

AGENDA
ESCAMBIA COUNTY BOARD OF ADJUSTMENT
SPECIAL MEETING
December 7, 2016–8:30 a.m.
Escambia County Central Office Complex
3363 West Park Place, Room 104

1. Call to Order.
2. Swearing in of Staff and acceptance of Staff as expert witnesses.
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.
4. Proof of Publication and waive the reading of the legal advertisement.
5. **Consideration of the following case:**

A. **CASE NO.: AP-2016-01**

ADDRESS: 1999 Massachusetts Avenue

REQUESTED APPEAL: Appeal of the Development Review Committee denial of project # PSP160400044, Sean's Outpost

REQUESTED BY: William J. Dunaway, Agent for Sean's Outpost, Inc.

6. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, December 21, 2016 at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

7. Adjournment.

Audio CD of this meeting is available upon request.



DEVELOPMENT SERVICES ADMINISTRATIVE APPEAL WORKSHEET

Board of Adjustment Special Meeting

5. A.

Meeting Date: 12/07/2016

I. SUBMISSION DATA:

APPLICANT:	William J. Dunaway, Agent for Sean's Outpost, Inc.
DATE OF ADMINISTRATIVE DECISION:	10/12/2016
DATE OF APPEAL APPLICATION:	10/27/2016
PROJECT ADDRESS:	1999 Massachusetts Avenue
PROPERTY REFERENCE NO.:	12-2S-30-7002-000-000
ZONING DISTRICT:	HC/LI, Heavy Commercial and Light Industrial district
FUTURE LAND USE:	MU-U, Mixed-Use Urban

III. REQUESTED APPEAL::

The Applicant is requesting an appeal of the Development Review Committee's (DRC) denial of project # PSP160400044, Sean's Outpost.

III. RELEVANT APPEAL AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section: 2-6.10(b)(3)

Section 2-6-10, Appeal of Administrative Decisions of the Escambia County Land Development Code (Ordinance No. 96-3 as amended), provide the relevant authority for the BOA's review of administrative decisions.

(b) Appeal process. Conditions that may justify modification of administrative decisions are evaluated through quasi-judicial public hearing review by the Board of Adjustment (BOA).

(3) Compliance review. The BOA shall conduct the quasi-judicial public hearing to consider the appeal of an administrative decision. The applicant has the burden of presenting competent substantial evidence to the board that establishes each of the

following conditions with regard to the decision being appealed:

a. Arbitrary or capricious. The decision of the administrative official was neither required nor supported by the Comprehensive Plan or the LDC and was therefore arbitrary or capricious.

b. LDC noncompliance. The specific LDC provisions identified in the appeal application are appropriate to the decision and the decision was not in compliance with those provisions.

c. Adverse impact. The applicant's property will suffer an adverse impact as a result of the decision if it is not modified.

d. Protected interest. The adverse impact is to a specific interest protected or furthered by the LDC or Comprehensive Plan.

e. Greater impact. The adverse impact adversely affects the applicant in a greater degree than any adverse impact shared by the community at large; and, if the applicant is a third party to the decision, the adverse impact peculiar to the applicant differs in kind (as opposed to degree) to any suffered by the community as a whole.

IV. BACKGROUND INFORMATION

The project in question was submitted to the county DRC for the purpose of obtaining Development Order (DO) approval. As with all projects submitted to the DRC, the assigned reviewers then reviewed the plan for LDC compliance.

Following the reviews it was determined that this submittal did not meet all of the conditions for approval and the project was denied at the October 12, 2016 DRC meeting.

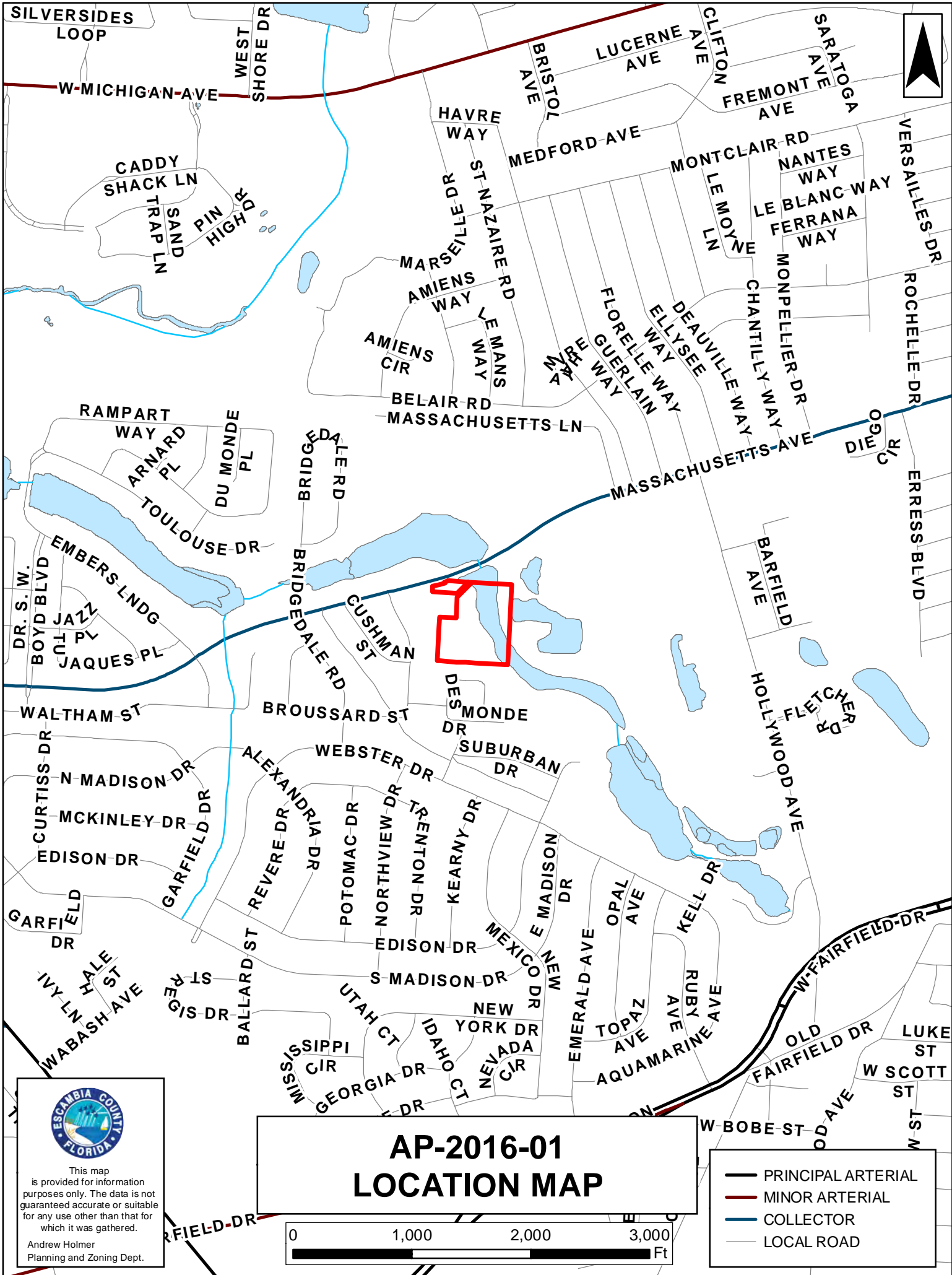
The Applicant met with staff to discuss the option of appeal and the case was submitted on October 27, 2016, meeting the required time frame set forth in LDC 2-6.10(b)(1).

Staff then scheduled the BOA hearing for Dec. 7, 2016, also meeting the time time frame of LDC 2-6.10(b)(1).





Attachments

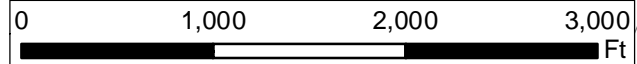

AP-2016-01

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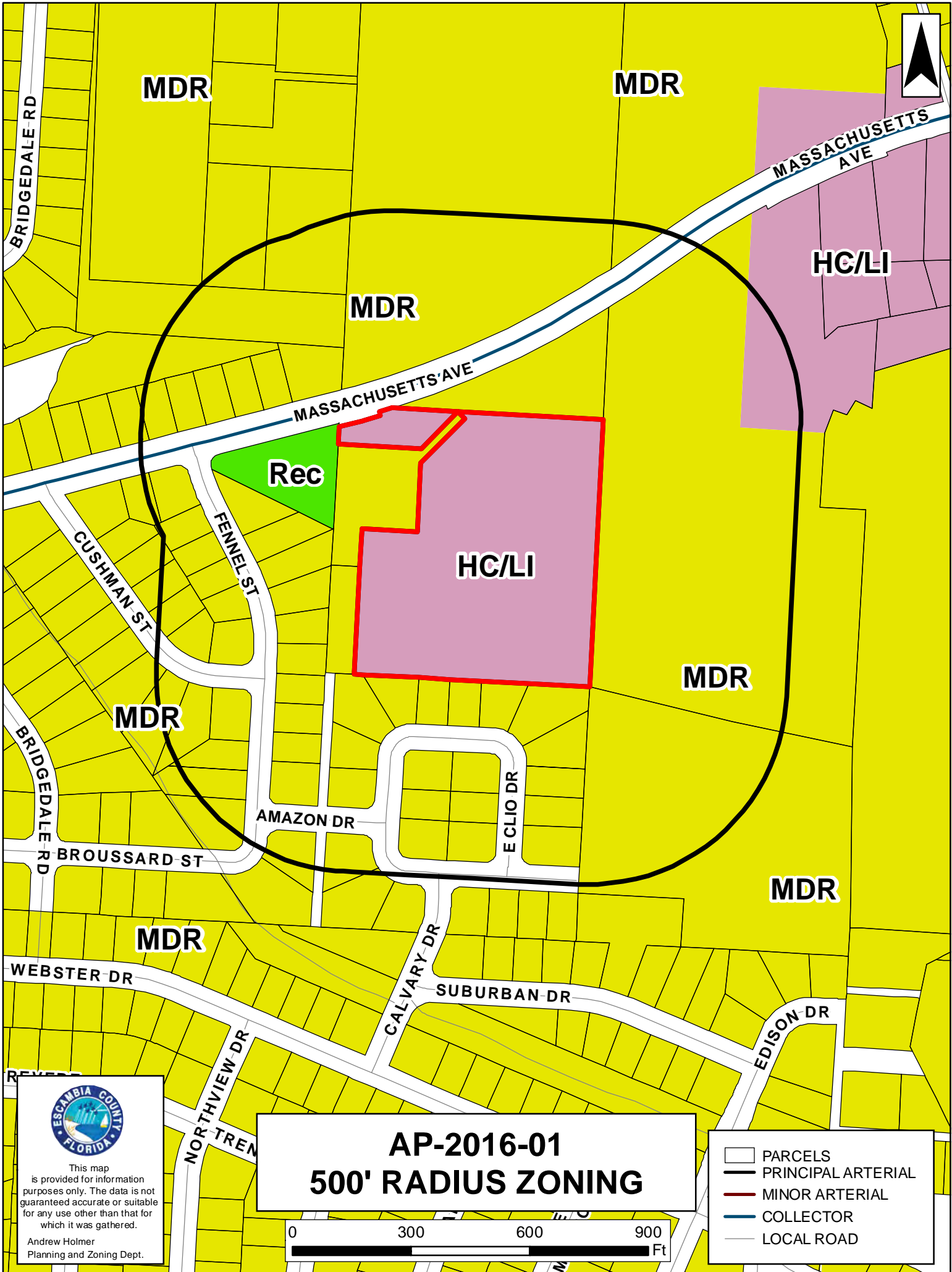
AP-2016-01 LOCATION MAP

-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD

This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.



MDR

MDR

HC/LI

MDR

Rec

HC/LI

MDR

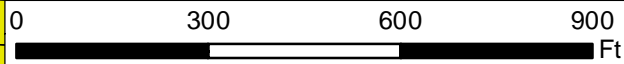

MDR

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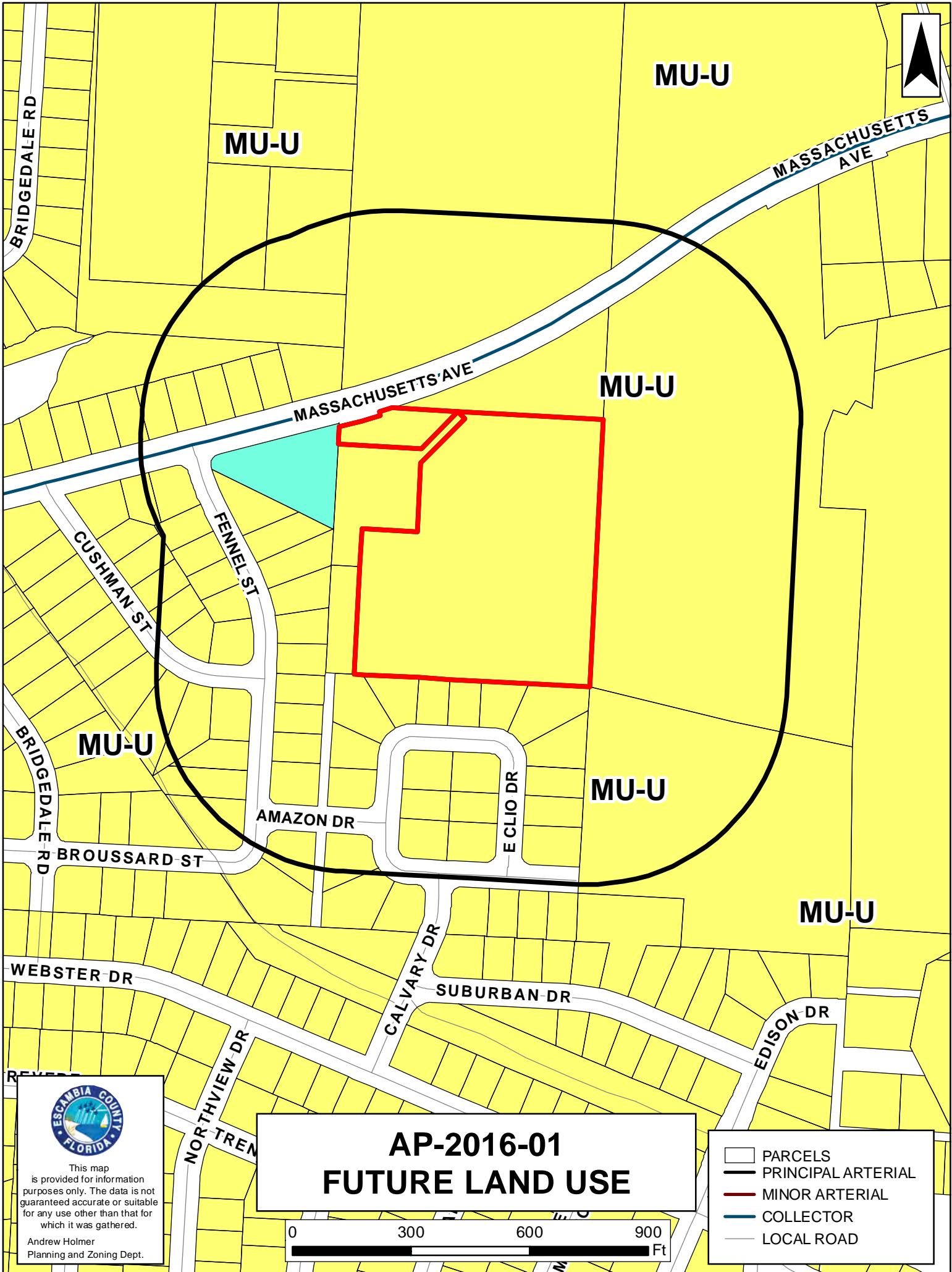
AP-2016-01 500' RADIUS ZONING

- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD

This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.



