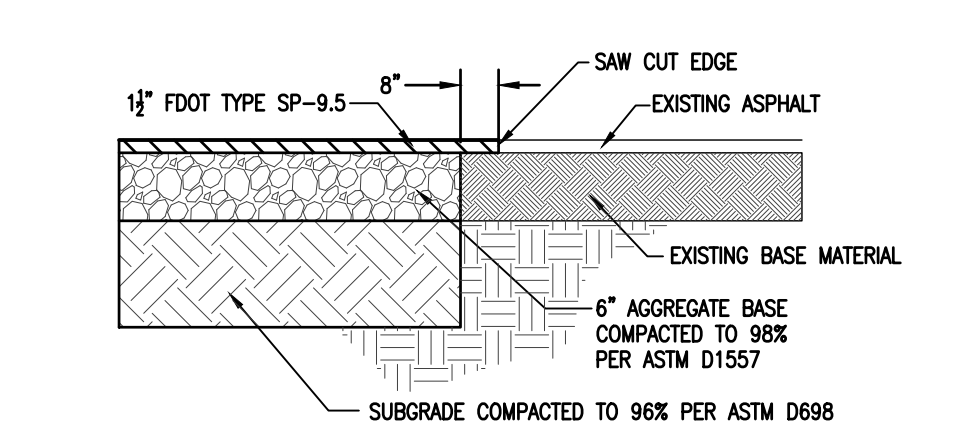
H STANDARD PARKING SPACE STRIPING DETAIL
C501 N.T.S.



I CONCRETE BUMPER BLOCK DETAIL
C501 N.T.S.



K STOP SIGN DETAIL
C501 N.T.S.



J NEW ASPHALT PAVEMENT & BASE TO EXISTING PAVEMENT JOINT DETAIL
C501 N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION

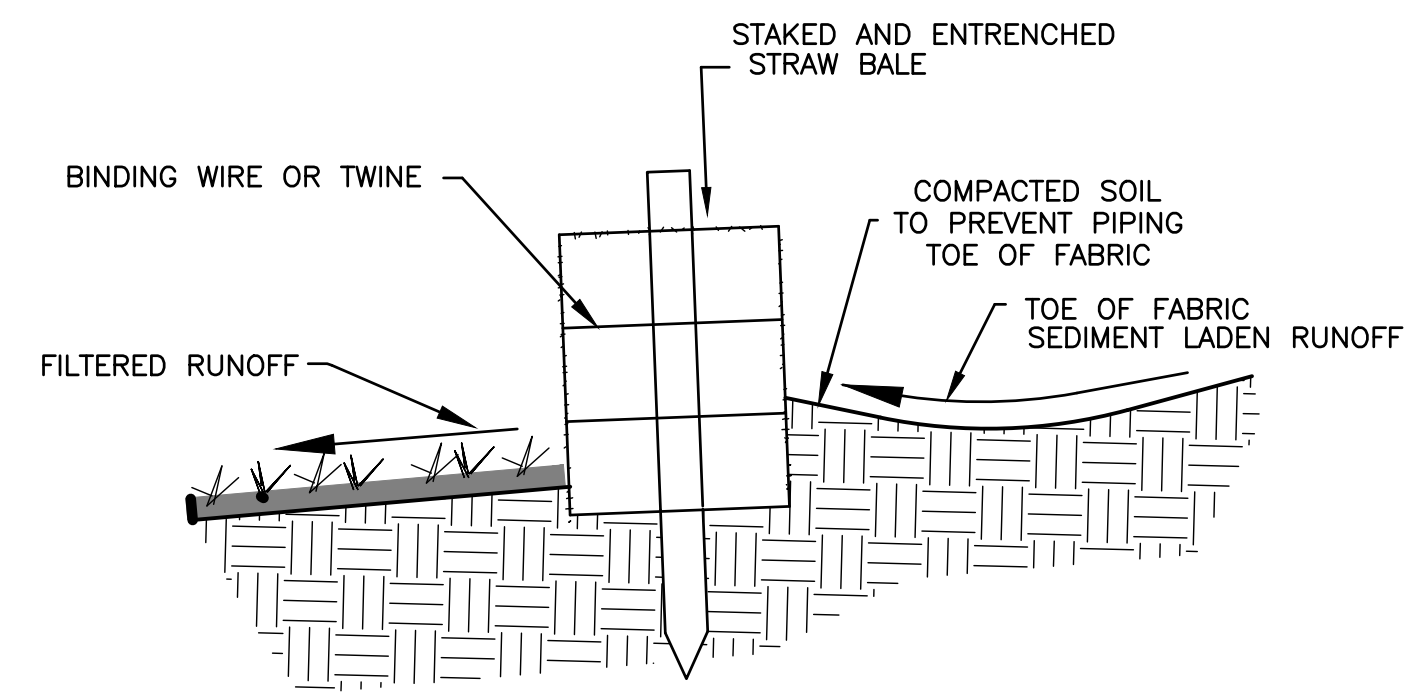
Kenneth Home & Associates, Inc.
CIVIL ENGINEERS
No. 40149
STATE OF FLORIDA
PROFESSIONAL ENGINEER
FL. CERTIFICATE OF AUTHORIZATION NO. 8288

PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kha.com FAX (850) 471-0093

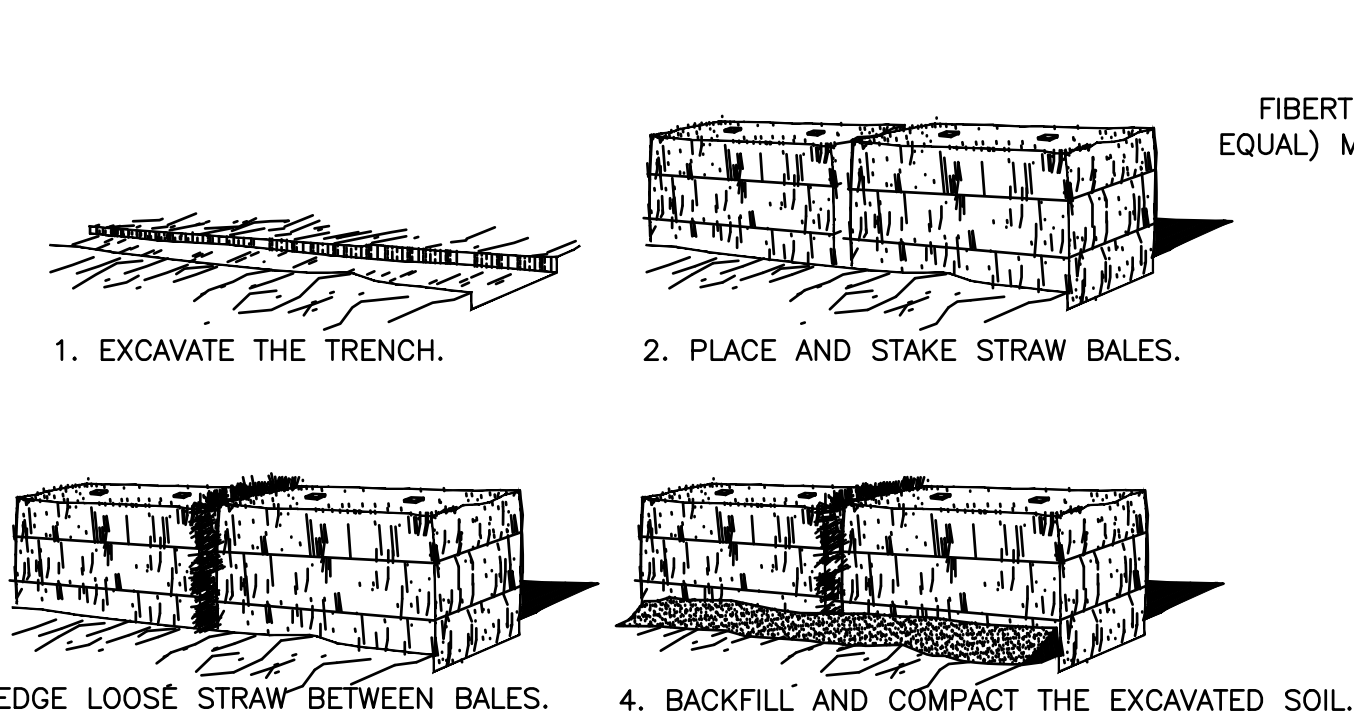
PENSACOLA CHRISTIAN COLLEGE
WEST FIELD
DETAILS
FLORIDA
ESCAMBIA

PROJECT NO. 2016-67
C501
SHEET: 17 OF 19

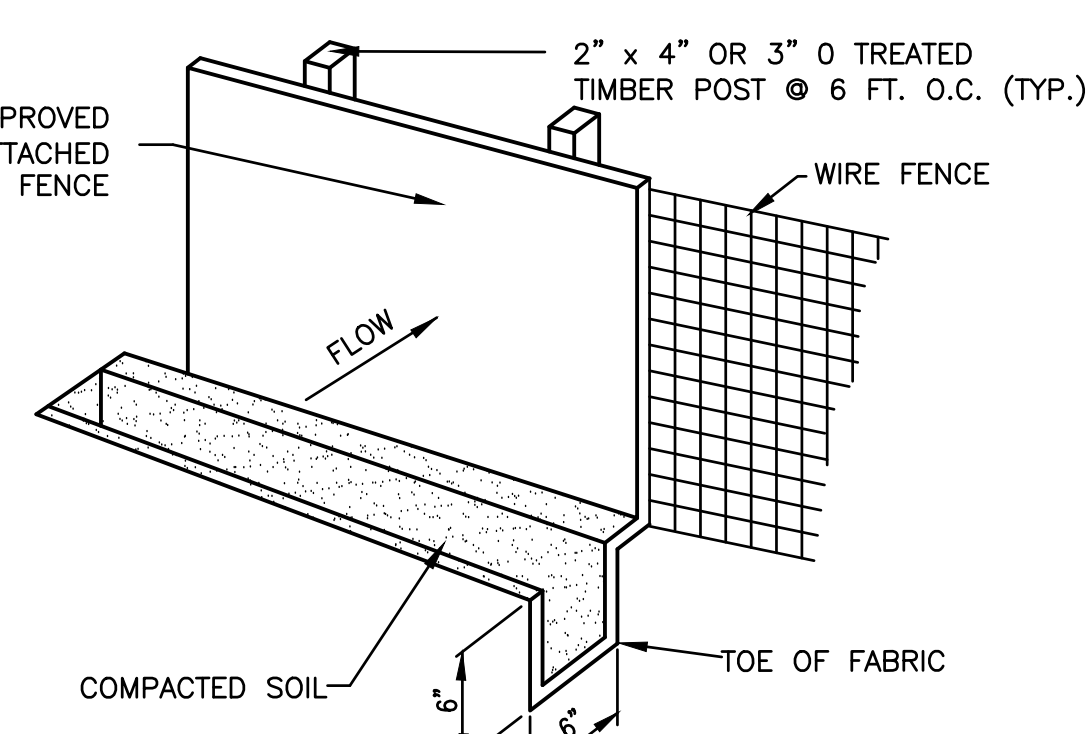
S:\Pc Projects\2016-67 E Bldg Baseball Soccer Field\DWG\CON\16-67_C504.dwg, Nov 20, 2017 - 10:53:09AM, pascal



HAY BALE DETAIL
N.T.S.



CONSTRUCTION OF A STRAW BALE BARRIER
N.T.S.



SILT FENCE DETAIL
N.T.S.

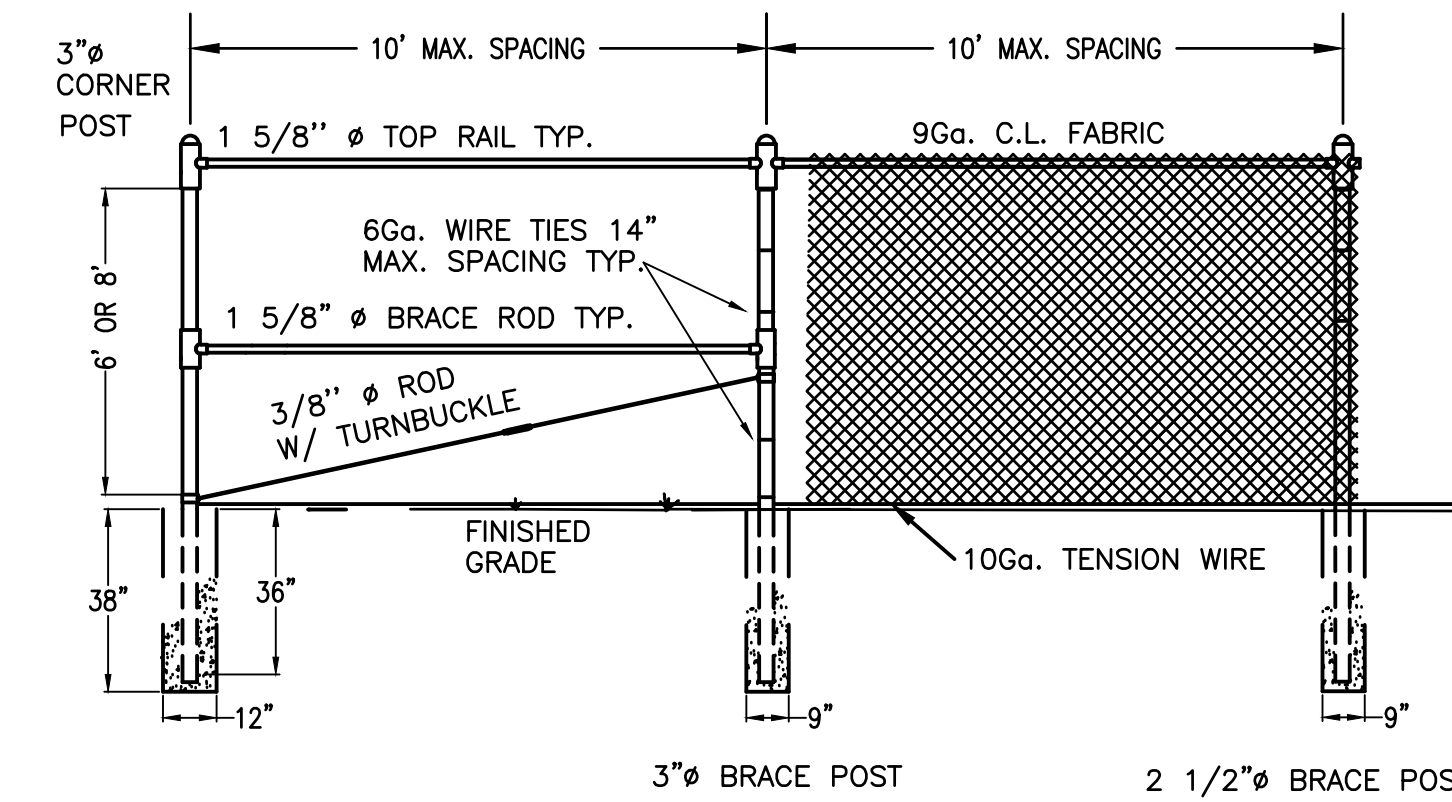
EROSION AND SEDIMENTATION CONTROL NOTES

- BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER PRIOR TO EARTHWORK OPERATIONS.
- ALL BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED. STRAW BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES (IN ORDER TO PREVENT DETERIORATION OF THE BINDINGS).
- THE BARRIER SHALL BE ENTRENCHED AND BACK FILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STACKED AND CHINKED, THE EXCAVATED SOIL SHALL BE BACK FILLED AGAINST THE BARRIER. BACK FILL SOIL SHALL CONFIRM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.
- EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.
- THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES. (LOOSE STRAW SCATTERED OVER THE AREA IMMEDIATELY UPHILL FROM A STRAW BALE BARRIER TENDS TO INCREASE BARRIER EFFICIENCY).
- STRAW BALE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
- STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

