

AGENDA
ESCAMBIA COUNTY BOARD OF ADJUSTMENT
October 15, 2014–8:30 a.m.
Escambia County Central Office Complex
3363 West Park Place, Room 104

1. Call to Order.
2. Swearing in of Staff and acceptance of Staff as expert witnesses.
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.
4. Proof of Publication and waive the reading of the legal advertisement.
5. Approval of the September 17, 2014 Resume Minutes.
6. **Consideration of the following cases:**
 1. **Case No.:** CU-2014-03
Address: 14000 Blk. River Road
Request: To Split Lots Within a Platted Subdivision
Requested by: Tom Hammond, P.E., Agent for Ono River, LLC
 2. **Case No.:** EX-2014-02
Address 13571 Perdido Key Dr.
Request: Development Order Extension
Requested By: Clint Geci, P.E., Agent for Paradise Island Venture, LLC
 3. **Case No.:** V-2014-11
Address: 3012 Barrancas Ave.
Request: Zero Side Setbacks
Requested By: E. Dean Dalrymple, Agent for Carolyn L. Patterson
7. Discussion Items.
8. Old/New Business.

9. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, November 19, 2014 at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

10. Adjournment.

Board of Adjustment

5.

Meeting Date: 10/15/2014

Attachments

Draft Resume 09-17-14 Meeting

DRAFT

RESUMÉ OF THE MEETING OF THE BOARD OF ADJUSTMENT HELD September 17, 2014

CENTRAL OFFICE COMPLEX
3363 WEST PARK PLACE, BOARD CHAMBERS
PENSACOLA, FLORIDA
(8:30 A.M. – 9:51 A.M.)

Present: Auby Smith
Bobby Price, Jr.
Bill Stromquist
Frederick J. Gant
Jennifer Rigby
Paul White, Jr.

Absent: Kevin White

Staff Present: Kristin Hual, Assistant County Attorney
Horace Jones, Interim Director, Development Services
Andrew Holmer, Senior. Planner, Planning & Zoning
Juan Lemos, Senior Planner, Planning & Zoning
John Fisher, Urban Planner, Planning & Zoning
Debbie Lockhart, Administrative Assistant

REGULAR BOA AGENDA

1. The meeting was called to order at 8:30 a.m.
2. Staff was sworn in and accepted as expert witnesses.
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.

Motion by Vice Chairman Bobby Price, Jr., Seconded by Bill Stromquist
Motion was made to accept the BOA Meeting Package with the Development Services Staff Findings-of-Fact into evidence.
Vote: 6 - 0 Approved
Other: Kevin White (ABSENT)
4. Proof of Publication and waive the reading of the legal advertisement.

Motion by Vice Chairman Bobby Price, Jr., Seconded by Bill Stromquist
Motion was made to accept Proof of Publication and waive the reading of the legal advertisement.

Vote: 6 - 0 Approved

Other: Kevin White (ABSENT)

5. Approval of the July 16, 2014 Board of Adjustment Resume Minutes.

Motion by Vice Chairman Bobby Price, Jr., Seconded by Bill Stromquist
Motion was made to approve the July 16, 2014 Resume' Minutes.

Vote: 6 - 0 Approved

Other: Kevin White (ABSENT)

6. **Consideration of the following cases:**

1. **Case No.:** V-2014-10

Address: 5284 Pale Moon Dr.

Request: Shoreline Setback

Requested by: William R. & Katherine A. McCabe

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by Vice Chairman Bobby Price, Jr., Seconded by Bill Stromquist
Motion was made to accept Staff Findings-of-Fact and approve the Variance as requested.

Vote: 6 - 0 Approved

Other: Kevin White (ABSENT)

2. **Case No.:** V-2014-11

Address: 3012 Barrancas Ave.

Request: Zero Side Setbacks

Requested by: E. Dean Dalrymple, Agent for Carolyn L. Patterson

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by Paul White, Jr., Seconded by Chairman Auby Smith
Motion was made to continue this Variance case to the October 15, 2014 BOA meeting.