MU-U

MU-U






MU-U

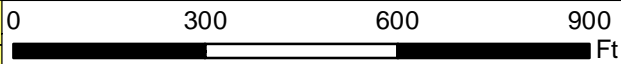

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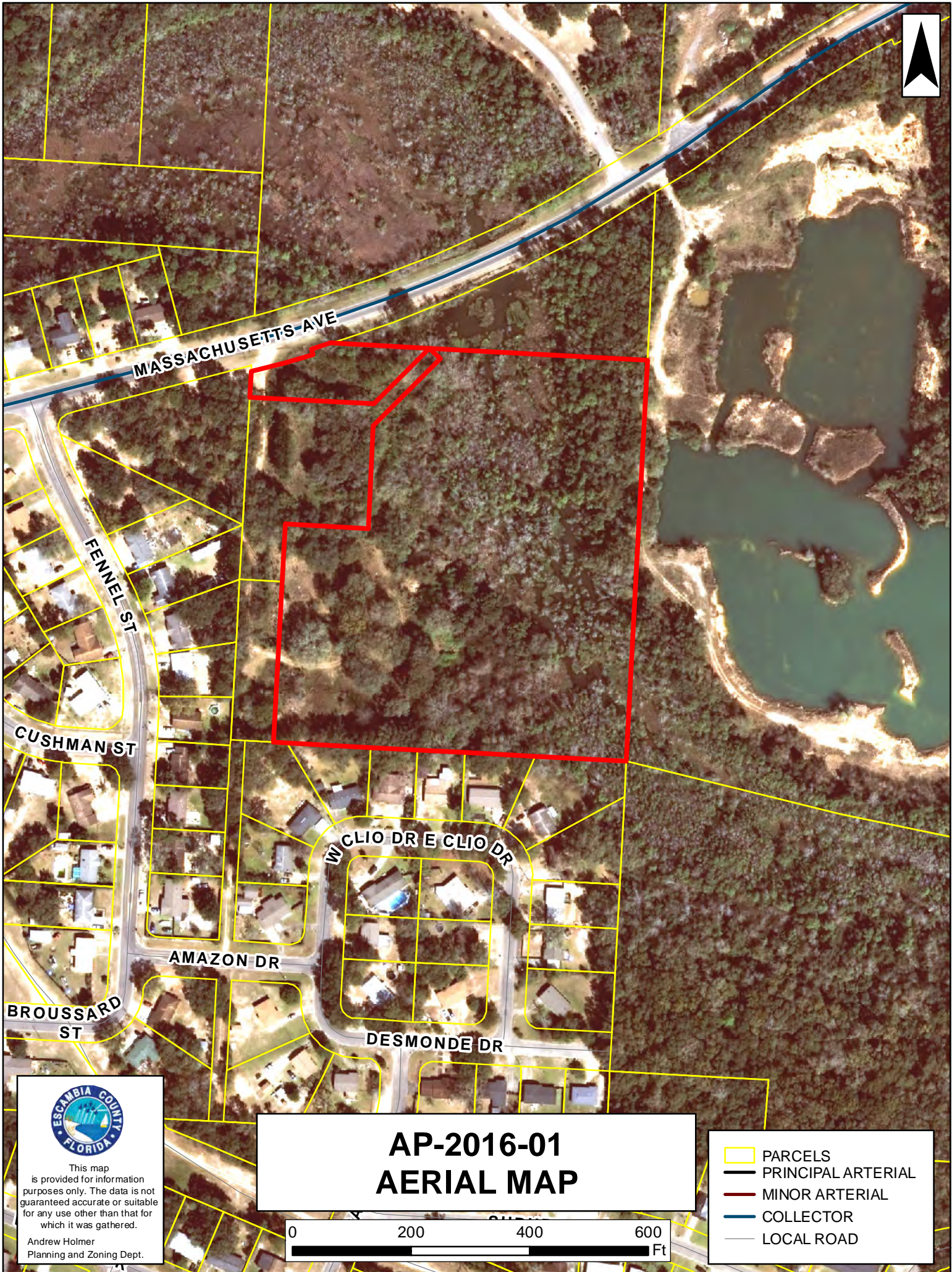
AP-2016-01 FUTURE LAND USE

-  PARCELS
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD

This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

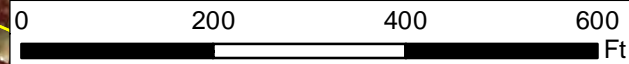
Andrew Holmer
Planning and Zoning Dept.








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Planning and Zoning Dept.

AP-2016-01 AERIAL MAP



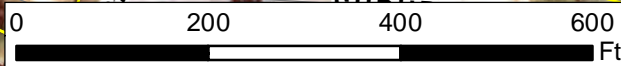
-  PARCELS
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD



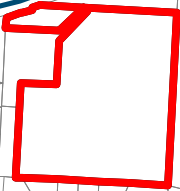
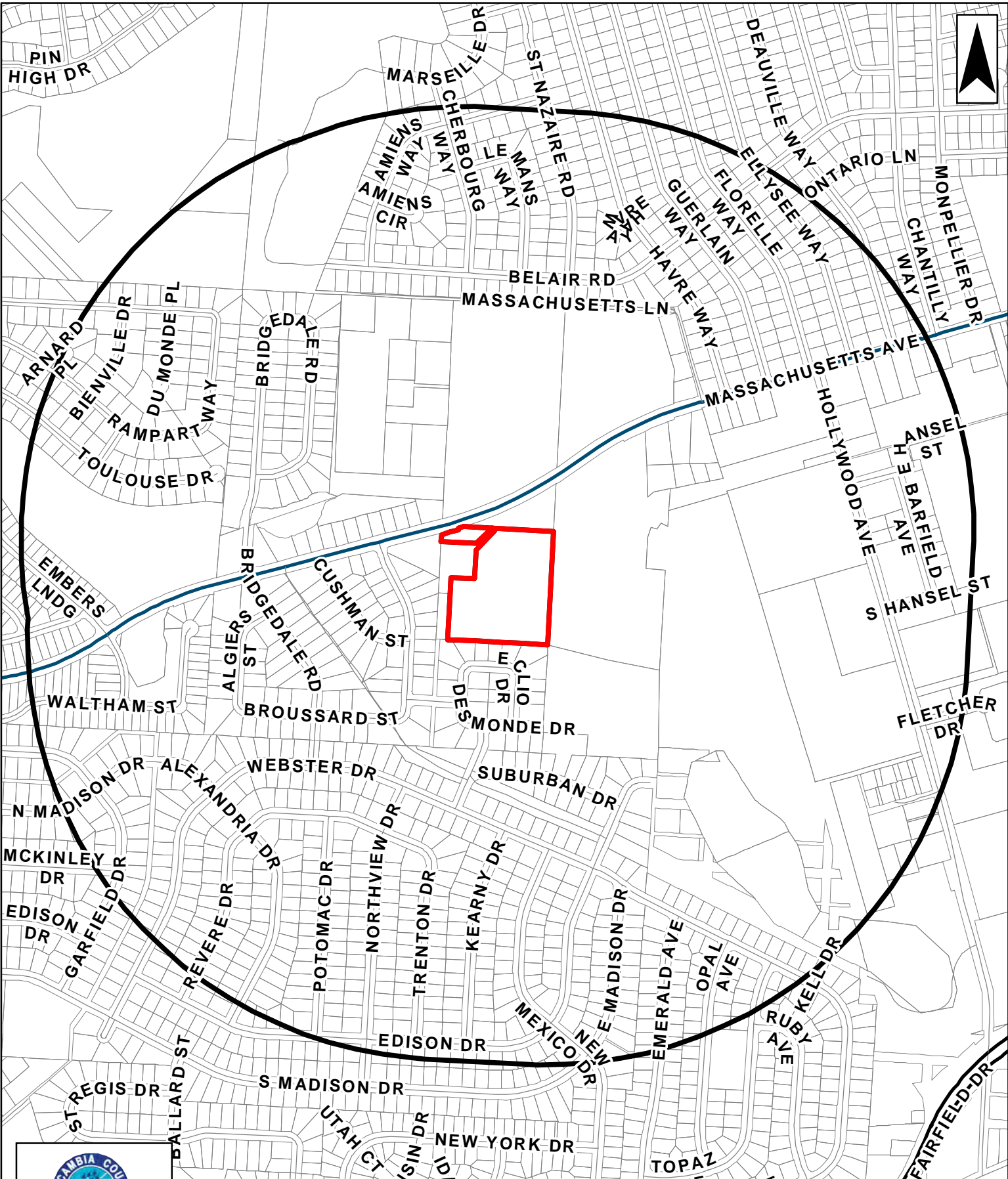

This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

AP-2016-01 WETLANDS MAP



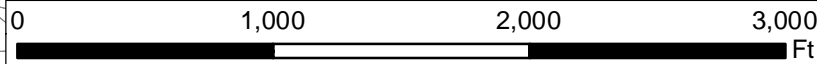
- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- WETLANDS_2006









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Andrew Holmer
Planning and Zoning Dept.

AP-2016-01
2500' MAILING RADIUS



-  PARCELS
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD



William J. Dunaway
Direct (850) 208-7020
wdunaway@clarkpartington.com
Licensed to Practice in Florida and Mississippi

October 27, 2016

Via Hand Delivery

Escambia County Board of Adjustment
c/o Escambia County Planning and Zoning
Development Services Department
3363 West Park Place
Pensacola, FL 32505

**Re: Appeal of Development Review Committee Final Determination
(Project # PSP160400044) Sean's Outpost – Satoshi Forest**

Dear Board Members:

I represent Sean's Outpost, Inc. ("Sean's Outpost") in their ongoing efforts to improve the lives of Escambia County's less fortunate citizens by providing them with a safe place to exist. Specifically, Sean's Outpost has been for the past three years allowing individuals and families to live in tents on their Heavy Commercial – Light Industry (HC/LI) zoned 8.82-acre parcel located at 1999 Massachusetts Ave., Pensacola FL, 32505. There are no permanent structures on the site and known are proposed in the application.

In 2014, the County issued a code violation citation to Sean's Outpost because of the use of tents (temporary structures) on the property. After challenging the validity of the citation, a Special Magistrate found that there was no violation and dismissed the citation. Following several years of relative peace, the County again issued a code violation citation in January 2016. After several meetings with County officials, including the County Administrator, Sean's Outpost submitted a minor development site plan application to the Development Review Committee (DRC) on April 5, 2016. Following multiple meetings and discussions with the County staff about their comments and concerns regarding the site plan approval for the proposed project, on October 12, 2016, the proposal went before the DRC for a final review.

At the DRC, the issue was narrowed to the County claiming that the Design Standard Manual (DSM) Section 2.2 required the construction of an all-weather access road from Massachusetts Avenue all the way to the rear of the property in order to service the portable toilets. Even though Sean's Outpost did not believe that was a proper interpretation of the DSM, they nevertheless acquiesced to the requirement and asked the DRC to issue the permit with the all-weather road as a condition. Mr. Jones stated that because the all-weather road was not listed on the site plan, then the DRC should deny the permit. DRC denied the permit.

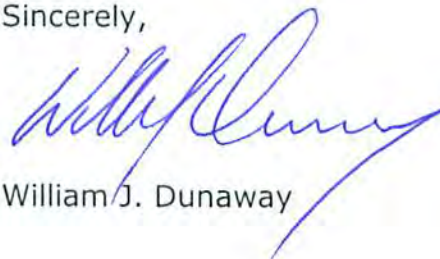
Sean's Outpost now appeals the final decision of the DRC to the Board of Adjustment (BOA) under the provisions of Section 2-1.4 and Section 2-6.10 of the Escambia County Land Development Code. The appeal is based on the fact that the underlying record clearly shows that the all-weather road was not desired to be built (and therefore was not part of the site plan), but when it was clear at the DRC that the all-weather road was the ONLY impediment to the issuance of the permit, Sean's Outpost clearly indicated on the record that it requested the DRC issue the permit with the all-weather road as a condition.

Permits are issued every day in Escambia County with conditions. For Mr. Jones to recommend and DRC to deny this application solely on the basis of the fact that the condition was NOT already shown on the site plan was wrong. Recall that Sean's Outpost was not requesting authorization to develop anything – they simply filed the application so the County would approve their use of the property in a manner that had been occurring peaceably and compatibly for years. Site plans for similar actions are routinely hand drawn by applicants, but Sean's Outpost went to the trouble and expenses to have a professional engineer complete a full professional site plan because the County staff kept insisting that such a site plan was necessary. If the only requirement for the issuance of the permit was that the all-weather road be shown on the site plan, the DRC should have allowed Sean's Outpost the opportunity to draw it on the site plan.

Sean's Outpost request this Board overturn the denial by the DRC and issue the permit preferably without the all-weather road as a condition, but if necessary with the all-weather road as a condition.

Thank you for your time and attention to this matter. We will provide your Board with a more detailed briefing and analysis of these issues at the appropriate stage of this appeal. In the meantime, please do not hesitate to contact me should you or your Board have any questions.

Sincerely,



William J. Dunaway

WJD/sep

Enclosures

cc: Horace Jones (*Via email*)

Meredith Crawford (*Via email*)

Michael Kimberl (*Via email*)

**FLORIDA DEPARTMENT OF STATE
DIVISION OF CORPORATIONS****Detail by Entity Name****Florida Not For Profit Corporation**

SEAN'S OUTPOST, INC

Filing Information

Document Number	N13000006546
FEI/EIN Number	46-3699172
Date Filed	07/22/2013
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	11/15/2014

Principal Address1999 MASSACHSETTS AVE
PENSACOLA, FL 32514**Mailing Address**1999 MASSACHSETTS AVE
PENSACOLA, FL 32505**Registered Agent Name & Address**MCKENZIE, ALISTAIR
905 E HATTON ST
PENSACOLA, FL 32503**Officer/Director Detail****Name & Address**

Title DIR

KING, JASON
2430 HENCYE DR
PENSACOLA, FL 32514

Title DIR

KIMBREL, MICHAEL
2430 HENCYE DR
PENSACOLA, FL 32514

Title DIR

KING, LESLIE
2430 HENCYE DR
PENSACOLA, FL 32514

Annual Reports

Report Year	Filed Date
2014	11/15/2014
2015	04/30/2015

Document Images

<u>04/30/2015 -- ANNUAL REPORT</u>	View Image in PDF format
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<u>11/15/2014 -- REINSTATEMENT</u>	View image in PDF format
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<u>07/22/2013 -- Domestic Non-Profit</u>	View image in PDF format
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State of Florida, Department of State

2015 FLORIDA NOT FOR PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# N13000006546

Entity Name: SEAN'S OUTPOST, INC

Current Principal Place of Business:

1999 MASSACHSETTS AVE
PENSACOLA, FL 32514

Current Mailing Address:

1999 MASSACHSETTS AVE
PENSACOLA, FL 32505

FEI Number: 46-3699172

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

MCKENZIE, ALISTAIR
805 E HATTON ST
PENSACOLA, FL 32503 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Officer/Director Detail :

Title DIR
Name KING, JASON
Address 2430 HENGYE DR
City-State-Zip: PENSACOLA FL 32514

Title DIR
Name KIMBREL, MICHAEL
Address 2430 HENGYE DR
City-State-Zip: PENSACOLA FL 32514

Title DIR
Name KING, LESLIE
Address 2430 HENGYE DR
City-State-Zip: PENSACOLA FL 32514

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 817, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JASON KING

DIRECTOR

04/30/2015

Electronic Signature of Signing Officer/Director Detail

Date

**Electronic Articles of Incorporation
For**

N13000006546
FILED
July 22, 2013
Sec. Of State
mdickey

SEAN'S OUTPOST, INC

The undersigned incorporator, for the purpose of forming a Florida not-for-profit corporation, hereby adopts the following Articles of Incorporation:

Article I

The name of the corporation is:
SEAN'S OUTPOST, INC

Article II

The principal place of business address:
1999 MASSACHSETTS AVE
PENSACOLA, FL. 32514

The mailing address of the corporation is:
1999 MASSACHSETTS AVE
PENSACOLA, FL. 32505

Article III

The specific purpose for which this corporation is organized is:
TO CREATE LASTING SOLUTIONS TO HOMELESSNESS, HUNGER,
POVERTY, AND SOCIAL INJUSTICE

Article IV

The manner in which directors are elected or appointed is:
AS PROVIDED FOR IN THE BYLAWS.

Article V

The name and Florida street address of the registered agent is:
ALISTAIR MCKENZIE
905 E HATTON ST
PENSACOLA, FL. 32503

I certify that I am familiar with and accept the responsibilities of registered agent.

Registered Agent Signature: ALISTAIR MCKENZIE

N1300006546
FILED
July 22, 2013
Sec. Of State
mdickey

Article VI

The name and address of the incorporator is:

JASON KING
2430 HENCYE DR

PENSACOLA, FL 32514

Electronic Signature of Incorporator: JASON KING

I am the incorporator submitting these Articles of Incorporation and affirm that the facts stated herein are true. I am aware that false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s.817.155, F.S. I understand the requirement to file an annual report between January 1st and May 1st in the calendar year following formation of this corporation and every year thereafter to maintain "active" status.

Article VII

The initial officer(s) and/or director(s) of the corporation is/are:

Title: DIR
JASON KING
2430 HENCYE DR
PENSACOLA, FL. 32514

Title: DIR
MICHAEL KIMBREL
2430 HENCYE DR
PENSACOLA, FL. 32514

Title: DIR
LESLIE KING
2430 HENCYE DR
PENSACOLA, FL. 32514

Prepared by:

Wilson, Harrell, Farrington, Ford, et al., P.A.
307 South Palafox Street
Pensacola, Florida 32502

File Number: 1-48088

General Warranty Deed

Made this July 25, 2013 A.D. By Robert Dale, a married man, whose address is: P.O. Box 11850, Pensacola, FL 32534, hereinafter called the grantor, to Sean's Outpost, Inc., a Florida corporation, whose post office address is: 1999 Massachusetts Avenue, Pensacola, Florida 32505, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Escambia County, Florida, viz:

A PARCEL OF LAND LYING IN A PORTION OF SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: THE SOUTH 1/2 OF THE WEST 1/2 OF GOVERNMENT LOT 7, LESS THE WEST 210 FEET OF THE SOUTH 210 FEET OF THE NORTH 310 FEET; AND LESS THE 4TH ADDITION TO MAYFAIR SUBDIVISION; AND LESS AND EXCEPT THAT PORTION CONVEYED TO FLORIDA UTILITY COMPANY BY DEED IN OR BOOK 151, PAGE 715, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; AND LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OR BOOK 730, PAGE 157, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

TOGETHER WITH THAT CERTAIN EASEMENT DESCRIBED AS FOLLOWS: A PERMANENT ACCESS EASEMENT, 25 FEET IN WIDTH, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE 4TH ADDITION TO MAYFAIR SUBDIVISION AS RECORDED IN PLAT BOOK 6, PAGE 5, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 00°29' WEST ALONG A PROJECTION OF THE WEST BOUNDARY OF SAID SUBDIVISION A DISTANCE OF 580.5 FEET; THENCE NORTH 89°31' EAST A DISTANCE OF 211.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44°35' EAST A DISTANCE OF 125.00 FEET; THENCE SOUTH 45°25' EAST A DISTANCE OF 25.0 FEET; THENCE SOUTH 44°35' WEST A DISTANCE OF 150 FEET; THENCE NORTH 00°29' WEST A DISTANCE OF 35.35 FEET TO THE POINT OF BEGINNING, LYING IN SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

THE ABOVE DESCRIBED PROPERTY IS NOT THE CONSTITUTIONAL HOMESTEAD OF THE GRANTOR.