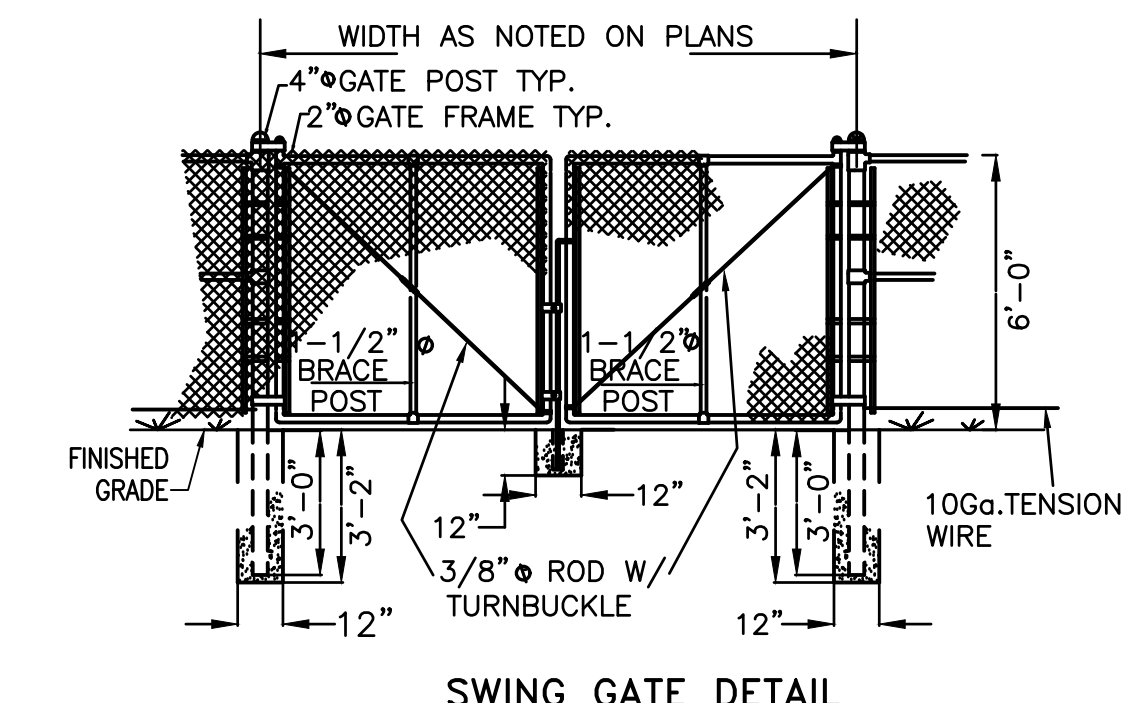
EROSION CONTROL NOTES:

- THE RETENTION/DETENTION AREA SHALL BE CONSTRUCTED FIRST, LESS FINISHED STABILIZATION.
- SILT FENCE TO BE INSTALLED BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND UNTIL ALL DISTURBED EARTH HAS BEEN SUFFICIENTLY STABILIZED WITH VEGETATIVE COVER TO PREVENT SEDIMENT TRANSPORT FROM SITE.
- EROSION CONTROL SHALL BE PLACED AROUND INLETS, MAINTAINED AND REMOVED AT THE END OF CONSTRUCTION.
- SILT FENCE SHALL BE PLACED AS REQUIRED. POSTS FOR SILT FENCE SHALL BE AT A DEPTH TO RESIST OVERTURNING, THE BOTTOM EDGE OF THE FABRIC SHALL BE BELOW GRADE AND COVERED WITH SOIL. (SEE TYPICAL DETAILS)
- ISOLATED AREAS OF CONSTRUCTION MAY NEED TO BE ADDRESSED BY THE CONTRACTOR AS FIELD CONDITIONS DICTATE.
- UPON COMPLETION OF CONSTRUCTION, THE RETENTION/DETENTION AREA SHALL BE RESHAPED, CLEANED OF ALL ACCUMULATED SILT AND STABILIZED.
- UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD AS NOTED.
- ALL NEW STORMWATER RUNOFF IS TO BE DIRECTED TO THE RETENTION/DETENTION AREA.

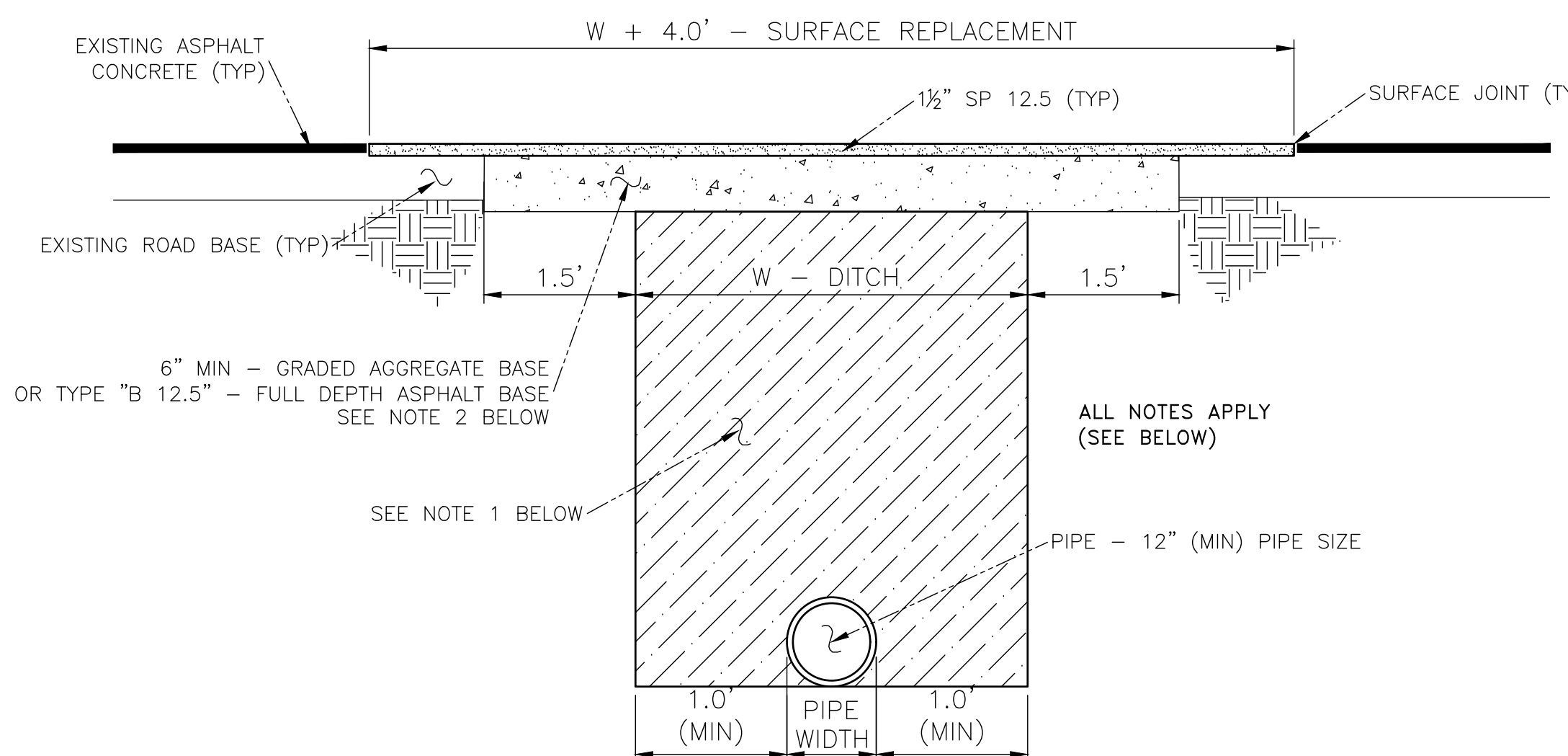
FENCE POST SCHEDULE	
TYPE	SIZE
LINE POST	2-1/2" Ø
BRACE POST**	3" Ø
CORNER POST	3" Ø
GATE POST	4" Ø



CHAIN-LINK FENCE DETAIL
N.T.S.