Parcel ID Number: 12-2S-30-7002-000-000


Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


To Have and to Hold, the same in fee simple forever.


And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2012.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Printed Name Tracy Jatin


Robert Dale
Address: P.O. Box 11850, Pensacola, FL 32534


Witness Printed Name DONNA SCHUMACHER


Prepared by:

Wilson, Harrell, Farrington, Ford, et.al., P.A.
307 South Palafox Street
Pensacola, Florida 32502

File Number: 1-48088

State of Florida
County of Escambia

The foregoing instrument was acknowledged before me this 25th day of July, 2013, by Robert Dale, a married man, who is/are personally known to me or who has produced RL identification.



Notary Public
Print Name: Tracy Patton
My Commission Expires: 4/11/14



**RESIDENTIAL SALES ABUTTING ROADWAY
MAINTENANCE DISCLOSURE**

ATTENTION: Pursuant to Escambia County Code of Ordinances Chapter 1-29.2, Article V, sellers of residential lots are required to disclose to buyers whether abutting roadways will be maintained by Escambia County. The disclosure must additionally provide that Escambia County does not accept roads for maintenance that have not been built or improved to meet county standards. Escambia County Code of Ordinances, Chapter 1-29.2, Article V, requires that this disclosure be attached, along with other attachments to the deed or other method of conveyance required to be made part of the public records of Escambia County, Florida. NOTE: Acceptance for filing by County employees of this disclosure shall in no way be construed as an acknowledgement by the county of the veracity of any disclosure statement.

NAME OF ROADWAY: 1999 Massachusetts Avenue

LEGAL ADDRESS OF PROPERTY: 1999 Massachusetts Avenue, Pensacola, Florida 32505

The County (X) has accepted () has not accepted the abutting roadway for maintenance.

This form completed by:


Wilson, Harrell, Farrington, Ford, Wilson, Spain & Parsons P.A.
13020 Sorrento Road
Pensacola, FL 32507

AS TO SELLER(S):

WITNESSES TO SELLER(S):



Robert Dale


Printed Name: Tracy Retin



Printed Name: DONNA SCHUMACHER


AS TO BUYER(S):

WITNESSES TO BUYER(S):



Sean's Outpost, Inc., a Florida corporation
By: Jason King, Director


Printed Name: Tracy Retin


Printed Name: DONNA SCHUMACHER

This form approved by the
Escambia County Board
of County Commissioners
Effective: 4/15/95

Compatibility and Location Criteria Analysis

1999 Massachusetts Avenue

This is an 8.5 acre heavily wooded site located in the west Pensacola area at 1999 Massachusetts Avenue. Major existing land uses surrounding the property include a cemetery to the north, an abandoned barrow pit on the east, single family homes to the south a county park and vacant lots adjacent and west of the site.

The site is zoned Heavy Commercial- Light Industry HC/LI and has future land use classification of Mixed Use – Urban MU-U. Uses allowed under the HC/LI include the following:

LDC Sec. 3-2.11(b)(5)b

Recreation and entertainment.

b. Commercial recreation facilities, passive or active, including those for walking, hiking, bicycling, camping, recreational vehicles, swimming, skateboarding, bowling, court games, field sports, and golf, but excluding off-highway vehicle uses and outdoor shooting ranges. Campgrounds and recreational vehicle parks require a minimum lot area of five acres.

The site has been used over the past several years as a campground facility which is contained in the allowed uses cited above.

With regard to location and compatibility matters, the Land Development Code contains the following:

LDC Sec. 3-2.11(e)(3)

(e) Location criteria. All new non-residential uses proposed within the HC/LI district that are not part of a planned unit development or not identified as exempt by district regulations shall be on parcels that satisfy at least one of the following location criteria:

(3) Documented compatibility. A compatibility analysis prepared by the applicant provides competent substantial evidence of unique circumstances regarding the parcel or use that were not anticipated by the alternative criteria, and the proposed use will be able to achieve long-term compatibility with existing and potential uses. Additionally, the following conditions exist:

a. The parcel has not been rezoned by the landowner from the mixed-use, commercial, or industrial zoning assigned by the county.

RESPONSE: The landowner has not requested any change to the existing zoning.

b. If the parcel is within a county redevelopment district, the use will be consistent with the district's adopted redevelopment plan, as reviewed and recommended by the Community Redevelopment Agency (CRA).

RESPONSE: According to the county list of redevelopment areas, this site and area are not identified as being within a designated redevelopment district.

As discussed earlier, the site is zoned HC/LI with a MU-U land use designation. By way of comparison, the Tall Oaks Campground near Pine Forest Road and Nine Mile Road intersection has a similar zoning and land use classification and has been in existence for over thirty-one years. The rear of the site touches a subdivision to the west with a MU-U land use which is the same as the land use classification for properties surrounding the Massachusetts Avenue site. Both sites have the same zoning and land use classifications with a campground as the existing use. Tall Oaks has demonstrated then, that a campground can coexist next to a residential subdivision.

With regard to the Massachusetts Avenue site, compatibility will be achieved with the application of vegetative buffering on the westerly and southern property lines. The scale and intensity of use as shown on the site plan will be small for the 8 acre site so as not to generate unreasonable noise, traffic or other nuisances to contiguous properties. The site plan identifies some 20 campsites located on approximately 4 acres of the developable portions of the site. Regarding intensity of use, the zoning category will permit up to 25 dwelling units per acre, conceivably permitting some 100 units on the property. The proposed 20 campsites would suggest less intensity and thus greater compatibility with surrounding properties.

Another metric concerning impacts is the amount of potential traffic to be generated by a project onto the street network. This is accomplished by using the FDOT Trip Generation spreadsheet by the Institute of Traffic

Engineers (ITE) that identifies trips produced based upon the land use and its size. In this case, a campground carries a ITE 416 use code showing a four acre campground site generating some 4 trips per day (see attached spreadsheets). For comparison, Fennel Street located west of the site, has some 25 residential units (ITE code 210) along its length and produces some 239 trips per day. By comparison, then, any campground traffic impact on the area will be deminimis.

Finally, vegetative buffering will be utilized as shown on the proposed site plan along the southern and westerly property lines as defined in the Land Development Code:

Buffer. A designated area with natural or manmade features functioning to minimize or eliminate adverse impacts on adjoining land uses, including environmentally sensitive lands.

This buffer will consist primarily of the existing trees and understory on the property to provide a natural and man-made buffered area.

Compatibility then, will be achieved by a small, low intense development producing little traffic or unreasonable dust, noise or other objectionable odors or hazards on a site that will provide buffered separation from neighboring properties.

Description/ITE Code FDOT	Units	ITE Vehicle Trip Generation Rates <small>(peak hours are for peak hour of adjacent street traffic unless highlighted)</small>								Expected Units	Total Generated Trips			
		Weekday	AM	PM	Pass-By	AM In	AM Out	PM In	PM Out		Daily	AM Hour	PM Hour	AM In
						NA	NA	NA	NA					
Waterport/Marine Terminal 010	Acres	11.93	NA	NA		NA	NA	NA	NA		0	NA	NA	NA
Waterport/Marine Terminal 010	Beitbs	171.52	NA	NA		NA	NA	NA	NA		0	NA	NA	NA
Commercial Airport 021	Employees	13.40	0.82	0.80		55%	45%	54%	46%		0	0	0	0
Commercial Airport 021	Avg Flights/Day	104.73	5.40	5.75		54%	46%	45%	55%		0	0	0	0
Commercial Airport 021	Corn. Flights/Day	122.21	6.43	6.88		55%	45%	54%	46%		0	0	0	0
General Aviation Airport 022	Employees	14.24	0.69	1.03		83%	17%	45%	55%		0	0	0	0
General Aviation Airport 022	Avg. Flights/Day	1.97	0.24	0.30		NA	NA	NA	NA		0	0	0	NA
General Aviation Airport 022	Based Aircraft	5.00	0.24	0.37		83%	17%	45%	55%		0	0	0	0
Truck Terminal 030	Acres	81.90	7.28	6.65		41%	59%	43%	57%		0	0	0	0
Truck Terminal 030	Employees	8.99	0.65	0.55		40%	60%	47%	53%		0	0	0	0
Park&Ride w/ Bus Service 090	Parking Spaces	4.50	0.72	0.62		81%	19%	23%	77%		0	0	0	0
Park&Ride w/ Bus Service 090	Acres	372.32	46.81	43.75		NA	NA	NA	NA		0	0	0	NA
Park&Ride w/ Bus Service 090	Occ. Spaces	9.52	1.26	0.81		69%	31%	26%	72%		0	0	0	0
Light Rail Station w/ Park 093	Parking Space	2.51	1.07	1.24		80%	20%	58%	42%		0	0	0	0
Light Rail Station w/ Park 093	Occ. Spaces	3.81	1.14	1.33		80%	20%	58%	42%		0	0	0	0
General Light Industrial 110	KSF ²	6.97	0.92	0.97		88%	12%	12%	88%		0	0	0	0
General Light Industrial 110	Acres	51.80	7.51	7.26		83%	17%	22%	78%		0	0	0	0
General Light Industrial 110	Employees	3.02	0.44	0.42		83%	17%	21%	79%		0	0	0	0
General Heavy Industrial 120	KSF ²	1.50	0.51	0.19		NA	NA	NA	NA		0	0	0	NA
General Heavy Industrial 120	Acres	6.75	1.98	2.16		NA	NA	NA	NA		0	0	0	NA
General Heavy Industrial 120	Employees	0.82	0.51	0.69		NA	NA	NA	NA		0	0	0	NA
Industrial Park 130	KSF ²	6.96	0.84	0.85		82%	18%	21%	79%		0	0	0	0
Industrial Park 130	Acres	63.11	8.55	8.84		83%	17%	21%	79%		0	0	0	0
Industrial Park 130	Employees	3.34	0.47	0.46		86%	14%	20%	80%		0	0	0	0
Manufacturing 140	KSF ²	3.62	0.73	0.73		78%	22%	36%	64%		0	0	0	0
Manufacturing 140	Acres	38.88	7.44	8.39		93%	7%	53%	47%		0	0	0	0
Manufacturing 140	Employees	2.13	0.40	0.35		73%	27%	44%	56%		0	0	0	0
Warehousing 150	KSF ²	3.56	0.30	0.32		79%	21%	25%	75%		0	0	0	0
Warehousing 150	Acres	57.23	10.03	8.69		72%	28%	35%	65%		0	0	0	0
Warehousing 150	Employees	3.69	0.51	0.59		72%	28%	35%	65%		0	0	0	0
Mini Warehouse 151	KSF ²	2.50	0.15	0.26		59%	41%	51%	49%		0	0	0	0
Mini Warehouse 151	Storage Units	0.25	0.02	0.02		67%	33%	NA	NA		0	0	0	0
Mini Warehouse 151	Acres	35.43	2.62	3.45		NA	NA	52%	48%		0	0	0	NA
Mini Warehouse 151	Employees	61.90	5.26	6.04		67%	33%	52%	48%		0	0	0	0
High-Cube Warehouse 152	KSF ²	1.44	0.09	0.10		65%	35%	33%	67%		0	0	0	0
Utilities 170	KSF ²	NA	0.80	0.76		NA	NA	45%	55%		0	0	0	NA
Utilities 170	Employees	NA	0.76	0.76		90%	10%	15%	85%		0	0	0	0
Single Family Homes 210	DU	9.57	0.75	1.01		25%	75%	63%	37%	25.0	239	19	25	5
Single Family Homes 210	Acres	26.04	2.06	2.74		31%	69%	66%	34%		0	0	0	0
Single Family Homes 210	Persons	2.55	0.21	0.28		31%	69%	66%	34%		0	0	0	0
Single Family Homes 210	Vehicles	6.02	0.61	0.67		31%	69%	66%	34%		0	0	0	0
Apartment 220	DU	6.65	0.51	0.62		20%	80%	65%	35%		0	0	0	0
Apartment 220	Persons	3.31	0.26	0.40		NA	NA	NA	NA		0	0	0	NA
Apartment 220	Vehicles	5.10	0.46	0.60		NA	NA	NA	NA		0	0	0	NA
Low Rise Apartment 221	Occ DU	6.59	0.46	0.58		21%	79%	65%	35%		0	0	0	0
High Rise Apartment 222	DU	4.20	0.30	0.35		25%	75%	61%	39%		0	0	0	0
Mid-Rise Apartment 223	DU	NA	0.30	0.39		31%	69%	58%	42%		0	0	0	0
Rental Townhouse 224	DU	NA	0.70	0.72		33%	67%	51%	49%		0	0	0	0
Resd. Condo/Townhouse 230	DU	5.81	0.44	0.52		17%	83%	67%	33%		0	0	0	0
Resd. Condo/Townhouse 230	Persons	2.49	0.19	0.24		16%	84%	67%	33%		0	0	0	0
Resd. Condo/Townhouse 230	Vehicles	3.34	0.24	0.32		16%	84%	66%	34%		0	0	0	0
Low Rise Resd. Condo 231	DU	NA	0.67	0.78		25%	75%	58%	42%		0	0	0	0
High Rise Resd. Condo 232	DU	4.18	0.34	0.38		19%	81%	62%	38%		0	0	0	0
Luxury Condo/Townhouse 233	Occ. DU	NA	0.66	0.66		23%	77%	63%	37%		0	0	0	0
Mobile Home Park 240	Occ. DU	4.99	0.44	0.59		20%	80%	62%	38%		0	0	0	0
Mobile Home Park 240	Persons	2.46	0.20	0.26		18%	82%	63%	37%		0	0	0	0
Mobile Home Park 240	Acres	39.61	3.20	4.45		18%	82%	63%	37%		0	0	0	0
Mobile Home Park 240	Vehicles	3.38	0.27	0.36		16%	84%	63%	37%		0	0	0	0
Senior Adult Housing-Detached 251	DU	3.71	0.22	0.27		35%	65%	61%	39%		0	0	0	0
Senior Adult Housing- Attached 252	Occ DU	3.48	0.13	0.18		36%	64%	60%	40%		0	0	0	0
Congregate Care Facility 253	Occ DU	2.15	0.08	0.17		61%	39%	56%	44%		0	0	0	0
Congregate Care Facility 253	DU	2.02	0.09	0.17		59%	41%	55%	45%		0	0	0	0
Assisted Living 254	Occ Beds	2.74	0.17	0.29		73%	27%	52%	48%		0	0	0	0
Assisted Living 254	Beds	2.66	0.14	0.22		65%	35%	44%	56%		0	0	0	0
Assisted Living 254	Employees	3.93	NA	0.55		NA	NA	NA	NA		0	NA	0	NA
Retirement Community 255	Occ. Units	2.81	0.18	0.29		64%	36%	48%	52%		0	0	0	0
Recreational Homes 260	DU	3.10	0.10	0.20		67%	33%	41%	59%		0	0	0	0
Recreational Homes 260	Acres	1.33	0.07	0.11		67%	33%	41%	59%		0	0	0	0
Timeshare 265	DU	10.03	0.48	0.75		NA	NA	NA	NA		0	0	0	NA
Residential PUD 270	DU	7.50	0.51	0.62		22%	78%	65%	35%		0	0	0	0
Residential PUD 270	Acres	46.78	2.86	4.05		NA	NA	NA	NA		0	0	0	NA
Hotel 310	Occ. Room	8.92	0.67	0.70		58%	42%	49%	51%		0	0	0	0
Hotel 310	Rooms	8.17	0.56	0.59		61%	39%	53%	47%		0	0	0	0
Hotel 310	Employees	14.34	0.69	0.80		60%	40%	54%	46%		0	0	0	0
All Suites Hotel 311	Occ. Room	6.24	0.48	0.55		67%	33%	42%	58%		0	0	0	0
All Suites Hotel 311	Rooms	4.90	0.38	0.40		55%	45%	45%	55%		0	0	0	0

Business Hotel 312	Occ. Room	7.27	0.59	0.52	59%	41%	60%	40%	0	0	0	0
Business Hotel 312	Employees	72.87	7.17	7.90	59%	41%	60%	40%	0	0	0	0
Motel 320	Occ. Room	9.11	0.64	0.59	36%	64%	54%	46%	0	0	0	0
Motel 320	Rooms	5.63	0.45	0.47	36%	64%	54%	46%	0	0	0	0
Motel 320	Employees	12.81	0.91	0.73	54%	46%	54%	46%	0	0	0	0
Resort Hotel 330	Occ. Room	13.43	0.37	0.49	72%	28%	43%	57%	0	0	0	0
Resort Hotel 330	Rooms	NA	0.91	0.42	72%	28%	43%	57%	0	0	0	0
Resort Hotel 330	Employees	13.58	0.15	0.25	69%	31%	40%	60%	0	0	0	0
City Park 411	Acres	1.59	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
City Park 411	Picnic Sites	5.87	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
County Park 412	Acres	2.28	0.01	0.05	80%	20%	41%	59%	0	0	0	0
State Park 413	Acres	0.65	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
State Park 413	Picnic Sites	9.95	NA	0.55	NA	NA	43%	57%	0	NA	0	NA
State Park 413	Employees	42.55	NA	4.67	NA	NA	43%	57%	0	NA	0	NA
Water Slide Park 414	Parking Space	2.27	0.08	0.28	70%	30%	21%	79%	0	0	0	0
Beach Park 415	Acres	29.81	0.48	1.30	59%	41%	29%	71%	0	0	0	0
Campground/RV Park 416	Acres	NA	0.48	0.98	42%	58%	69%	31%	4.0	2	4	1
Regional Park 417	Acres	4.57	0.15	0.20	57%	43%	45%	55%	0	0	0	0
Regional Park 417	Picnic Sites	61.82	4.00	8.60	75%	25%	41%	59%	0	0	0	0
Regional Park 417	Employees	79.77	4.59	10.26	65%	35%	45%	55%	0	0	0	0
National Monument 418	Acres	5.37	0.23	0.42	NA	NA	NA	NA	0	0	0	NA
National Monument 418	Employees	31.05	3.05	5.58	NA	NA	NA	NA	0	0	0	NA
Marina 420	Berths	2.96	0.08	0.19	33%	67%	60%	40%	0	0	0	0
Marina 420	Acres	20.93	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
Golf Course 430	Acres	5.04	0.21	0.30	74%	26%	34%	66%	0	0	0	0
Golf Course 430	Employees	20.52	1.01	1.48	68%	32%	48%	52%	0	0	0	0
Golf Course 430	Holes	35.74	2.23	2.76	79%	21%	45%	55%	0	0	0	0
Miniature Golf Course 431	Holes	NA	NA	0.33	NA	NA	33%	67%	0	NA	0	NA
Golf Driving Range 432	Tees	13.65	0.40	1.25	61%	39%	45%	55%	0	0	0	0
Batting Cages 433	Cages	NA	NA	2.22	NA	NA	55%	45%	0	0	0	NA
Multipurpose Rec. Facility 435	Acres	90.98	1.92	5.77	NA	NA	NA	NA	0	0	0	NA
Bowling Alley 437	KSF ²	33.33	3.13	3.54	60%	40%	35%	65%	0	0	0	0
Live Theater 441	Seats	NA	NA	0.02	NA	NA	50%	50%	0	NA	0	NA
Movie Theater w/o matinee 443	KSF ²	78.05	0.22	6.16	NA	NA	94%	6%	0	0	0	NA
Movie Theater w/o matinee 443	Movie Screens	220.00	NA	24.00	NA	NA	41%	59%	0	NA	0	NA
Movie Theater w/o matinee 443	Seats	1.78	0.01	0.07	NA	NA	75%	25%	0	0	0	NA
Movie Theater w/o matinee 443	Employees	53.12	0.15	4.20	NA	NA	NA	NA	0	0	0	NA
Movie Theater w/ matinee 444	KSF ²	99.28	NA	3.80	NA	NA	64%	36%	0	NA	0	NA
Movie Theater w/ matinee 444	Movie Screens	546.86	NA	20.22	NA	NA	40%	60%	0	NA	0	NA
Movie Theater w/ matinee 444	Seats	2.24	NA	0.07	NA	NA	39%	61%	0	NA	0	NA
Multiplex Movie Theater 445	KSF ²	NA	NA	4.91	NA	NA	62%	38%	0	NA	0	NA
Multiplex Movie Theater 445	Movie Screens	NA	NA	13.04	NA	NA	45%	55%	0	NA	0	NA
Multiplex Movie Theater 445	Seats	NA	NA	0.08	NA	NA	36%	64%	0	NA	0	NA
Horse Track 452	Acres	43.00	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
Horse Track 452	Employees	2.60	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
Dog Track 454	Attendees	NA	NA	0.15	NA	NA	8%	92%	0	NA	0	NA
Arena 460	Acres	33.33	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
Arena 460	Employees	10.00	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
Ice Rink 465	Seats	1.26	NA	0.12	NA	NA	NA	NA	0	NA	0	NA
Casino/Lottery Establishment 473	KSF ²	NA	NA	13.43	NA	NA	56%	44%	0	NA	0	NA
Amusement Park 480	Acres	75.79	0.21	3.95	88%	12%	61%	39%	0	0	0	0
Amusement Park 480	Employees	8.33	0.03	0.50	88%	12%	61%	39%	0	0	0	0
Zoo 481	Acres	114.88	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
Zoo 481	Employees	23.93	NA	NA	NA	NA	NA	NA	0	NA	NA	NA
Soccer Complex 488	Fields	71.33	1.40	20.67	50%	50%	69%	31%	0	0	0	0
Tennis Courts 490	Acres	16.26	0.81	1.39	NA	NA	NA	NA	0	0	0	NA
Tennis Courts 490	Courts	31.04	1.57	3.88	NA	NA	NA	NA	0	0	0	NA
Tennis Courts 490	Employees	66.67	3.33	5.67	NA	NA	NA	NA	0	0	0	NA
Racquet Club 491	Courts	38.70	1.31	3.35	NA	NA	NA	NA	0	0	0	NA
Racquet/Tennis Club 491	KSF ²	14.03	0.84	1.06	NA	NA	NA	NA	0	0	0	NA
Racquet/Tennis Club 491	Employees	45.71	1.86	4.95	NA	NA	NA	NA	0	0	0	NA
Health/Fitness Club 492	KSF ²	32.93	1.38	3.53	45%	55%	57%	43%	0	0	0	0
Athletic Club 493	KSF ²	43.00	2.97	5.95	61%	39%	62%	38%	0	0	0	0
Recreational Com. Center 495	KSF ²	22.85	1.62	1.45	61%	39%	37%	63%	0	0	0	0
Recreational Com. Center 495	Employees	27.25	2.66	2.44	72%	28%	27%	73%	0	0	0	0
Military Base 501	Employees	1.78	0.39	0.39	NA	NA	NA	NA	0	0	0	NA
Elementary School 520	Students	1.29	0.45	0.15	55%	45%	49%	51%	0	0	0	0
Elementary School 520	KSF ²	15.43	5.20	1.21	56%	44%	45%	55%	0	0	0	0
Elementary School 520	Employees	15.71	5.37	1.81	54%	46%	49%	51%	0	0	0	0
Middle/JR. High School 522	Students	1.82	0.54	0.16	55%	45%	49%	51%	0	0	0	0
Middle/JR. High School 522	KSF ²	13.78	4.35	1.19	55%	45%	52%	48%	0	0	0	0
High School 530	Students	1.71	0.42	0.13	68%	32%	47%	53%	0	0	0	0
High School 530	KSF ²	12.89	3.08	0.97	71%	29%	54%	46%	0	0	0	0
High School 530	Employees	19.74	4.68	1.55	70%	30%	54%	46%	0	0	0	0
Private School (K-8) 534	Students	NA	0.90	0.50	55%	45%	47%	53%	0	0	0	0
Private School (K-12) 535	Students	2.49	0.81	0.17	61%	39%	43%	57%	0	0	0	0
Junior/Comm. College 540	Students	1.20	0.12	0.12	82%	18%	64%	36%	0	0	0	0
Junior/Comm. College 540	KSF ²	27.40	2.09	2.54	74%	26%	58%	42%	0	0	0	0
Junior/Comm. College 540	Employees	15.59	1.64	1.39	74%	26%	56%	42%	0	0	0	0
University/College 550	Students	2.38	0.21	0.21	80%	20%	30%	70%	0	0	0	0
University/College 550	Employees	9.13	0.73	0.88	82%	18%	29%	71%	0	0	0	0
Church 560	KSF ²	9.11	0.56	0.55	62%	38%	48%	52%	0	0	0	0
Synagogue 561	KSF ²	10.64	0.14	1.69	NA	NA	47%	53%	0	0	0	NA
Daycare Center 565	KSF ²	79.26	12.26	12.48	53%	47%	47%	53%	0	0	0	0
Daycare Center 565	Students	4.48	0.80	0.82	53%	47%	47%	53%	0	0	0	0
Daycare Center 565	Employees	26.13	4.91	4.79	53%	47%	47%	53%	0	0	0	0
Cemetery 566	Acres	4.73	0.17	0.84	70%	30%	33%	67%	0	0	0	0
Cemetery 566	Employees	58.09	1.43	7.00	70%	30%	33%	67%	0	0	0	0



**Development Services Department
Building Inspections Division**

3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **677951**

Date Issued. : 10/27/2016

Cashier ID : JMCOSTIN

Application No. : PBA161000015

Project Name : AP-2016-01

Address : 125 WEST ROMANA ST, SUITE 800
Pensacola, FL, 32502

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	1037	\$682.60	App ID : PBA161000015
		\$682.60	Total Check

Received From : SEANS OUTPOST INC

Total Receipt Amount : **\$682.60**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA161000015	771246	682.60	\$0.00	1999 MASSACHUSETTS AVE, PENSACOLA, FL, 32505

Total Amount :	682.60	\$0.00	Balance Due on this/these Application(s) as of 10/27/2016
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Sean's Outpost - Satoshi Forest

1999 Massachusetts Ave - Pensacola, FL

PROPERTY OWNER

Sean's Outpost
1999 Massachusetts Ave.
Pensacola, FL 32505

ENGINEER OF RECORD

LandMark Engineering
7604 W. Fairfield Dr.
Pensacola, FL 32506
(850) 470-9722

PROPERTY REFERENCE NUMBER

12-2S-30-7002-000-000

PROPERTY LEGAL DESCRIPTION (O.R. BOOK 7052 PAGE 593)

A PARCEL OF LAND LYING IN A PORTION OF SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: THE SOUTH 1/2 OF THE WEST 1/2 OF GOVERNMENT LOT 7, LESS THE WEST 210 FEET OF THE SOUTH 210 FEET OF THE NORTH 310 FEET; AND LESS THE 4TH ADDITION TO MAYFAIR SUBDIVISION; AND LESS AND EXCEPT THAT PORTION CONVEYED TO FLORIDA UTILITY COMPANY BY DEED IN OR BOOK 151, PAGE 715, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; AND LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OR BOOK 730, PAGE 157, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

TOGETHER WITH THAT CERTAIN EASEMENT DESCRIBED AS FOLLOWS: A PERMANENT ACCESS EASEMENT, 25 FEET IN WIDTH, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE 4TH ADDITION TO MAYFAIR SUBDIVISION AS RECORDED IN PLAT BOOK 6, PAGE 5, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 00°29' WEST ALONG A PROJECTION OF THE WEST BOUNDARY OF SAID SUBDIVISION A DISTANCE OF 580.5 FEET; THENCE NORTH 89°31' EAST A DISTANCE OF 211.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44°35' EAST A DISTANCE OF 125.00 FEET; THENCE SOUTH 45°25' EAST A DISTANCE OF 25.0 FEET; THENCE SOUTH 44°35' WEST A DISTANCE OF 150 FEET; THENCE NORTH 00°29' WEST A DISTANCE OF 35.35 FEET TO THE POINT OF BEGINNING, LYING IN SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

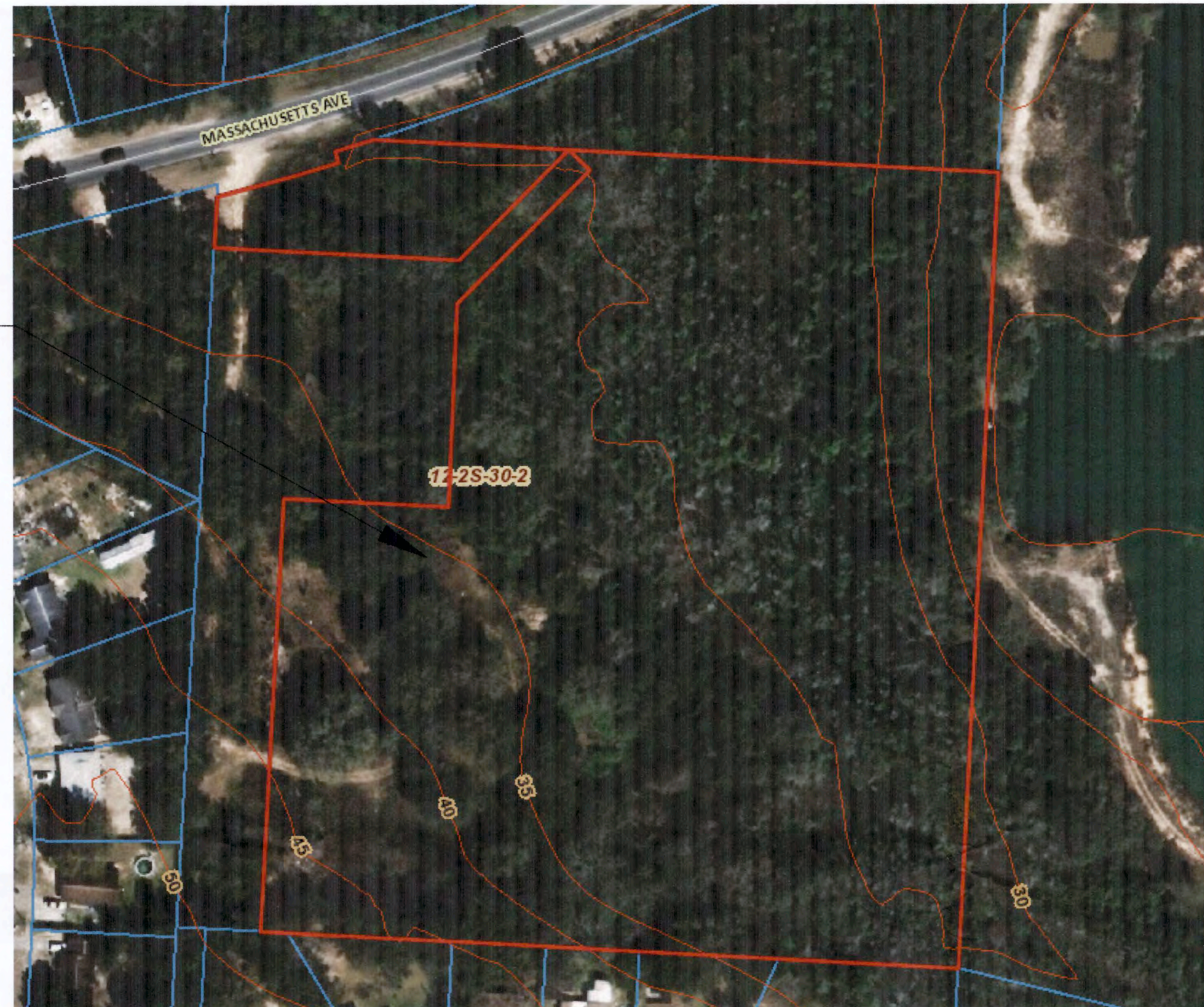
PROJECT SCOPE

The proposed project is located at 1999 Massachusetts Ave in Escambia County, Florida. The property owner desires to use this property for a, no fee camp site, for guests at the owners discretion. The guests will utilize temporary structures during their stay.

NOTICE

Any deviation from these plans without the written approval by the Engineer of Record is not authorized unless obtained in writing with the signature and raised seal of the Engineer of Record. If any unauthorized modifications occur, the Engineer of Record shall not be responsible for damages or costs resulting from the modification. If site conditions are found to differ from those set forth in these plans or if any discrepancies are discovered, notify the Engineer of Record immediately. The Engineer of Record shall not be responsible for work that continues despite known discrepancies.

Project Location



(A) Location Map - 1999 Massachusetts Ave

PROJECT AREA COVERAGE

Existing:
 Impervious (buildings): 0 sq. ft.
 Impervious (pavement): 0 sq. ft.
 Gravel: 0 sq. ft.
 Pervious: 0 sq. ft.

Proposed:
 Impervious (buildings): 0 sq. ft.
 Impervious (pavement): 0 sq. ft.
 Semi-Impervious: 0 sq. ft.
 Gravel: 0 sq. ft.
 Pervious: 0 sq. ft.
 Pond: 0 sq. ft.