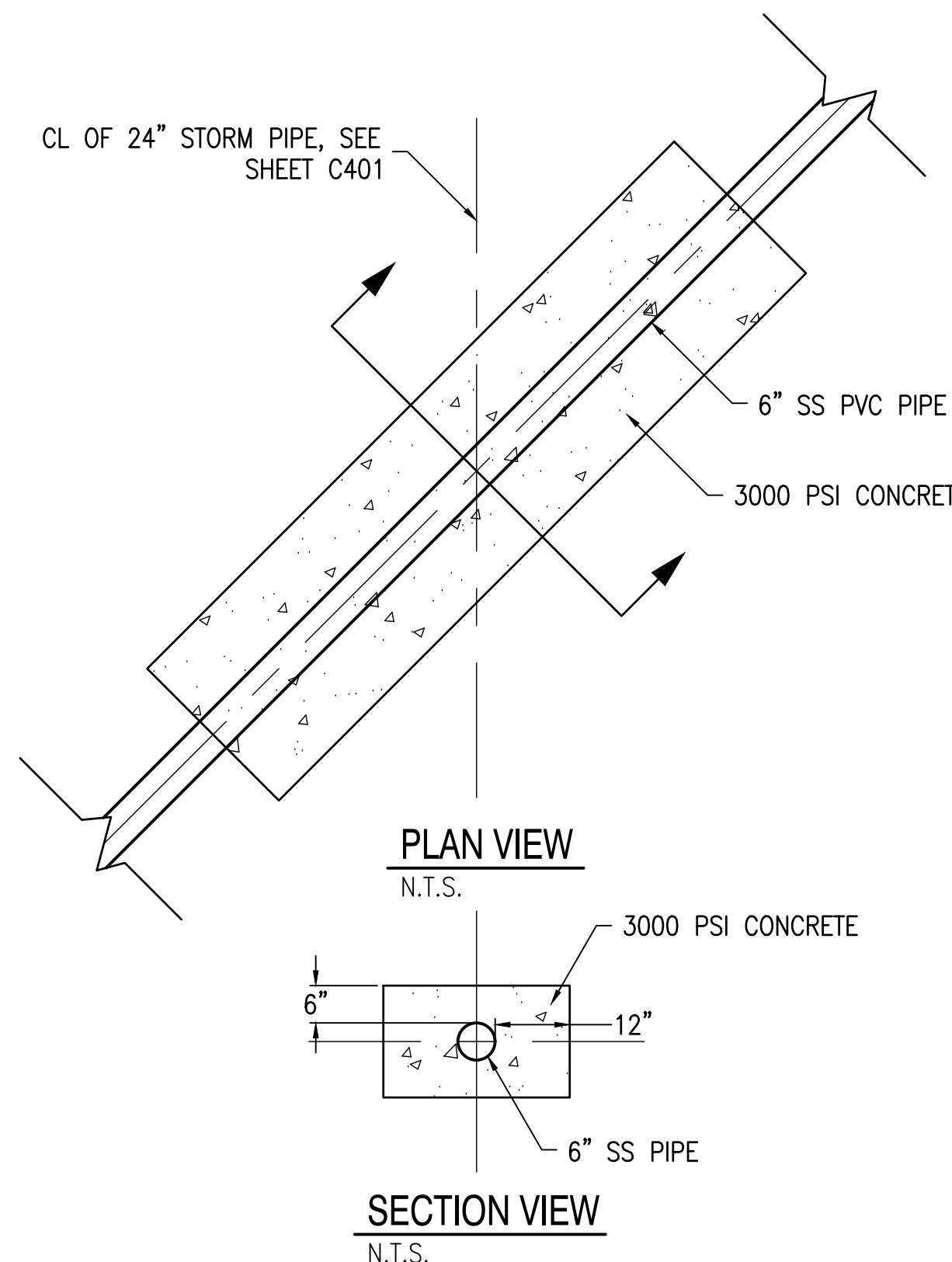
SWING GATE DETAIL
N.T.S.