DRAWING INDEX

T-1 Title Page
 C-1 General Notes
 C-2 Site Plan
 C-3 Driveway Details/Landscaping

PROJECT INFORMATION

Name: Satoshi Forest
 Location: 1999 Massachusetts Ave
 Parcel ID: 12-2S-30-7002-000-000
 Zoning: C-2
 Future Land Use: MU-U
 Project Area: 373,744.8 sq. ft. (8.58 acres)

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PRELIMINARY
NOT FOR CONSTRUCTION

LANDMARK ENGINEERING & LAND PLANNING
 7604 W. Fairfield Dr.
 Pensacola, FL 32506
 Phone: (850) 470-9722 Fax: (850) 470-9661 www.LMEng.com
 FLPE 00046 - ALPE 01700 - FLCA 7078 - ALCA 3077
 FLACC 00080

SHEET CONTENTS
 Title Page

PROJECT NUMBER
2014015
 PLOT DATE
Sep 28, 2016
 DRAWN BY
MRR
 CHECKED BY
MWS
 SHEET NUMBER
T-1
1 OF 1

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Contractors Notes

1. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and Escambia County. Any deviations may result in delays in obtaining a certificate of occupancy.
2. Prior to starting construction, the contractor(s) shall be responsible to verify that all required permits and approvals have been obtained. No construction shall begin until the contractor has received all plans and documentation from all of the permitting and regulatory authorities. Failure of the contractor to follow procedure shall cause the contractor to assume full responsibility for any subsequent modification of the work mandated by any regulatory authority.
3. Contractor shall be required to have studied the documents, including the drawings and project manuals, to have visited the site, and to have familiarize himself regarding all existing conditions and new work under which he will be obligated to perform.
4. All work shall be performed in a workmanlike manner to the entire satisfaction of the owner and engineer and shall comply with all applicable state and local codes.
5. Notify Sunshine Utilities 48 hours in advance prior to digging within the the right-of-way or project boundaries - (850) 432-4770.
6. It shall be the contractor's responsibility to verify the locations of all the utilities within the limits of the project area prior to the start of the site work. All the damages made to the existing utilities by the contractor shall be the sole responsibility of the contractor.
7. The contractor shall keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of the work the contractor shall perform a final clean-up, clean all surfaces and leave the project area clean.
8. The contractor shall maintain access to all drives and parking areas during construction.
9. All roads damaged by construction operations are to be patched or reconstructed as directed by the county engineer or designee.
10. Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the county.
11. Vegetation in the right-of-way and easements shall be restored to original condition unless otherwise noted on the plan sheets.
12. The contractor shall follow Maintenance of Traffic as per FDOT Index 611, 612 and 613.
13. No lane closures between 6:00 AM and 8:00 PM. No lane closures on holidays, including the proceeding and following day .
14. The project engineer (engineer of record) shall provide to Escambia County "As-Built" record drawings for verification and approval by Escambia County one week prior to requesting a final inspection and certificate of occupancy, or provide "As-Built" certification that the project construction adheres to the permitted plans and specifications. The "As-Built" certification or the "As-Built" record drawings must be signed, sealed and dated by a registered Florida Professional Engineer
15. All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issuance of a final certificate of occupancy.
16. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviations may result in delays in obtaining a certificate of occupancy.
17. The contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in Code Enforcement Violation.
18. Retention/detention areas shall be substantially complete prior to any construction activities that may increase stormwater runoff rates. The contractor shall control stormwater during all phases of construction and take adequate measures to prevent the excavated pond from blinding due to sediments.
19. All disturbed areas which are not paved shall be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod.
20. All new building roof drains, down spouts, or gutters shall be routed to carry all stormwater to retention/detention areas.
21. Developer/Contractor shall reshape per plan specifications, clean out accumulated silt, and stabilize retention/detention pond(s) at the end of construction when all disturbed areas have been stabilized and prior to request for inspection.
22. Contractor shall maintain record drawings during construction which show "as-built" conditions of all work including piping, drainage structures, topo of pond(s), outlet structures, dimensions, elevations, grading etc. Record drawings shall be provided to the Engineer of Record prior to requesting final inspection.
23. The owner or his agent shall arrange/schedule with the County a final inspection of the development upon completion and any intermediate inspections at (850) 595-3472. As-built certification is required prior to request for final inspection/approval.
24. Prior to construction a separate Building Inspection Department permit(s) shall be obtained for all Retaining wall(s) higher than 2 feet.
25. Notify Sunshine utilities 48 hours in advance prior to digging within RW; 1-800-432-4770.
26. Any damage to existing roads during construction will be repaired by the developer prior to final "asbuilt" sign off from the county.
27. The contractor shall notify FDOT 48 hours in advance prior to initiating any work in the state rights-of-way.

28. In the event that survey monumentation or reference points are missing or have been destroyed, please contact:

RICK COLOCADO, PLS
COUNTY SURVEYOR FOR THE PUBLIC WORKS BUREAU,
3363 W. Park Place
PENSACOLA, FLORIDA 32505
PHONE: (850) 595-3434

29. Utility owners shall be notified at least 48 hours in advance prior to any construction so the utility owner can spot verify and/or expose their utilities. Known utility owners include:

BellSouth Communications
Engineering Dept.
605 W. Garden St
Pensacola, FL 32501

Cox Communications
Mr. Troy Young
3405 McLemore Dr.
Pensacola, FL 32514

Koch Gateway Pipeline Co
P. O. Drawer 16143
Mobile, AL 36616

Energy Services of Pensacola
Mr. Glen Bailey
1625 Alwood Dr
Pensacola, FL 32514

Sprint
Engineering Dept
3065 Cumberland Cir. SE
Cumberland Center I
Atlanta, GA 30339-3166

Gulf Power Company
Engineering Dept
PO Box 1151
Pensacola, FL 32520-0041

MCI Worldcom Dept. 42864
Location 107
2400 N. Glenville
Richardson, TX 75082

Mediacom, Inc
Mr. Eddie Arnold
4349 Avalon Blvd
Milton, FL 32583

Level 3 Communications
Engineering Dept
7891 Sears Blvd
Pensacola, FL 32514

AT&T Florida
Mr. Stan Wright
605 W. Garden St. 2nd Floor
Pensacola, FL 32501

Emerald Coast Utilities Authority
Mr. Kevin Ayers
9300 Sturdevant St
Pensacola, FL 32514

30. The owner or his agent shall arrange / schedule with the County a final inspection of the development upon completion and any intermediate inspections at (850) 595-3472. As-built certification is required prior to request for final inspection / approval.

31. The contractor shall maintain record drawings during construction which show "as-built" conditions of all work including piping, drainage structures, topo of pond(s), outlet structures, dimensions, elevations, grading, etc. Record drawings shall be provided to the Engineer of Record prior to requesting final inspection. The Project Engineer shall verify and approve the as-built conditions with notification to the County prior to the final inspection.

32. The project engineer (engineer of record) shall provide to Escambia County "as-built" record drawings for verification and approval by Escambia County one week prior to requesting a final inspection and certificate of occupancy, or provide "as-built" certification that the project construction adheres to the permitted plans and specifications. The "as-built" certification or the "as-built" record drawings must be signed, sealed, and dated by a registered Florida Professional Engineer.

Tree Protection (ref. Escambia County LDC §7.01.04):

No un-permitted grading or clearing by heavy equipment should happen under the dripline of protected trees to remain on the site. Storage of heavy equipment shall not occur under the dripline of protected trees on site. Tree protection barricades should be placed around the dripline of all protected trees marked for preservation prior to any land disturbance consistent with the development order.

No protected trees will be removed.

Water & Waste Disposal

Three portable toilets and hand washing stations are available on site.

Fire Safety

There is a fire Hydrant located at Fennel Street and Massachusetts Avenue that is within 500 feet of the front entrance and can provide water to this location along with a secondary hydrant located at the corner of Fennel Street and Cushman Street that will provide fire safety to the back of the camp.

Stormwater Routing & Drainage

Stormwater from the site currently runs east across the property towards wetlands on the property. No change in the stormwater flow is impacted by this project. Due to the topography of the site, flow from this site has no impact on adjacent properties.

Flood Zone

The subject property as shown hereon is located in flood zone A, (Areas subject to inundation by the 1-percent-annual-chance flood event. Because detailed hydraulic analyses have not been performed, no Base Flood Elevations (BFEs) or flood depths are shown), and flood zone X, as determined from the Federal Emergency Management Agency Flood Insurance Rate Map of Escambia

Contour & Benchmark

Contours and benchmarks based off of site survey conducted March 2014.

Vegetative Buffer

The buffer strip shall be a minimum of ten feet in width and shall be landscaped for every 100 linear feet with plant coverage following Standard A-2.

SHEET CONTENTS

General Notes

PROJECT NUMBER
2014015

PLOT DATE
Sep 28, 2016

DRAWN BY
LAS

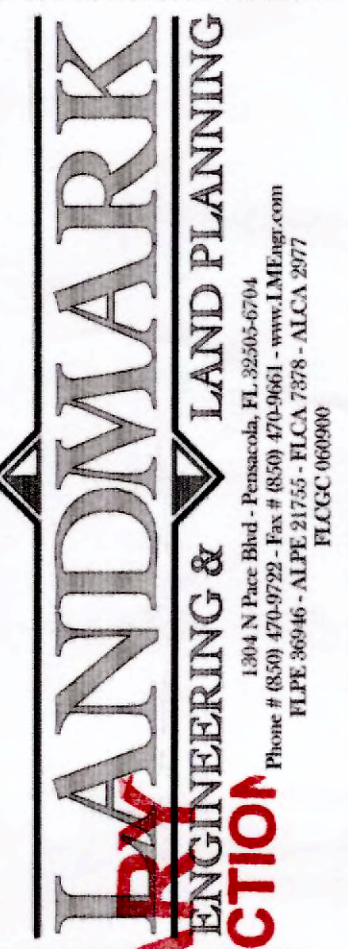
CHECKED BY
MWS

SHEET NUMBER
C-1
1 OF 1

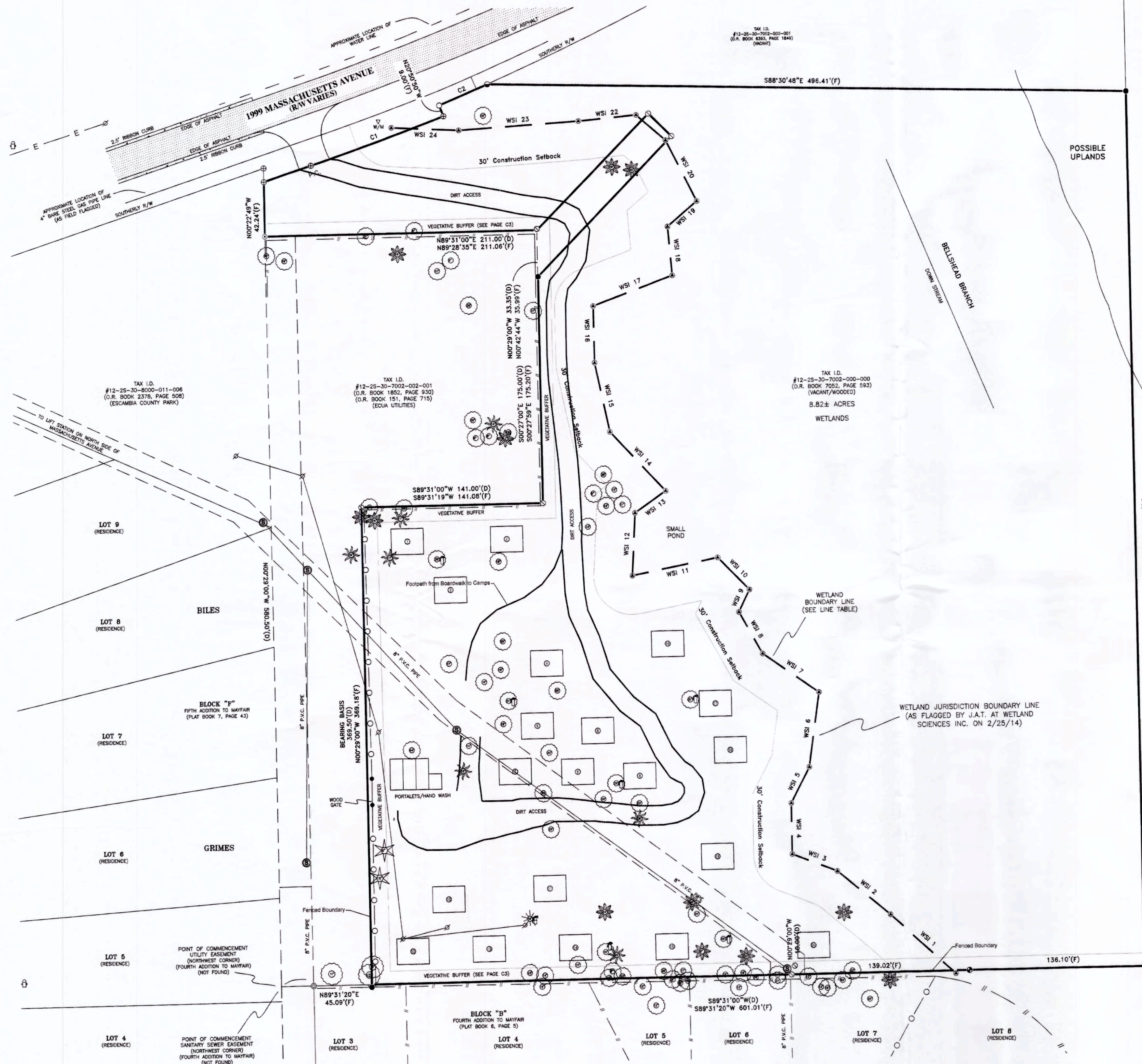
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PROJECT NAME AND LOCATION

Sean's Outpost, Inc - Satoshi Forest
1999 Massachusetts Ave
Pensacola, FL



PRELIMINARY
NOT FOR CONSTRUCTION



WETLAND BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
WSI 1	N47°30'08"W	68.84'(F)
WSI 2	N50°06'25"W	53.30'(F)
WSI 3	N68°43'26"W	37.83'(F)
WSI 4	N00°19'11"W	39.49'(F)
WSI 5	N27°39'00"E	31.35'(F)
WSI 6	N08°10'37"E	58.37'(F)
WSI 7	N54°54'03"W	53.14'(F)
WSI 8	N28°57'58"W	37.01'(F)
WSI 9	N25°48'59"E	19.30'(F)
WSI 10	N44°06'46"W	34.95'(F)
WSI 11	N78°45'53"E	67.58'(F)
WSI 12	N03°08'53"E	48.58'(F)
WSI 13	N55°04'11"E	29.24'(F)
WSI 14	N42°35'58"W	62.93'(F)
WSI 15	N11°45'32"W	54.84'(F)
WSI 16	N00°39'48"W	43.90'(F)
WSI 17	N69°45'09"E	65.75'(F)
WSI 18	N04°45'32"W	37.93'(F)
WSI 19	N49°31'47"E	29.92'(F)
WSI 20	N26°18'19"W	52.78'(F)
WSI 21	N48°37'03"W	30.22'(F)
WSI 22	S84°48'56"W	45.03'(F)
WSI 23	S86°27'37"W	93.13'(F)
WSI 24	N87°05'52"W	52.38'(F)

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1(F)	2341.83'	109.82'	109.81'	N70°25'08"E	02°41'13"
C2(F)	2331.83'	40.77'	40.77'	N67°02'46"E	01°00'06"

- LEGEND**
- P.C. POINT OF CURVATURE
 - R/W RIGHT OF WAY
 - O.R. OFFICIAL RECORD BOOK
 - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - FOUND 1/2" IRON ROD
 - FOUND 1" IRON PIPE
 - FOUND 5/8" CAPPED IRON ROD - F.D.O.T.
 - FOUND 1/2" CAPPED IRON ROD - #3887
 - FOUND 1/2" CAPPED IRON ROD - #1035
 - FOUND 1/2" CAPPED IRON ROD ILLEGIBLE
 - SET 1/2" CAPPED IRON ROD - ELSI L.B. #9993
 - SET 1/2" RED CAPPED IRON ROD - ELSI L.B. #9993 (AS FLAGGED BY WETLAND SCIENCES INC.)
 - SANITARY SEWER MANHOLE
 - POWER POLE
 - WATER METER
 - FIRE EXTINGUISHER
 - FIRE HYDRANT
 - 4" CHAIN LINK FENCE
 - 6" WOOD FENCE
 - AERIAL UTILITY WIRES
 - OVERHEAD PHONE LINE
 - CONCRETE
 - ASPHALT

Project Information
 Project Name: Sean's Outpost - Satoshi Forest
 Project Address: 1999 Massachusetts Ave
 Pensacola, FL 32505
 Property Ref #: 12-2S-30-7002-000-000
 Zoning: MU-U, REC
 Total Area: 8.58 acres

Project Area Coverage:
 Existing Impervious: 0 SF
 Existing Semi-Impervious: 0 SF
 Proposed Impervious: 0 SF
 Proposed Semi-Impervious: 0 SF

- Chapter 64E-15, Florida Administrative Code - Recreational Camps
 Recreational Camp Standards
1. Site
 - 1.1. Camp sites shall be well drained and maintained to inhibit the breeding of mosquitoes.
 - 1.2. The premises shall be kept free of refuse, debris, garbage.
 2. Shelters
 - 2.1. All rooms designed or used for sleeping purposes shall provide a minimum of 300-cubic feet of air space for each occupant.
 - 2.2. All shelters used as family residential units shall contain a minimum of 50-square feet of floor space for each occupant.
 - 2.3. Separate sleeping quarters shall be provided for each gender except in the housing of families.
 - 2.4. Tents shall be considered to house two people.
 3. Sanitary Facilities and Sewage Disposal
 - 3.1. The number of sanitary fixtures provided for each sex shall be based on the maximum number of persons of that sex which the camp is designed to house at any one time.
 - 3.2. All shower and wash basin fixtures shall be provided with water under pressure.
 - 3.3. Every water closet or flush toilet installed shall be located in a toilet room and shall be properly connected to a satisfactory sewage treatment and disposal system.
 - 3.3.1. Each water closet shall have a privacy partition.
 - 3.4. Fixtures in sanitary facilities shall be maintained in working order and accessible. Toilet paper, soap, and single use hand towels or hand drying devices shall be provided at toilets and handwashing facilities.
 4. Garbage & Refuse Disposal
 - 4.1. Garbage and refuse shall be stored, collected and disposed of in a manner that does not create nuisances, odors, rodent harborage, insect breeding, accident hazards, or air pollution.
 - 4.2. All garbage shall be stored in containers that are impervious to water and rodent vectors and have tight-fitting lids.
 - 4.3. All garbage shall be collected twice weekly or in accordance with the frequency of the collection jurisdiction and transported in covered vehicles or covered containers. Burning of refuse in the park or camp is prohibited.
 5. Owner and Operator Responsibility
 - 5.1. The camp operator shall inspect daily, or provide an individual to inspect daily during periods of operation, the grounds and common use spaces of buildings, structures and tents, including toilets, showers, laundries, mess halls, dormitories, kitchens or any facilities relation to the operation of the park or camp and ensure that each is maintained in a clean and working condition and the buildings are maintained in good repair.
 - 5.2. The name(s), telephone number, address or instructions how to locate the camp operator at all times shall be kept posted in a prominent location in the camp.
 - 5.3. The recreational camp operator shall be informed of the requirements relative to the reporting and control of communicable diseases and shall notify the county public health unit immediately when outbreaks of communicable disease are suspected or determined.
 - 5.4. All recreational camp employees and occupants shall have access to medical care and treatment through the 911 emergency telephone number.

A Site Plan - 1999 Massachusetts Ave
 Scale: 1" = 50'-0"

PROJECT NAME AND LOCATION

Sean's Outpost, Inc - Satoshi Forest
 1999 Massachusetts Ave
 Pensacola, FL

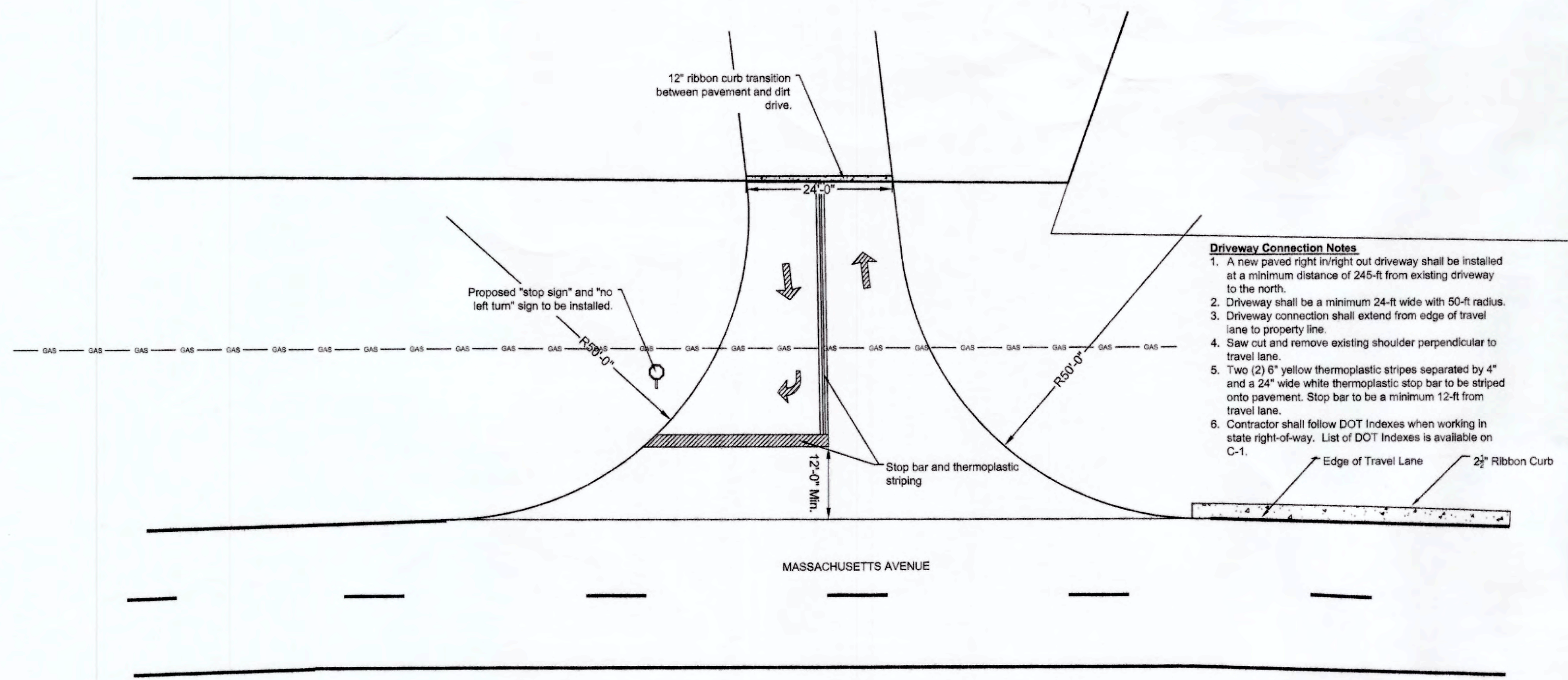
LANDMARK ENGINEERING & LAND PLANNING
 PRELIMINARY NOT FOR CONSTRUCTION
 P.L.P. 30906 - ALP.L.P.21235 - H.C.A. 7539 - M.C.A. 2017
 H.C.P.C. 06988

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SHEET CONTENTS
 Site Plan

PROJECT NUMBER	2014015
PLOT DATE	Sep 28, 2016
DRAWN BY	CHECKED BY
MRR	MWS
SHEET NUMBER	C-2
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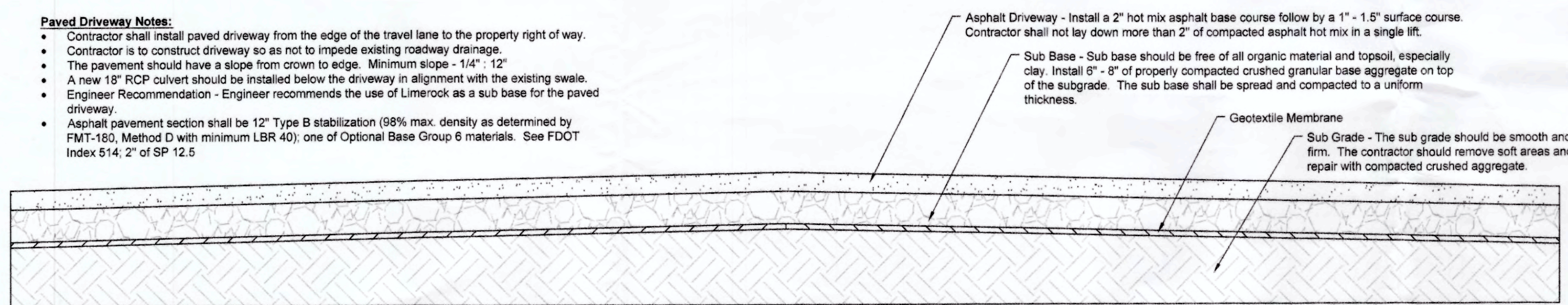


- Driveway Connection Notes**
1. A new paved right in/right out driveway shall be installed at a minimum distance of 245-ft from existing driveway to the north.
 2. Driveway shall be a minimum 24-ft wide with 50-ft radius.
 3. Driveway connection shall extend from edge of travel lane to property line.
 4. Saw cut and remove existing shoulder perpendicular to travel lane.
 5. Two (2) 6" yellow thermoplastic stripes separated by 4" and a 24" wide white thermoplastic stop bar to be striped onto pavement. Stop bar to be a minimum 12-ft from travel lane.
 6. Contractor shall follow DOT Indexes when working in state right-of-way. List of DOT Indexes is available on C-1.

A Driveway Connection - Plan View
Scale: 1/16" = 1'-0"

Paved Driveway Notes:

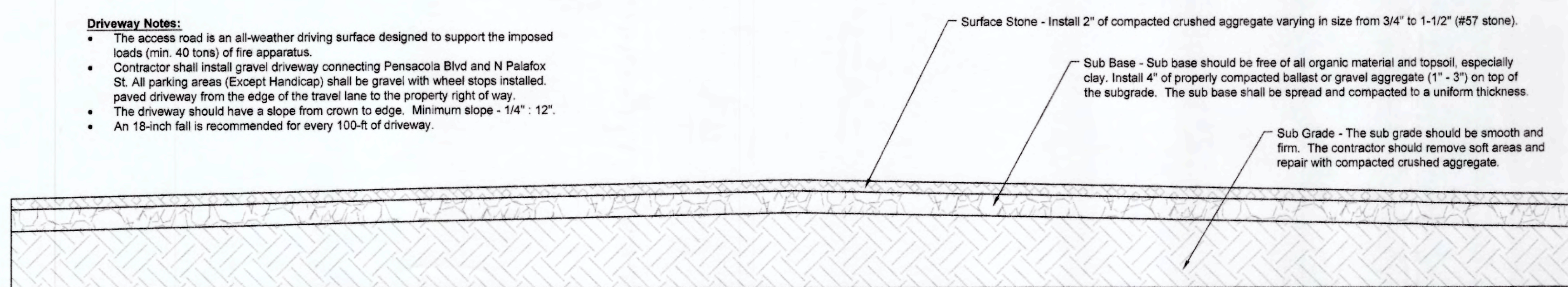
- Contractor shall install paved driveway from the edge of the travel lane to the property right of way.
- Contractor is to construct driveway so as not to impede existing roadway drainage.
- The pavement should have a slope from crown to edge. Minimum slope - 1/4" : 12"
- A new 18" RCP culvert should be installed below the driveway in alignment with the existing swale.
- Engineer Recommendation - Engineer recommends the use of Limerock as a sub base for the paved driveway.
- Asphalt pavement section shall be 12" Type B stabilization (98% max. density as determined by FMT-180, Method D with minimum LBR 40), one of Optional Base Group 6 materials. See FDOT Index 514, 2' of SP 12.5



B Paved Driveway Cross - Section
Scale: 3/4" = 1'-0"

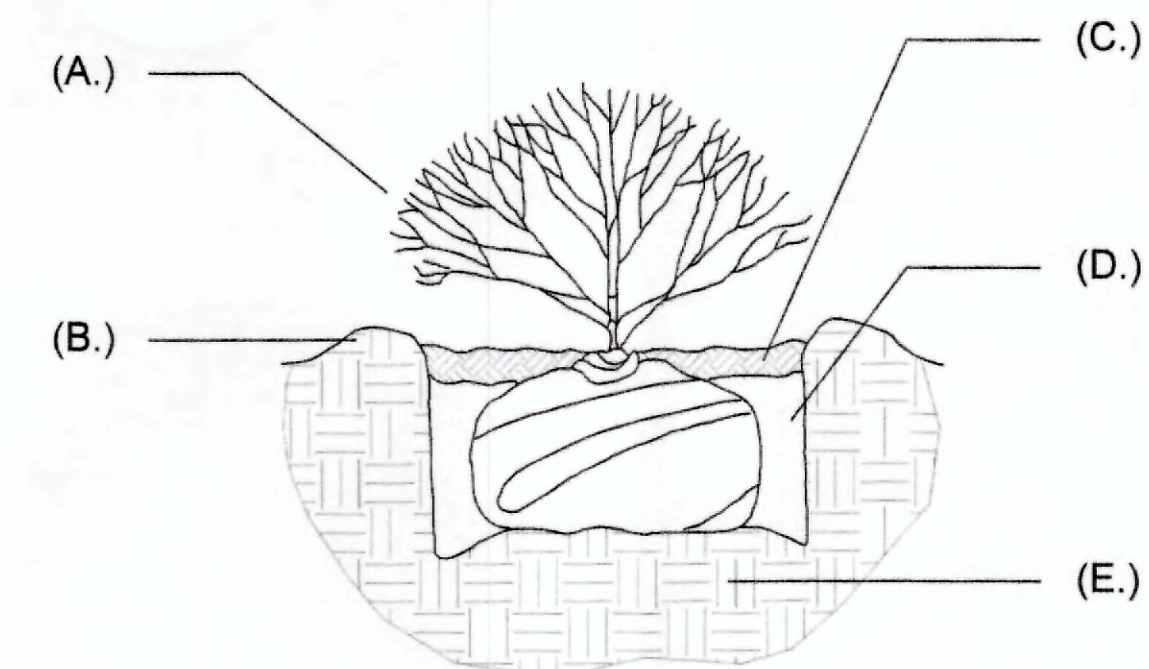
Driveway Notes:

- The access road is an all-weather driving surface designed to support the imposed loads (min. 40 tons) of fire apparatus.
- Contractor shall install gravel driveway connecting Pensacola Blvd and N Palafox St. All parking areas (Except Handicap) shall be gravel with wheel stops installed.
- The driveway should have a slope from crown to edge. Minimum slope - 1/4" : 12".
- An 18-inch fall is recommended for every 100-ft of driveway.

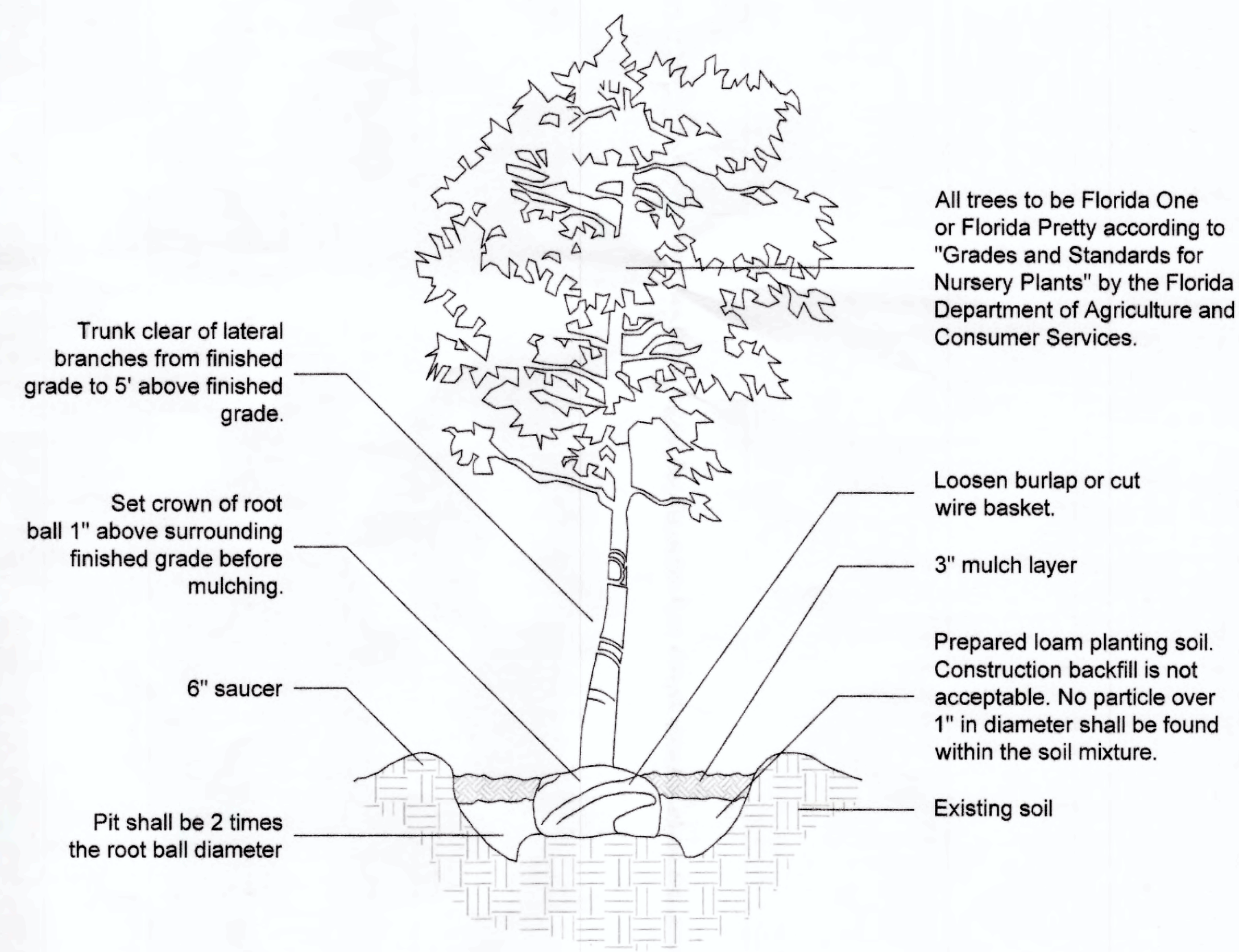


C Gravel Driveway Cross - Section
Scale: 3/4" = 1'-0"

- (A.) Woody shrub with min. height of 2" from finished grade.
 - (B.) 6" saucer
 - (C.) 3" mulch layer
 - (D.) Prepared loam planting soil.
 - (E.) Existing Soil
- Construction backfill is not acceptable. No particle over 1" in diameter shall be found within the soil mixture.