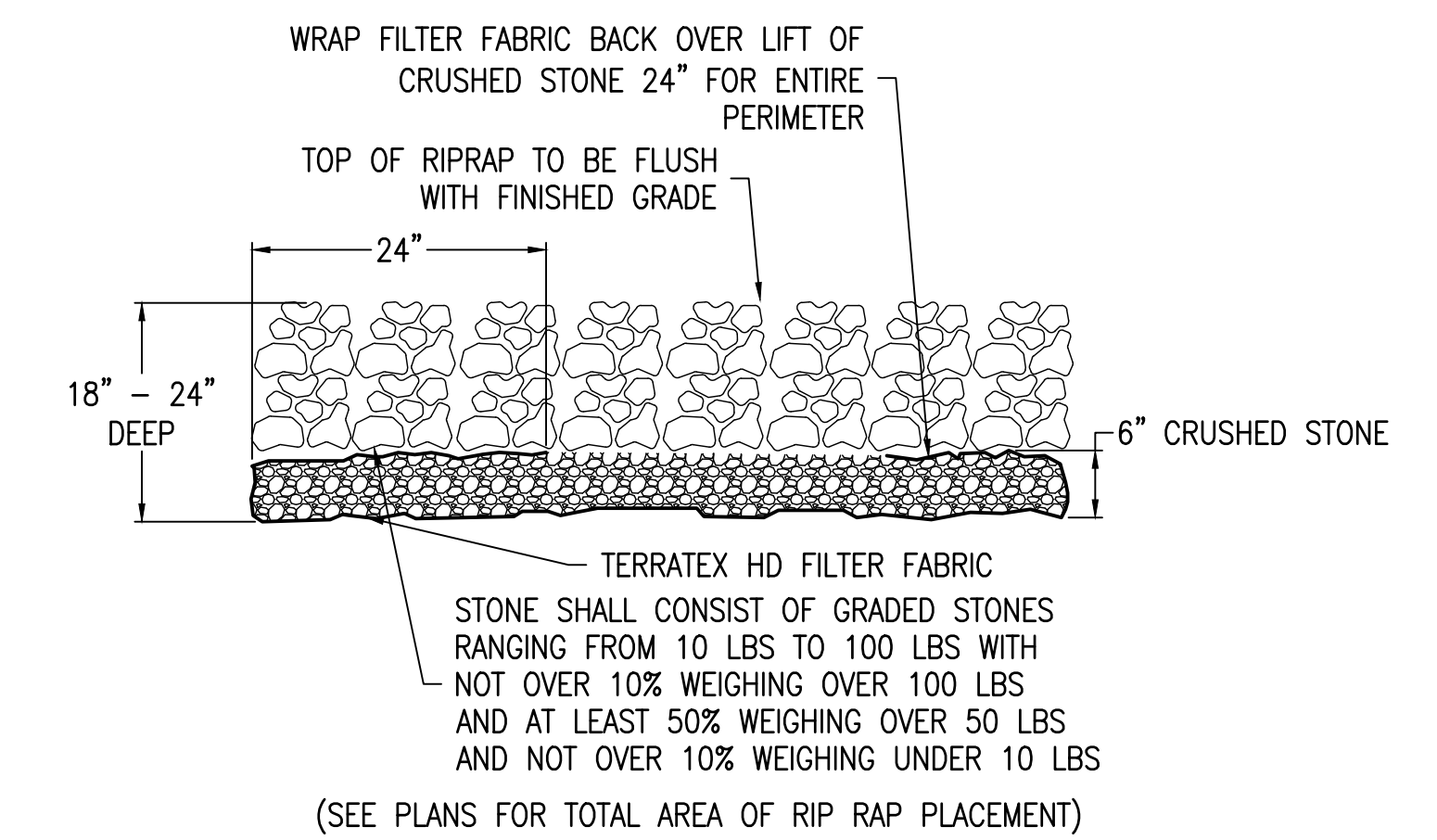
PAVED ROAD (LARGE PATCH) DETAIL
FOR PATCHES 24" WIDE OR GREATER

- NOTES:**
- DIRT ROAD PATCH WORK SUB BASE MATERIAL SHALL BE PLACED IN NOT MORE THAN 8" LIFTS. EACH LAYER TO BE TAMPED TO A MINIMUM OF 40 LBR.
 - GRADED AGGREGATE BASE SHALL BE COMPACTED TO A MIN LBR 100.
 - ROAD CUTS SHALL BE MECHANICALLY SAW CUT TO FORM A SURFACE PAVEMENT JOINT AND TACK COATED ALONG THE FACE OF CUT JOINTS PRIOR TO ASPHALT PLACEMENT.
 - LONGITUDINAL ROAD CUTS OF LESS THAN ONE-HALF PAVEMENT WIDTH TO BE PATCHED SAME AS LATERAL PATCH. LONGITUDINAL ROAD CUTS ONE-HALF OR GREATER TO BE PATCHED WITH SAME BASE MATERIAL AND ENTIRE ROAD WIDTH RESURFACED.

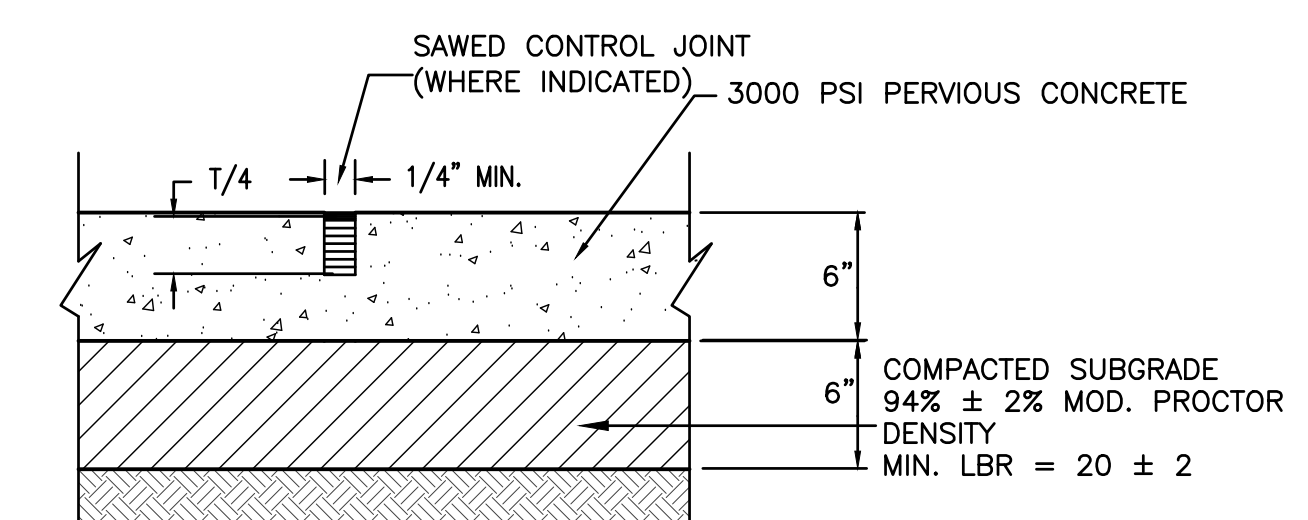
ESCAMBIA ASPHALT COUNTY CUT & PATCH DETAIL
N.T.S.



PIPE ENCASUREMENT DETAIL
N.T.S.



RIPRAP DETAIL
N.T.S.



PERVIOUS PAVEMENT DETAIL
N.T.S.

NO. DATE REVISIONS

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PENSACOLA CHRISTIAN COLLEGE
WEST FIELD
DETAILS
FLORIDA
ESCAMBIA

DRAWN BY: PLC
DESIGNED BY: GMS
CHECKED BY: KCH
DATE: 5/25/17
SCALE: N.T.S.
NOT FOR CONSTRUCTION
BY: BAMEL

PROJECT NO.: 2016-67
C502
SHEET: 18 OF 19

IRRIGATION NOTES

(IRRIGATION PLAN AND DETAILS PROVIDED BY OWNER)

- ALL VALVES FOR THE PLAYING FIELD AND THOSE OVER THE UNDERDRAIN WHICH HAVE ONE HEAD ARE TO HAVE 2 INCH RAINBIRD PGA VALVES (PGA-200). THESE ZONES ARE PIPED WITH 2" CTS POLY.
- ALL SINGLE HEAD VALVES NOT OVER THE PLAYING FIELD AND OVER THE UNDERDRAIN ARE TO HAVE 1 1/2 INCH RAINBIRD PGA VALVES (PGA-150). MOST OF THESE ZONES ARE PIPED WITH 1 1/4 INCH SCH 40 PVC. (THE EXCEPTION IS THAT THE TWO SPRAY ZONES IN THE SOUTH PARKING LOT ISLAND ARE FED WITH 2" CTS POLY.)
- ALL ZONES THAT HAVE SPRAYS (RB1804) AND SMALL ROTORS (RBS004) SHALL BE PIPED WITH 1 INCH RAINBIRD PGA VALVES (PGA-100).
- ALL VALVES ARE TO BE INSTALLED AS ANGLE VALVES. THEY SHOULD BE ATTACHED TO THEIR MAIN WITH A 6 INCH SCH 80 NIPPLE TBE. NIPPLE SHOULD BE APPROPRIATE TO THE VALVE. (IE. 1 INCH VALVES GET 1 INCH NIPPLES, 1 1/2 INCH VALVES GET 1 1/2 INCH NIPPLES, ETC.)
- ALL PGA-100 SHOULD BE PIPED TO ZONE WITH 1 1/4 INCH SCH 40 PVC. A 1 X 1 1/4 REDUCING ADAPTER (TXS) SHOULD ATTACH VALVE TO ZONE PIPE.
- ALL PGA-150 SHALL BE PIPED TO ZONE WITH A 1 1/2 X 1 1/4 REDUCING BUSHING (TXS).
- IF FOR ANY REASON THE VALVE MAIN IS OBSTRUCTED AND NEEDS TO BE RAISED THEN VALVES MAY BE INSTALLED AS GLOBE. HOWEVER IT IS PREFERABLE TO MOVE THE VALVE MANIFOLD TO A LOCATION THAT IT ALLOWS FOR A PROPER DEPTH. PLEASE LET OWNER KNOW IF VALVES NEED TO BE INSTALLED IN GLOBE. OWNER WILL SUPPLY A RAINBIRD PE VALVE FOR ALL VALVES INSTALLED AT GLOBE.
- VALVE BOXES ARE TO BE FLUSH TO GRADE. VALVES IN BOXES SHOULD BE AT LEAST 6 INCHES FROM BOTTOM OF VALVE BOX LID. THEY SHOULD NOT BE GREATER THAN 12 INCHES FROM THE VALVE BOX LID. A DIFFERENT SIZE NIPPLE MAY BE SUBSTITUTED TO MAKE THIS ADJUSTMENT. HOWEVER A CLOSE TREADED NIPPLE IS UNACCEPTABLE.
- ALL SMALL ROTOR ZONES WILL BE PIPED FROM VALVE (PGA100) WITH 1 1/4 INCH SCH 40 PVC. THE HEADS WILL BE PIPED ON 1 INCH SCH 40 PVC. A "BULLHEAD" T (1 1/4 X 1 X 1) (401-132) SHOULD ATTACH ZONE MAIN TO ZONE.
- ALL SMALL ROTORS SHOULD BE PIPED WITH FLEX PIPE FROM 1 INCH SCH 40 PVC PIPE WITH A REDUCING T 402-130.
- A MARLEX STREET ELBOW M412-007 SHALL BE INSTALLED ON EACH ROTOR. A SBE-075 FITTING WILL ATTACH FLEX PIPE TO MARLEX STREET ELBOW.
- THE FLEX PIPE SHALL BE INSTALLED INTO THE 402-130 WITH AN SBE-050.
- TEFLON TAPE SHALL BE USED ON ALL THREAD JOINTS.
- ALL HEADS SHALL BE INSTALLED FLUSH TO GRADE.
- CARE SHOULD BE GIVEN THAT NO HEAD IS INSTALLED OVER ANOTHER PIPE.
- NO 402-130 TEES SHOULD BE INSTALLED FACING A WALL, SIDEWALK OR CURB. IF IMPRACTICAL THE ZONE MAIN SHALL BE INSTALLED AT LEAST 2 FEET FROM WALL, SIDEWALK OR CURB.
- NO MORE THAN 2 FEET OF FLEX PIPE SHALL BE INSTALLED PER HEAD.
- ALL RB1806 PRS SPRAY ZONES WILL BE PIPED FROM VALVE (PGA100) WITH 1 1/4 INCH SCH 40 PVC. THE HEADS WILL BE PIPED ON 1 INCH SCH 40 PVC. A "BULLHEAD" T (1 1/4 X 1 X 1) (401-132) SHOULD ATTACH ZONE MAIN TO ZONE.
- ALL RB1806 SPRAY SHOULD BE PIPED WITH FLEX PIPE FROM 1 INCH SCH 40 PVC PIPE WITH A REDUCING T 402-130.
- A MARLEX STREET ELBOW M412-005 SHALL BE INSTALLED ON EACH RB1806 PRS. A SBE-050 FITTING WILL ATTACH FLEX PIPE TO MARLEX STREET ELBOW.
- ALL IRRIGATION CONDUITS ARE TO BE 2" SCH 40 PVC TO BE SUPPLIED BY CONTRACTOR. VALVE BOXES FOR CONDUITS SHOULD HAVE BLACK LIDS. AN ALTERNATE VALVE BOX COULD BE UTILIZED IF APPROVED.
- WIRE SHOULD BE PULLED THROUGH CONDUITS. WIRE WILL BE DIRECT BURIED FROM THE NEAREST CONDUIT TO THE VALVE LOCATION.
- ALL DECODERS WILL BE EITHER FD101, FD401, FD601. THE EXACT DECODER WOULD BE BASED ON THE NUMBER OF VALVES AT EACH INDIVIDUAL LOCATION. IF THERE IS A DOUBT INSTALL THE FD101.
- ALL OF THESE SHOULD BE SUPPLIED BY OWNER.
- IF CONTRACTOR PREFERENCES TO PURCHASE THEM THEN MAKE SURE THAT THE WORD "TURF" IS NOWHERE ON THE DECODER. TURF DECODERS ARE GRAY. THE ONES SPECIFIED FOR THIS PROJECT ARE BLACK.
- ALL WIRING SHALL BE COORDINATED WITH PCC IRRIGATION PERSONNEL. CONTRACTOR WILL BE RESPONSIBLE TO PULL WIRE TO CONTROLLER LOCATED AT WELL SITE. THE ACTUAL WIRING IN THE CLOCK WILL BE DONE BY PCC.
- AN ELECTRICAL CONTRACTOR WILL INSTALL THE IRRIGATION CLOCK. THREE CONDUITS SHOULD BE PROVIDED TO THE CONTROLLER: ONE FOR POWER TO THE ELECTRICAL BACKBOARD, ONE FOR DATA TO TELEPHONE LOCATION ON OR NEAR ELECTRICAL BACKBOARD, AND ONE CONDUIT TO FIELD.
- WIRING FROM FIELD MAY HAVE UP TO 4 PAIRS OF WIRES FROM CONTROLLER TO FIELD.
- SEE TECHNICAL SPECIFICATIONS FOR CUT SHEETS AND MORE INFORMATION.