Shrub - Shrubs shall be a minimum of one foot in height above grade when measured immediately after planting.



Tree - Any living, self supporting, woody perennial plant which has a trunk diameter of no less than three inches measured at a height of four and one-half (4 1/2) feet above grade at the time of planting, and which normally grows to an overall height of no less than fifteen (15) feet in Northwest Florida.

D Landscaping Installation
Scale: NTS

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PROJECT NAME AND LOCATION
Sean's Outpost, Inc - Satoshi Forest
1999 Massachusetts Ave
Pensacola, FL

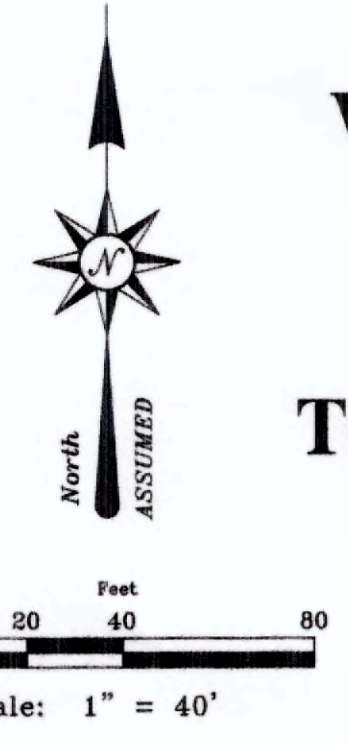
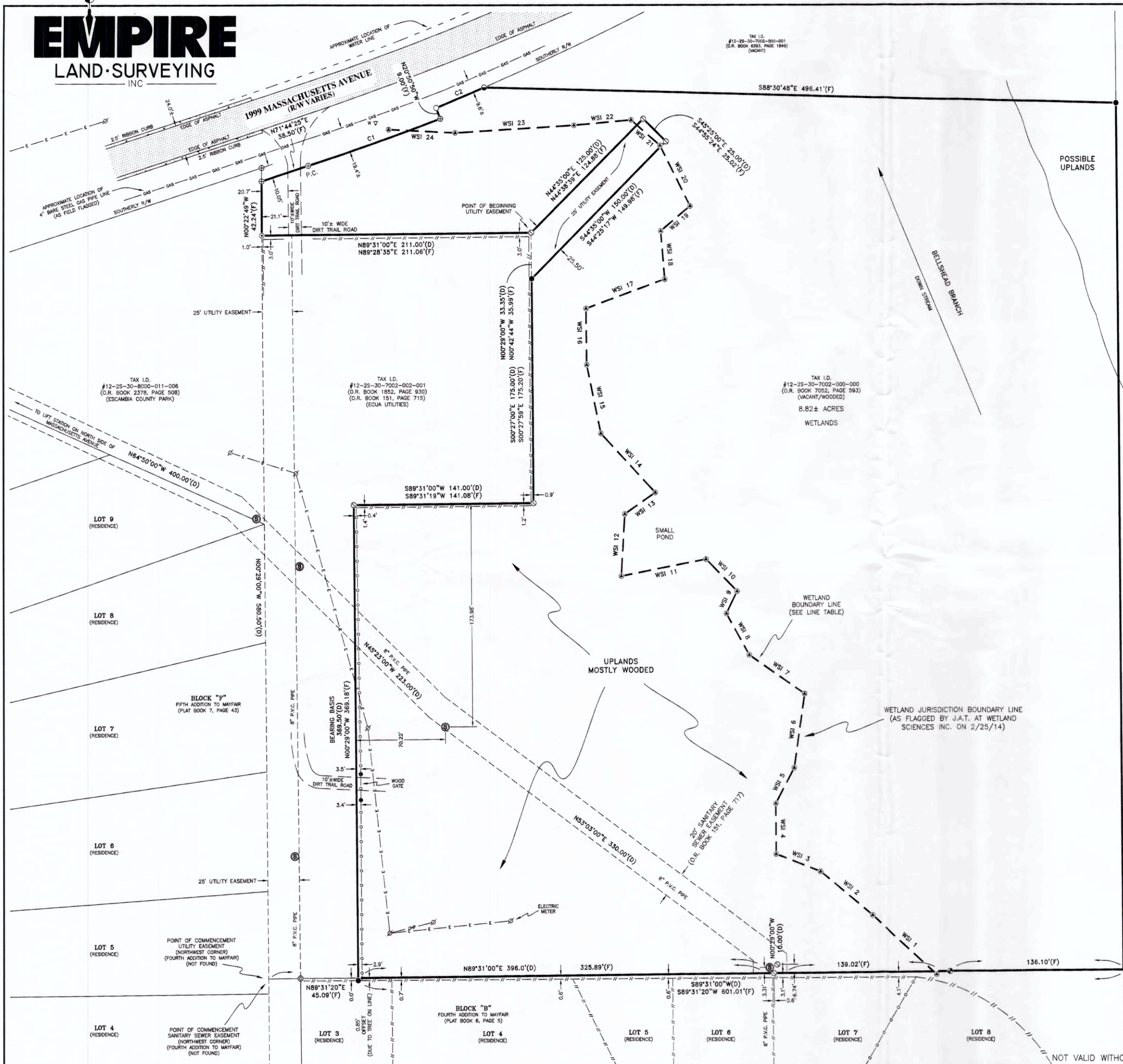
LANDMARK
ENGINEERING & LAND PLANNING
1999 MASSACHUSETTS AVE
PENSACOLA, FL 32503
TEL: 904.433.1111
FAX: 904.433.1112
WWW.LANDMARK-FL.COM
FLPE 00046 - ALPE 01750 - FLCA 7078 - ALCA 0077
FLCC 00600

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SHEET CONTENTS
Driveway Details/Landscaping

PROJECT NUMBER	2014015
PLOT DATE	Sep 28, 2016
DRAWN BY	MRR
CHECKED BY	MWS
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**BOUNDARY SURVEY
WETLAND & UTILITY LOCATION
1999 MASSACHUSETTS AVENUE
A PORTION OF SECTION 12,
TOWNSHIP 2 SOUTH, RANGE 30 WEST
ESCAMBIA COUNTY, FLORIDA**



WETLAND BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
WSI 1	N47°30'08"W	68.84'(F)
WSI 2	N50°08'25"W	83.30'(F)
WSI 3	N68°43'26"W	37.53'(F)
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WSI 16	N00°39'48"W	43.90'(F)
WSI 17	N69°43'09"E	65.73'(F)
WSI 18	N04°48'32"W	37.93'(F)
WSI 19	N49°31'47"E	29.92'(F)
WSI 20	N26°18'19"W	52.78'(F)
WSI 21	N48°37'03"W	30.22'(F)
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WSI 23	S86°27'37"W	93.13'(F)
WSI 24	N87°08'52"W	52.38'(F)

LEGEND

P.C.	POINT OF CURVATURE
R/W	RIGHT OF WAY
O.R.	OFFICIAL RECORD BOOK
F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
●	FOUND 1/2" IRON ROD
○	FOUND 1" IRON PIPE
⊙	FOUND 1/2" IRON PIPE
⊕	FOUND 5/8" CAPPED IRON ROD - F.D.O.T.
⊖	FOUND 1/2" CAPPED IRON ROD - #3887
⊗	FOUND 1/2" CAPPED IRON ROD - #1035
⊘	FOUND 1/2" CAPPED IRON ROD - #1035
⊙	SET 1/2" CAPPED IRON ROD - ELSI L.B. #6993
⊕	SET 1/2" RED CAPPED IRON ROD - ELSI L.B. #6993 (AS FLAGGED BY WETLAND SCIENCES INC.)
⊖	SANITARY SEWER MANHOLE
W	WATER METER
— — —	4" CHAIN LINK FENCE
— — —	6" WOOD FENCE
— — —	AERIAL UTILITY WIRES
— — —	OVERHEAD PHONE LINE
— — —	CONCRETE
— — —	ASPHALT

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1(F)	2341.83'	109.82'	109.81'	N70°23'08"E	02°41'13"
C2(F)	2331.83'	40.77'	40.77'	N67°02'46"E	01°00'06"

- SURVEYOR'S REPORT:**
1. THERE ARE TEMPORARY LIVING QUARTERS (TENTS, ECT.) NOT SHOWN HEREON.
 2. THERE ARE DIRT TRAILS NOT SHOWN HEREON.
 3. THERE IS OTHER EVIDENCE OF BURIED UTILITIES NOT SHOWN HEREON.

LEGAL DESCRIPTION: (O.R. BOOK 7052, PAGE 593)

A PARCEL OF LAND LYING IN A PORTION OF SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: THE SOUTH 1/2 OF THE WEST 1/2 OF GOVERNMENT LOT 7, LESS THE WEST 210 FEET OF THE SOUTH 210 FEET OF THE NORTH 310 FEET; AND LESS THE 4TH ADDITION TO MAYFAIR SUBDIVISION; AND LESS AND EXCEPT THAT PORTION CONVEYED TO FLORIDA UTILITY COMPANY BY DEED IN O.R. BOOK 151, PAGE 715, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; AND LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN O.R. BOOK 730, PAGE 157, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

TOGETHER WITH THAT CERTAIN EASEMENT DESCRIBED AS FOLLOWS: A PERMANENT ACCESS EASEMENT, 25 FEET IN WIDTH, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE 4TH ADDITION TO MAYFAIR SUBDIVISION AS RECORDED IN PLAT BOOK 6, PAGE 5, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 00°29' WEST ALONG A PROJECTION OF THE WEST BOUNDARY OF SAID SUBDIVISION A DISTANCE OF 580.5 FEET; THENCE NORTH 89°31' EAST A DISTANCE OF 211.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44°35' EAST A DISTANCE OF 125.00 FEET; THENCE SOUTH 45°25' EAST A DISTANCE OF 25.0 FEET; THENCE SOUTH 44°35' WEST A DISTANCE OF 150 FEET; THENCE NORTH 00°29' WEST A DISTANCE OF 35.35 FEET TO THE POINT OF BEGINNING, LYING IN SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

THE UNDERSIGNED CLIENT(S) ACKNOWLEDGE RECEIPT AND ACCEPTANCE OF THIS SURVEY:

MARK SPITZNAGEL

THE PURPOSE OF THIS SURVEY IS FOR TITLE TRANSACTION AND ITS ACCOMPANYING MORTGAGE. THIS MAP IS CERTIFIED AS MEETING THE FLORIDA MINIMUM TECHNICAL STANDARDS TO THE FOLLOWING AND IS FOR THE BENEFIT OF ONLY THE FOLLOWING LISTED CLIENT(S), AGENT(S) AND COMPANIES:

MARK SPITZNAGEL
LANDMARK DESIGN AND CONSTRUCTION

TAX I.D. #12-25-30-7001-000-001 (O.R. BOOK 4284, PAGE 1480) (VACANT/WOODED)

NOT VALID WITHOUT THE ORIGINAL BLUE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

CLIENT: SPITZNAGEL

BEARING BASIS: WESTERLY PROPERTY LINE (ASSUMED)

TYPE OF SURVEY: BOUNDARY WITH WETLANDS & UTILITY LOCATION

SOURCE OF INFORMATION: FIELD EVIDENCE, DEEDS OF RECORD, PLAT RECORDED IN: PRIOR SURVEYS/DRAWINGS

GENERAL NOTES:

1. Fence locations as drawn are not to scale.
2. Jurisdiction (Wetlands) boundary lines not located unless shown on drawing.
3. Footings, foundations, or any other subsurface structures were not located unless otherwise noted.
4. All bearings and/or angles and distances are Deed and Actual unless otherwise noted: Deed = (D); Description = (DE); Actual Field Measurement = (F); Plat = (P)
5. All measurements were made in accordance with United States standards. The accuracy shown meet the standards required by this firm for ownership, easements, or right-of-ways. No Title Search of the Public Records has been performed by this firm and lands shown hereon were not abstracted by this firm for ownership, easements, or right-of-ways. The parcel shown hereon may be subject to setbacks, easements, zoning and restrictions that may be found in the Public Records of said County.

EMPIRE LAND SURVEYING, INC.
PROFESSIONAL LAND SURVEYING • SERVING NORTHWEST FLORIDA
8720 N. PALAFOX STREET, PENSACOLA, FLORIDA 32534
PHONE: 850-477-3745 -- FAX: 850-477-3705
LICENSED BUSINESS #6993, STATE OF FLORIDA

REVISIONS	FIELD BOOK	DATE
POSSIBLE ENCROACHMENTS:	FENCES	

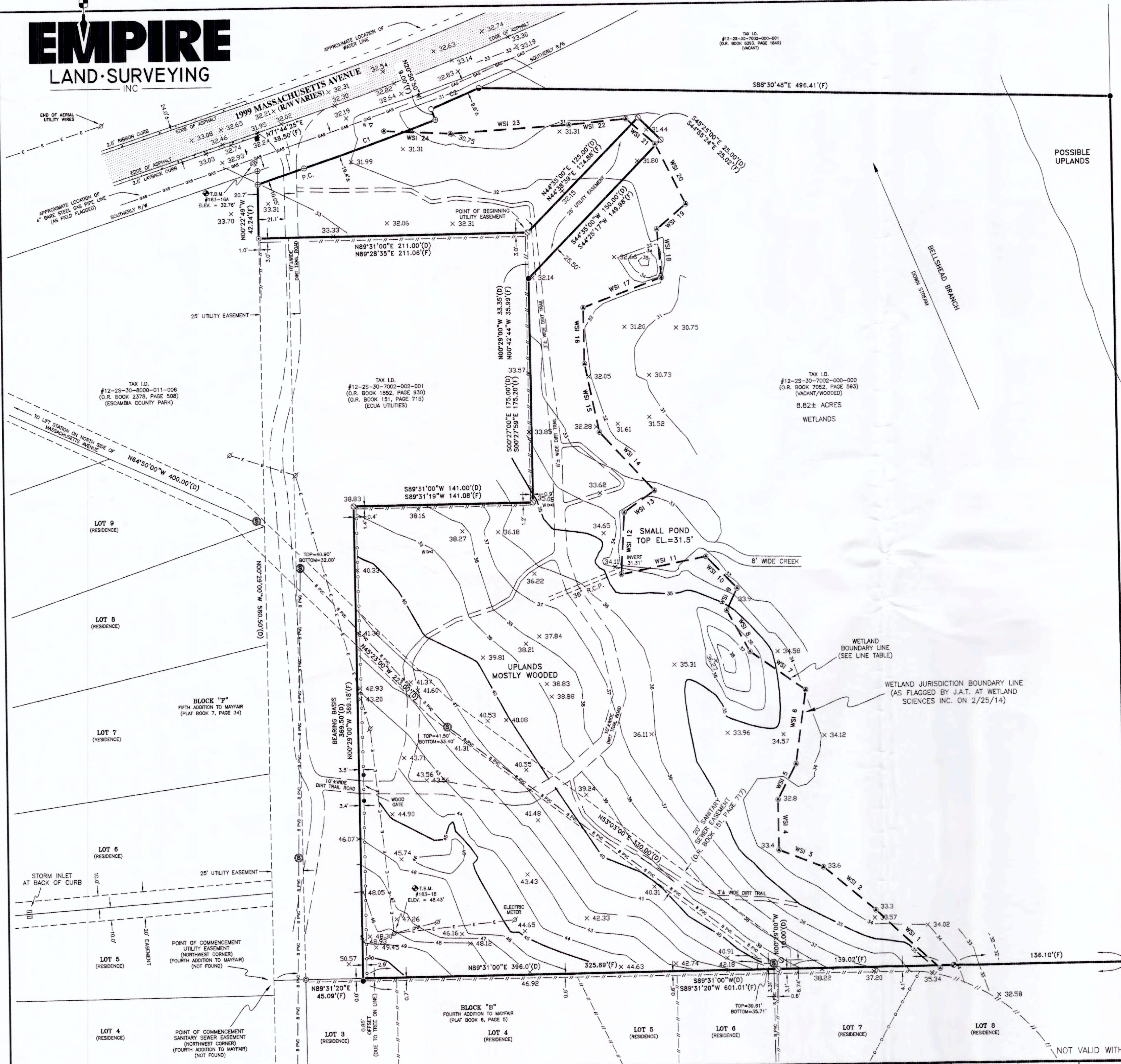
SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN FLORIDA ADMINISTRATION CODE CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

MARCH 12, 2014 LELAND M. EMPIE, P.S.M.
PROFESSIONAL SURVEYOR AND MAPPER, NO. 5766, STATE OF FLORIDA DATE

SCALE: 1" = 40'
FIELD DATE: 3/11/14
ORDER NO: 022-14
FIELD BOOK: 162/51&55&65&67

EMPIRE LAND SURVEYING INC.