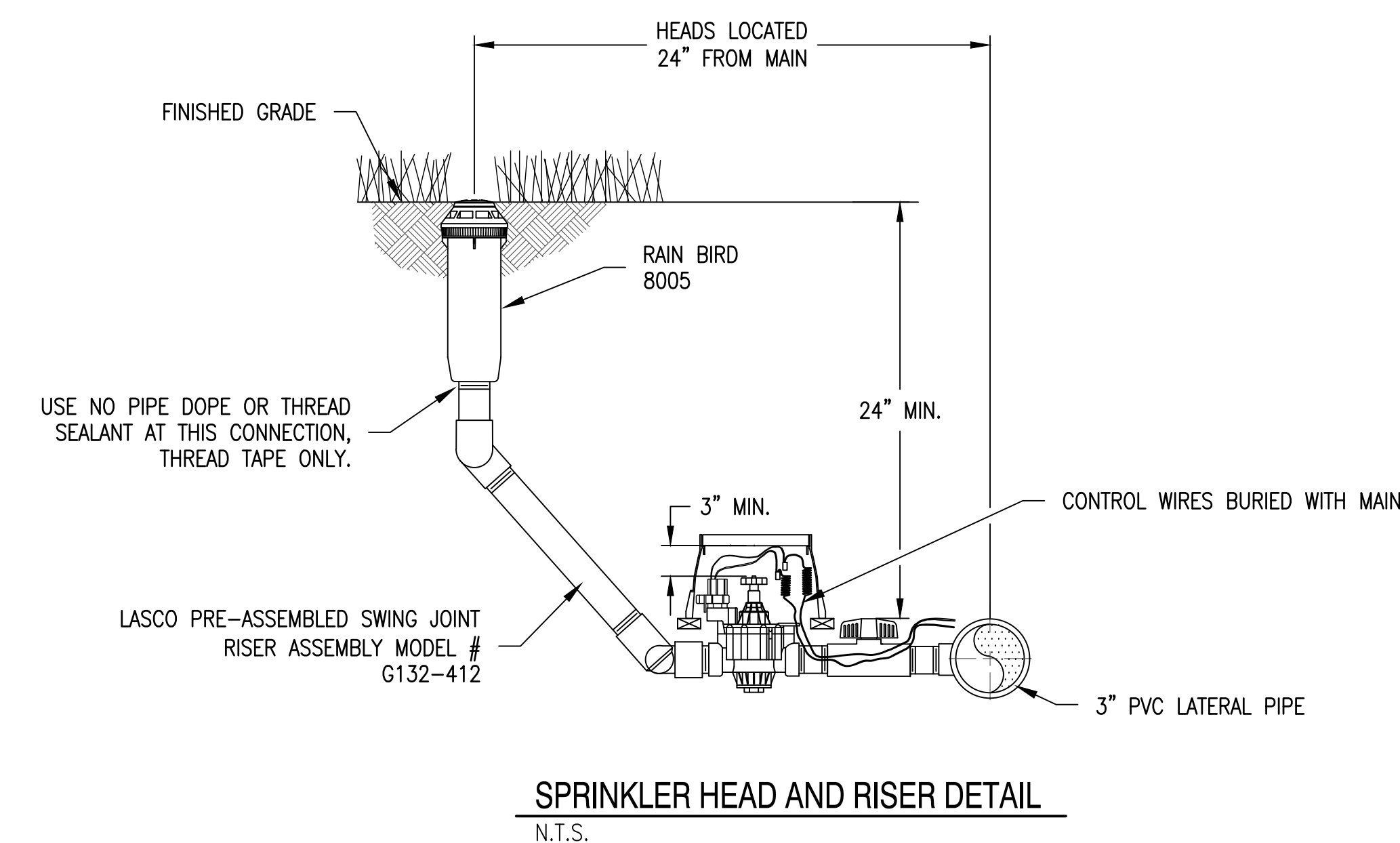
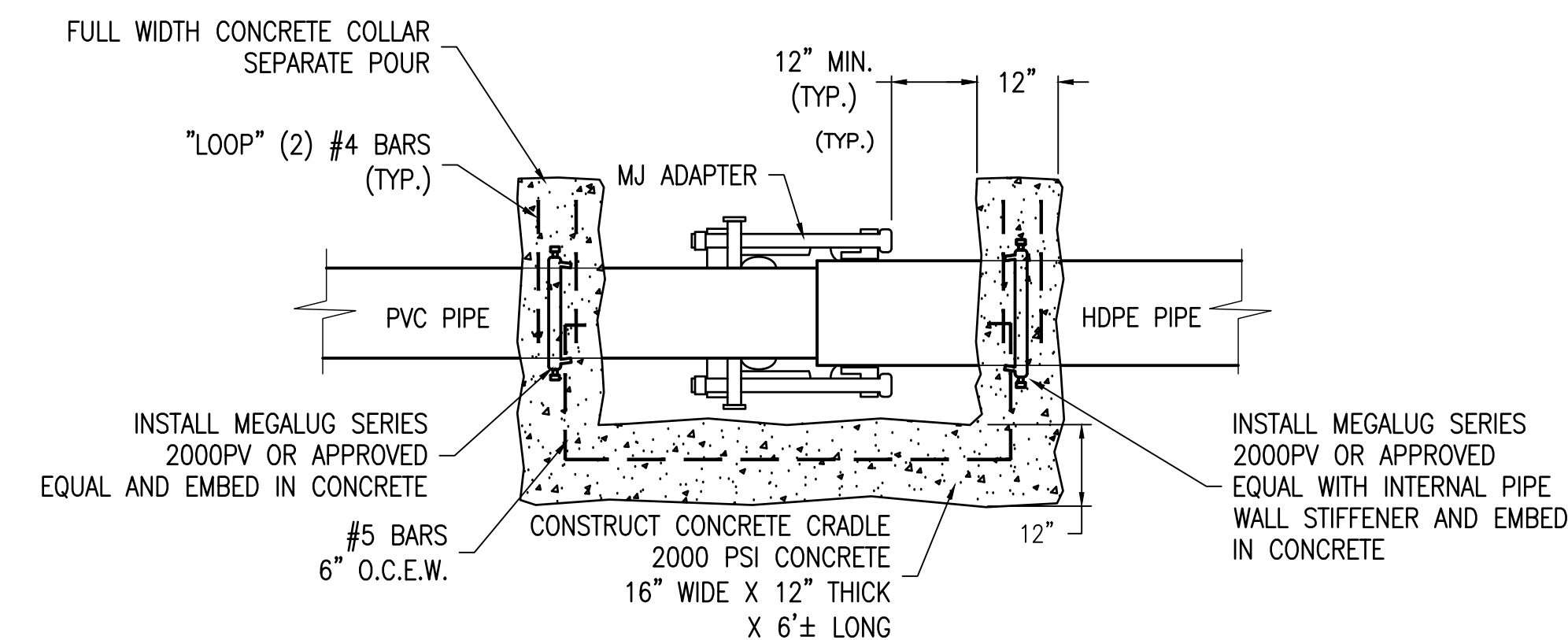
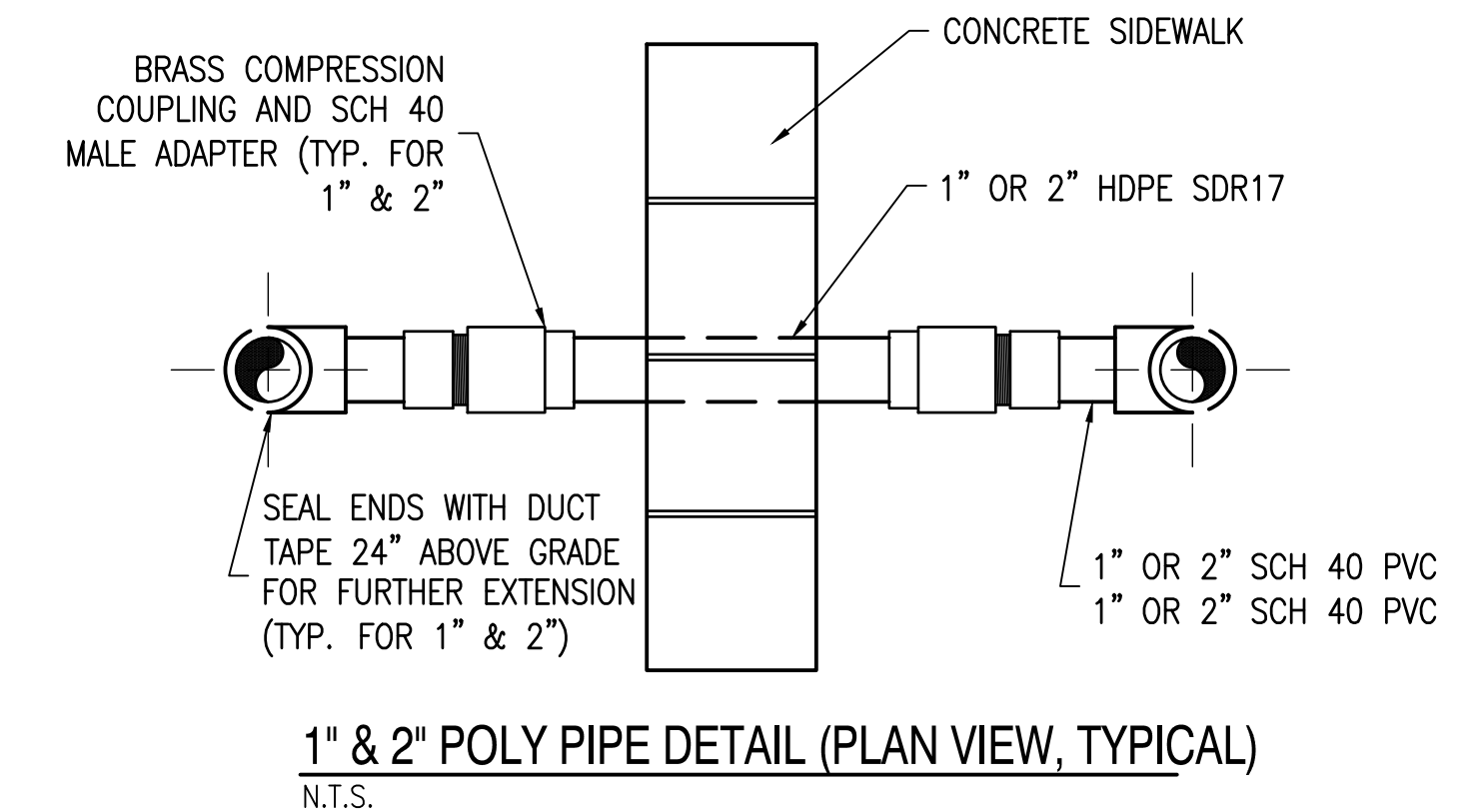
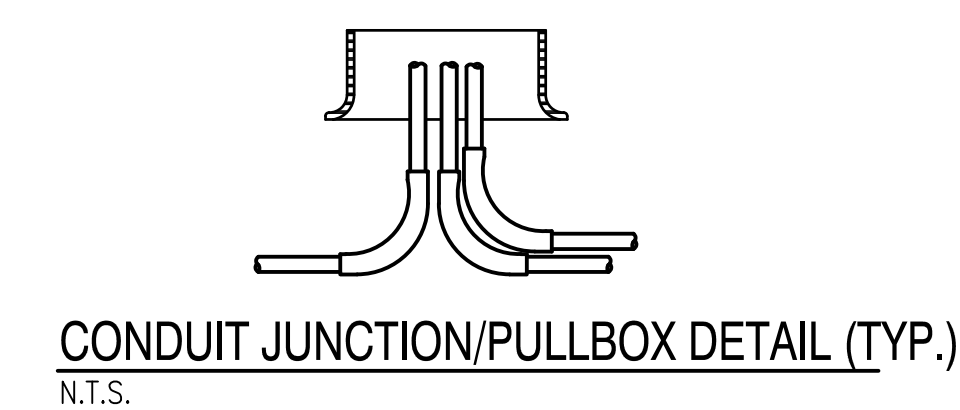
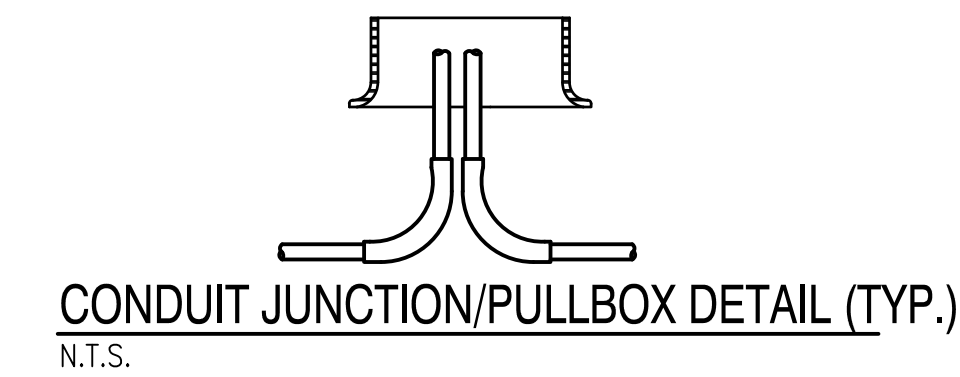
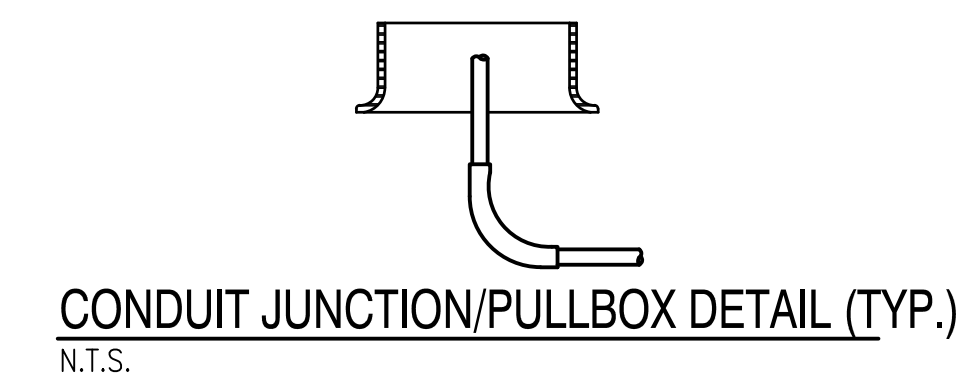
PLAYING FIELD IRRIGATION NOTES:

(IRRIGATION PLAN AND DETAILS PROVIDED BY OWNER)

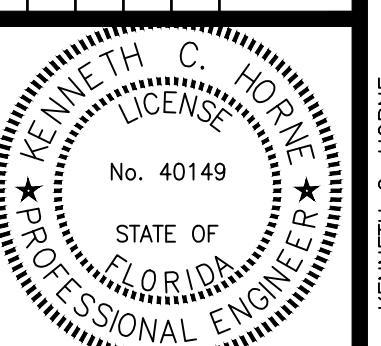
- ALL PROPOSED PIPE WILL BE 3 INCH SCH 40 PVC, UNLESS SHOWN OTHERWISE. ALL MATERIALS WILL BE SUPPLIED BY OWNER. CONTROL WIRES WILL BE INSTALLED PRIOR TO BACKFILLING. A SUPPORTED VALVE BOX WILL BE BURIED TO PROTECT IRRIGATION VALVES.
- INSTALLATION OF HEADS AND ELECTRIC VALVES WILL BE THE RESPONSIBILITY OF OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR THE SERVICE "T" AND BALL VALVE.
- EXTREME CARE MUST BE GIVEN TO PRESERVE IRRIGATION MAINS AND BALL VALVES DURING BACKFILLING. MAINS SHOULD BE PRESSURE TESTED, SEE TECHNICAL SPECIFICATIONS, PRIOR TO BACKFILL OF TOPSOIL.
- OWNER TO ASSEMBLE HEADS AND PROVIDE TO CONTRACTOR, CONTRACTOR TO INSTALL.
- FIELD VERIFY IRRIGATION LAYOUT WITH OWNER.
- OWNER TO PROVIDE ALL MATERIAL EXCEPT CLEANER AND GLUE.
- OWNER TO PROVIDE ELECTRIC VALVE, CONTROL WIRES AND SWING JOINT, CONTRACTOR TO INSTALL.
- OWNER TO PROVIDE TEES AND ELBOWS, CONTRACTOR TO INSTALL.
- COORDINATE IRRIGATION WITH STORM DRAINAGE, UTILITIES & UNDER DRAINS.

NOTES:

- CONTRACTOR SHALL GUARANTEE THE INSTALLATION WORKMANSHIP FOR A PERIOD OF ONE-YEAR FROM THE DATE OF COMPLETION.
- ALL 2" PVC PIPE SHALL BE SCHEDULE 40, NSF-PW, AND SHALL CONFORM TO ASTM D-1785.
- ALL SOLVENT WELD FITTINGS SHALL BE SCHEDULE 40, NSF-PW, AND SHALL CONFORM TO ASTM D-2466.
- ALL 4" FITTINGS SHALL BE CAST IRON M-J.
- ALL PIPE JOINTS AND CONNECTIONS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. PERFORM ALL SOLVENT-WELD CONNECTIONS IN ACCORDANCE WITH ASTM D-2855.
- ALL THREADED PVC PIPE FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 80 AS SET FORTH IN ASTM D-2464.
- ALL PVC CEMENT SHALL MEET ASTM D-2564. ALL PVC CLEANER SHALL MEET ASTM F-656.
- ALL 4" WELDS SHALL BE MADE WITH UNITED ELCHEM IND. UNI-WELD 1700, HEAVY BODIED-GRAY.
- ALL 2" AND SMALLER WELDS SHALL BE WITH UNITED ELCHEM IND. UNI-WELD 2400.
- ALL POLYETHYLENE PIPE (PE) TO BE HIGH DENSITY (HD) PE, SDR.
- ALL CONNECTIONS BETWEEN HDPE AND PVC SHALL BE WITH MECHANICAL JOINT (MJ) FITTINGS.
- WHERE HDPE PIPE IS INSTALLED BENEATH PAVEMENT, NO SLEEVE IS REQUIRED.



NO.	DATE	REVISIONS



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PENSACOLA CHRISTIAN COLLEGE
WEST FIELD
IRRIGATION DETAILS
FLORIDA
ESCAMBIA

DRAWN BY: PJC	DESIGNED BY: GMS	CHECKED BY: KCH	DATE: 5/25/17	SCALE: N.T.S.	NOT FOR CONSTRUCTION
PROJECT NO: 2016-67	C503	SHEET: 19	OF 19	BY: BAMEL	

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