BOUNDARY SURVEY TOPOGRAPHIC SURVEY 1999 MASSACHUSETTS AVENUE A PORTION OF SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST ESCAMBIA COUNTY, FLORIDA

WETLAND BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
WSI 1	N47°30'08"W	68.84'(F)
WSI 2	N50°08'25"W	53.30'(F)
WSI 3	N68°43'36"W	37.53'(F)
WSI 4	N00°19'11"W	39.49'(F)
WSI 5	N27°39'00"E	31.35'(F)
WSI 6	N08°10'37"E	56.37'(F)
WSI 7	N54°54'03"W	53.14'(F)
WSI 8	N28°57'58"W	37.01'(F)
WSI 9	N25°48'59"E	19.30'(F)
WSI 10	N44°06'46"W	34.95'(F)
WSI 11	N78°45'33"E	67.55'(F)
WSI 12	N03°08'53"E	46.58'(F)
WSI 13	N55°04'11"E	29.24'(F)
WSI 14	N42°35'58"W	62.93'(F)
WSI 15	N11°45'32"W	54.84'(F)
WSI 16	N00°39'48"W	43.90'(F)
WSI 17	N69°45'09"E	65.75'(F)
WSI 18	N04°45'32"W	37.93'(F)
WSI 19	N49°31'47"E	29.92'(F)
WSI 20	N26°18'19"W	52.78'(F)
WSI 21	N48°37'03"W	30.22'(F)
WSI 22	S84°46'56"W	45.03'(F)
WSI 23	S86°27'37"W	93.13'(F)
WSI 24	N87°05'52"W	52.35'(F)

LEGEND

P.C.	POINT OF CURVATURE
O.R.	OFFICIAL RECORD BOOK
R/W	RIGHT OF WAY
R.C.P.	ROUND CORRUGATED PIPE
F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
●	FOUND 1/2" IRON ROD
○	FOUND 1" IRON PIPE
⊙	FOUND 1/2" IRON PIPE
⊕	FOUND 5/8" CAPPED IRON ROD - F.D.O.T.
⊖	FOUND 1/2" CAPPED IRON ROD - #3887
⊗	FOUND 1/2" CAPPED IRON ROD - #1035
⊘	FOUND 1/2" CAPPED IRON ROD - ELI L.B. #6993
⊙	SET 1/2" RED CAPPED IRON ROD - ELI L.B. #6993 (AS FLAGGED BY WETLAND SCIENCES INC.)
⊕	SANITARY SEWER MANHOLE
⊖	POWER POLE
W	WATER METER
W	WATER LINE FENCE
W	WOOD FENCE
W	AERIAL UTILITY WIRES
W	OVERHEAD PHONE LINE
W	CONCRETE
W	ASPHALT
W	ELEVATIONS IN FEET
W	WATER SPIGOT
W	TEMPORARY BENCHMARK
W	MAILBOX
W	SIGN POST - SPEED LIMIT

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1(F)	2341.83'	109.82'	109.81'	N70°25'08"E	02°41'13"
C2(F)	2331.83'	40.77'	40.77'	N67°02'46"E	01°00'06"

SURVEYOR'S REPORT:

- THERE ARE TEMPORARY LIVING QUARTERS (TENTS, ECT.) NOT SHOWN HEREON.
- THERE IS OTHER EVIDENCE OF BURIED UTILITIES NOT SHOWN HEREON.
- ELEVATION FOR TEMPORARY BENCHMARKS AND TOPOGRAPHIC SURVEY REFERENCED TO COAST AND GEODETIC SURVEY MONUMENT 4x4 CONCRETE MONUMENT WITH BRASS DISK (48-02-F07V), LOCATED AT RED LIGHT ON MOBILE HIGHWAY (S.R. #10A) AND MARLANE DRIVE APPROXIMATELY ± 50.4' WEST OF CENTERLINE OF MOBILE HIGHWAY (S.R. #10A) AND ±1332' NORTH OF BRIDGE AT BAYOU MARCUS, SECTION 13, T2S, R30W. ELEVATION: 50.400' NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- BENCHMARKS (B.M.):
A. T.B.M. 163-18 IS A SET COTTON SPINDLE IN THE WEST FACE OF A POWER POLE LOCATED AT SOUTHWEST CORNER OF PROPERTY AT 1999 MASSACHUSETTS AVENUE. ELEVATION: 48.43'(NAVD 88)
B. T.B.M. 163-16A IS CASING OF GAS VALVE LOCATED APPROXIMATELY 21' NORTHEAST OF NORTHWEST CORNER OF PROPERTY AT 1999 MASSACHUSETTS AVENUE. ELEVATION: 32.76'(NAVD 88)
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED, OR THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES.
- THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
- TO ASSURE THE CONTRACTOR IS ON THE SAME VERTICAL AND HORIZONTAL DATUM AS THIS SURVEY, IT IS STRONGLY RECOMMENDED THAT VERTICAL CHECKS BE MADE BETWEEN TWO BENCH MARKS AND THAT HORIZONTAL CHECKS BE MADE BETWEEN THREE CONTROL POINTS OR PROPERTY CORNERS.
- CALL SUNSHINE ONE UTILITY LOCATORS AT (800) 432-4770 BEFORE DIGGING.
- THE WEST END OF THE 36" R.C.P. COULD NOT BE FOUND.

LEGAL DESCRIPTION: (O.R. BOOK 7052, PAGE 593)

A PARCEL OF LAND LYING IN A PORTION OF SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: THE SOUTH 1/2 OF THE WEST 1/2 OF GOVERNMENT LOT 7, LESS THE WEST 210 FEET OF THE SOUTH 210 FEET OF THE NORTH 310 FEET; AND LESS THE 4TH ADDITION TO MAYFAIR SUBDIVISION; AND LESS AND EXCEPT THAT PORTION CONVEYED TO FLORIDA UTILITY COMPANY BY DEED IN OR BOOK 151, PAGE 715, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; AND LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OR BOOK 730, PAGE 157, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

TOGETHER WITH THAT CERTAIN EASEMENT DESCRIBED AS FOLLOWS: A PERMANENT ACCESS EASEMENT, 25 FEET IN WIDTH, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE 4TH ADDITION TO MAYFAIR SUBDIVISION AS RECORDED IN PLAT BOOK 6, PAGE 5, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 00°29' WEST ALONG A PROJECTION OF THE WEST BOUNDARY OF SAID SUBDIVISION A DISTANCE OF 580.5 FEET; THENCE NORTH 89°31' EAST A DISTANCE OF 211.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44°35' EAST A DISTANCE OF 125.00 FEET; THENCE SOUTH 45°25' EAST A DISTANCE OF 25.0 FEET; THENCE SOUTH 44°35' WEST A DISTANCE OF 150 FEET; THENCE NORTH 00°29' WEST A DISTANCE OF 35.35 FEET TO THE POINT OF BEGINNING, LYING IN SECTION 12, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

THE UNDERSIGNED CLIENT(S) ACKNOWLEDGE RECEIPT AND ACCEPTANCE OF THIS SURVEY:

MARK SPITZNAGEL

THE PURPOSE OF THIS SURVEY IS FOR TITLE TRANSACTION AND ITS ACCOMPANYING MORTGAGE. THIS MAP IS CERTIFIED AS MEETING THE FLORIDA MINIMUM TECHNICAL STANDARDS TO THE FOLLOWING AND IS FOR THE BENEFIT OF ONLY THE FOLLOWING LISTED CLIENT(S), AGENT(S) AND COMPANIES:

MARK SPITZNAGEL
LANDMARK DESIGN AND CONSTRUCTION

SURVEYORS CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN FLORIDA ADMINISTRATION CODE CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

APRIL 9, 2014
PROFESSIONAL SURVEYOR AND MAPPER, NO. 5766, STATE OF FLORIDA
LELAND M. EMPLE, P.S.M.

EMPIRE LAND SURVEYING, INC.
PROFESSIONAL LAND SURVEYING • SERVING NORTHWEST FLORIDA
8720 N. PALAFOX STREET, PENSACOLA, FLORIDA 32534
PHONE: 850-477-3745 -- FAX: 850-477-3705
LICENSED BUSINESS #6993, STATE OF FLORIDA

REVISIONS	FIELD BOOK	DATE
1.) TOPOGRAPHIC SURVEY	163/27	4/1/14
POSSIBLE ENCROACHMENTS: FENCES		

CLIENT: SPITZNAGEL

BEARING: BASIS N00°29'00"W WESTERLY PROPERTY LINE (ASSUMED)

TYPE OF SURVEY: TOPOGRAPHIC SURVEY

SOURCE OF INFORMATION:
FIELD EVIDENCE
DEEDS RECORDED IN:
PRIOR SURVEYS/DRAWINGS

GENERAL NOTES:
1. Fence locations as drawn are not to scale.
2. Jurisdiction (Wetlands) boundary lines not located unless shown on drawing.
3. Footings, foundations, or any other subsurface structures were not located unless otherwise noted.
4. All bearings and/or angles and distances are Deed and Actual unless otherwise noted: Deed = (D); Description = (DE); Actual Field Measurement = (F); Plat = (P)
5. All measurements were made in accordance with United States standards. The accuracy shown meets the standards required in the appropriate land area.
6. No Title Search of the Public Records of the State of Florida was performed by this firm. The standards shown are not abstracted by this firm for ownership, easements, or right-of-ways. The parcel shown hereon may be subject to Subdivisions, easements, zoning and restrictions that may be found in the Public Records of said County.

SCALE: 1" = 40'
FIELD DATE: 3/11/14
ORDER NO: 022-14-1
FIELD BOOK: 162/51&55&65&67
163/15-20&27

Contractors Notes

1. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and Escambia County. Any deviations may result in delays in obtaining a certificate of occupancy.
2. Prior to starting construction, the contractor(s) shall be responsible to verify that all required permits and approvals have been obtained. No construction shall begin until the contractor has received all plans and documentation from all of the permitting and regulatory authorities. Failure of the contractor to follow procedure shall cause the contractor to assume full responsibility for any subsequent modification of the work mandated by any regulatory authority.
3. Contractor shall be required to have studied the documents, including the drawings and project manuals, to have visited the site, and to have familiarize himself regarding all existing conditions and new work under which he will be obligated to perform.
4. All work shall be performed in a workmanlike manner to the entire satisfaction of the owner and engineer and shall comply with all applicable state and local codes.
5. Notify Sunshine Utilities 48 hours in advance prior to digging within the the right-of-way or project boundaries - (850) 432-4770.
6. It shall be the contractor's responsibility to verify the locations of all the utilities within the limits of the project area prior to the start of the site work. All the damages made to the existing utilities by the contractor shall be the sole responsibility of the contractor.
7. The contractor shall keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of the work the contractor shall perform a final clean-up, clean all surfaces and leave the project area clean.
8. The contractor shall maintain access to all drives and parking areas during construction.
9. All roads damaged by construction operations are to be patched or reconstructed as directed by the county engineer or designee.
10. Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the county.
11. Vegetation in the right-of-way and easements shall be restored to original condition unless otherwise noted on the plan sheets.
12. The contractor shall follow Maintenance of Traffic as per FDOT Index 611, 612 and 613.
13. No lane closures between 6:00 AM and 8:00 PM. No lane closures on holidays, including the proceeding and following day .
14. The project engineer (engineer of record) shall provide to Escambia County "As-Built" record drawings for verification and approval by Escambia County one week prior to requesting a final inspection and certificate of occupancy, or provide "As-Built" certification that the project construction adheres to the permitted plans and specifications. The "As-Built" certification or the "As-Built" record drawings must be signed, sealed and dated by a registered Florida Professional Engineer.
15. All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issuance of a final certificate of occupancy.
16. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviations may result in delays in obtaining a certificate of occupancy.
17. The contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in Code Enforcement Violation.
18. Retention/detention areas shall be substantially complete prior to any construction activities that may increase stormwater runoff rates. The contractor shall control stormwater during all phases of construction and take adequate measures to prevent the excavated pond from blinding due to sediments.
19. All disturbed areas which are not paved shall be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod.
20. All new building roof drains, down spouts, or gutters shall be routed to carry all stormwater to retention/detention areas.
21. Developer/Contractor shall reshape per plan specifications, clean out accumulated silt, and stabilize retention/detention pond(s) at the end of construction when all disturbed areas have been stabilized and prior to request for inspection.
22. Contractor shall maintain record drawings during construction which show "as-built" conditions of all work including piping, drainage structures, topo of pond(s), outlet structures, dimensions, elevations, grading etc. Record drawings shall be provided to the Engineer of Record prior to requesting final inspection.
23. The owner or his agent shall arrange/schedule with the County a final inspection of the development upon completion and any intermediate inspections at (850) 595-3472. As-built certification is required prior to request for final inspection/approval.
24. Prior to construction a separate Building Inspection Department permit(s) shall be obtained for all Retaining wall(s) higher than 2 feet.
25. Notify Sunshine utilities 48 hours in advance prior to digging within RW; 1-800-432-4770.
26. Any damage to existing roads during construction will be repaired by the developer prior to final "asbuilt" sign off from the county.
27. The contractor shall notify FDOT 48 hours in advance prior to initiating any work in the state rights-of-way.

28. In the event that survey monumentation or reference points are missing or have been destroyed, please contact:

RICK COLOCADO, PLS
COUNTY SURVEYOR FOR THE PUBLIC WORKS BUREAU,
3363 W. Park Place
PENSACOLA, FLORIDA 32505
PHONE: (850) 595-3434

29. Utility owners shall be notified at least 48 hours in advance prior to any construction so the utility owner can spot verify and/or expose their utilities. Known utility owners include:

BellSouth Communications
Engineering Dept.
605 W. Garden St
Pensacola, FL 32501

Cox Communications
Mr. Troy Young
3405 McLemore Dr.
Pensacola, FL 32514

Koch Gateway Pipeline Co
P. O. Drawer 16143
Mobile, AL 36616

Energy Services of Pensacola
Mr. Glen Bailey
1625 Alwood Dr
Pensacola, FL 32514

Sprint
Engineering Dept
3065 Cumberland Cir. SE
Cumberland Center I
Atlanta, GA 30339-3166

Gulf Power Company
Engineering Dept
PO Box 1151
Pensacola, FL 32520-0041

MCI Worldcom Dept. 42864
Location 107
2400 N. Glenville
Richardson, TX 75082

Mediacom, Inc
Mr. Eddie Arnold
4349 Avalon Blvd
Milton, FL 32583

Level 3 Communications
Engineering Dept
7891 Sears Blvd
Pensacola, FL 32514

AT&T Florida
Mr. Stan Wright
605 W. Garden St. 2nd Floor
Pensacola, FL 32501

Emerald Coast Utilities Authority
Mr. Kevin Ayers
9300 Sturdevant St
Pensacola, FL 32514

30. The owner or his agent shall arrange / schedule with the County a final inspection of the development upon completion and any intermediate inspections at (850) 595-3472. As-built certification is required prior to request for final inspection / approval.

31. The contractor shall maintain record drawings during construction which show "as-built" conditions of all work including piping, drainage structures, topo of pond(s), outlet structures, dimensions, elevations, grading, etc. Record drawings shall be provided to the Engineer of Record prior to requesting final inspection. The Project Engineer shall verify and approve the as-built conditions with notification to the County prior to the final inspection.

32. The project engineer (engineer of record) shall provide to Escambia County "as-built" record drawings for verification and approval by Escambia County one week prior to requesting a final inspection and certificate of occupancy, or provide "as-built" certification that the project construction adheres to the permitted plans and specifications. The "as-built" certification or the "as-built" record drawings must be signed, sealed, and dated by a registered Florida Professional Engineer.

Tree Protection (ref: Escambia County LDC §7.01.04):

No un-permitted grading or clearing by heavy equipment should happen under the dripline of protected trees to remain on the site. Storage of heavy equipment shall not occur under the dripline of protected trees on site. Tree protection barricades should be placed around the dripline of all protected trees marked for preservation prior to any land disturbance consistent with the development order.

No protected trees will be removed.

Water & Waste Disposal

Three portable toilets and hand washing stations are available on site.

Fire Safety

There is a fire Hydrant located at Fennel Street and Massachusetts Avenue that is within 500 feet of the front entrance and can provide water to this location along with a secondary hydrant located at the corner of Fennel Street and Cushman Street that will provide fire safety to the back of the camp.

Stormwater Routing & Drainage

Stormwater from the site currently runs east across the property towards wetlands on the property. No change in the stormwater flow is impacted by this project. Due to the topography of the site, flow from this site has no impact on adjacent properties.

Flood Zone

The subject property as shown hereon is located in flood zone A, (Areas subject to inundation by the 1-percent-annual-chance flood event. Because detailed hydraulic analyses have not been performed, no Base Flood Elevations (BFEs) or flood depths are shown), and flood zone X, as determined from the Federal Emergency Management Agency Flood Insurance Rate Map of Escambia

Contour & Benchmark

Contours and benchmarks based off of site survey conducted March 2014.

Vegetative Buffer

The buffer strip shall be a minimum of ten feet in width and shall be landscaped for every 100 linear feet with plant coverage following Standard A-2.

SHEET CONTENTS

General Notes

PROJECT NUMBER
2014015

PLOT DATE
Sep 28, 2016

DRAWN BY
LAS

CHECKED BY
MWS

SHEET NUMBER
C-1
1 OF 1

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PROJECT NAME AND LOCATION

Sean's Outpost, Inc - Satoshi Forest
1999 Massachusetts Ave
Pensacola, FL

LANDMARK
ENGINEERING & LAND PLANNING
PRELIMINARY
NOT FOR CONSTRUCTION
Phone: 850-470-9292 Fax: 850-470-9641 www.LMEng.com
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FLCC 06690