Vote: 6 - 0 Approved

Other: Kevin White (ABSENT)

7. Discussion Items.
8. Old/New Business.
9. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, October 15, 2014 at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

10. The meeting adjourned at 9:51 a.m.

Board of Adjustment

6.

Meeting Date: 10/15/2014

Board of Adjustment

6. 1.

Meeting Date: 10/15/2014
CASE: CU-2014-03
APPLICANT: Tom Hammond,P.E., Agent for Ono River, LLC
ADDRESS: River Rd.
14-3S-32-1001-000-149
PROPERTY REFERENCE NO.: 14-3S-32-1001-000-150
R-2PK, Residential
ZONING DISTRICT: District (Perdido Key)
MU-PK, Mixed-Use
FUTURE LAND USE: Perdido Key
OVERLAY DISTRICT: N/A

SUBMISSION DATA:

REQUESTED CONDITIONAL USE:

The Applicant is seeking Conditional Use approval to split lots within a platted subdivision. (Gulf Beach Subdivision, PB 4 PG 52)

RELEVANT AUTHORITY:

**Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended),
Section:4.05.00.C**

C. Division of lots within a subdivision. Where further division of an approved lot is not prohibited by any restriction found on the face of a recorded plat, division of an approved lot within a recorded subdivision must meet the density and width provisions of article 6 and must receive conditional use approval by the Board of Adjustment. This is not to preclude a shifting of lot lines that does not create additional lots.

CRITERIA:

**Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended),
Section 2.05.03**

CRITERION (1)

On-site circulation. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, on-site parking and loading, and access in case of fire or catastrophe.

FINDINGS-OF-FACT

The proposed lots will front River Rd. and have right-of-way access. On-site circulation will be the same as with other residential lots.

CRITERION (2)

Nuisance. Adverse impact such as noise, glare, smoke, odor or other harmful effects (electrical interference, hazardous materials, etc.) of the conditional use on adjoining properties and properties generally in the District.

FINDINGS-OF-FACT

There are no anticipated nuisances associated with this Conditional Use.

CRITERION (3)

Solid Waste. Refuse and service areas with particular reference to concurrency requirements and items (1) and (2) above.

FINDINGS-OF-FACT

Solid waste service will be provided by the property owners through Emerald Coast Utilities Authority (ECUA).

CRITERION (4)

Utilities. Utilities with reference to concurrency requirements, location, availability and compatibility with surrounding land uses.

FINDINGS-OF-FACT

All necessary utilities are in place along River Rd. and the developer will tie in to the existing systems.

CRITERION (5)

Buffers. The buffer may be a landscaped natural barrier, a natural barrier or a landscaped or natural barrier supplemented with fencing or other man-made barriers, so long as the function of the buffer and the intent of Policy FLU 1.1.9 of the Comprehensive Plan and the provisions of Section 7.01.06 of the Land Development Code are fulfilled.

FINDINGS-OF-FACT

While buffering is not necessary for this project, the wetlands on site will act as buffers from the adjacent properties to the north and south.

CRITERION (6)

Signs. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the District.

FINDINGS-OF-FACT

No signs are proposed with this project.

CRITERION (7)

Environment impact. Impacts to protected trees, wetlands, water bodies, stormwater management or other natural features of the subject parcel.

FINDINGS-OF-FACT

The subdivision of these lots is under review by the Development Review Committee and will need to meet all applicable environmental regulations.

CRITERION (8)

Neighborhood impact. General compatibility with adjacent properties and other property in the immediate area.

FINDINGS-OF-FACT

The project as proposed will be compatible with the surrounding area and uses.

CRITERION (9)

***Other requirements of Code.* The proposed Conditional Use is consistent with all other relevant provisions of this Code.**

FINDINGS-OF-FACT

The proposed Conditional Use is consistent with all other relevant provisions of this Code.

STAFF RECOMMENDATION

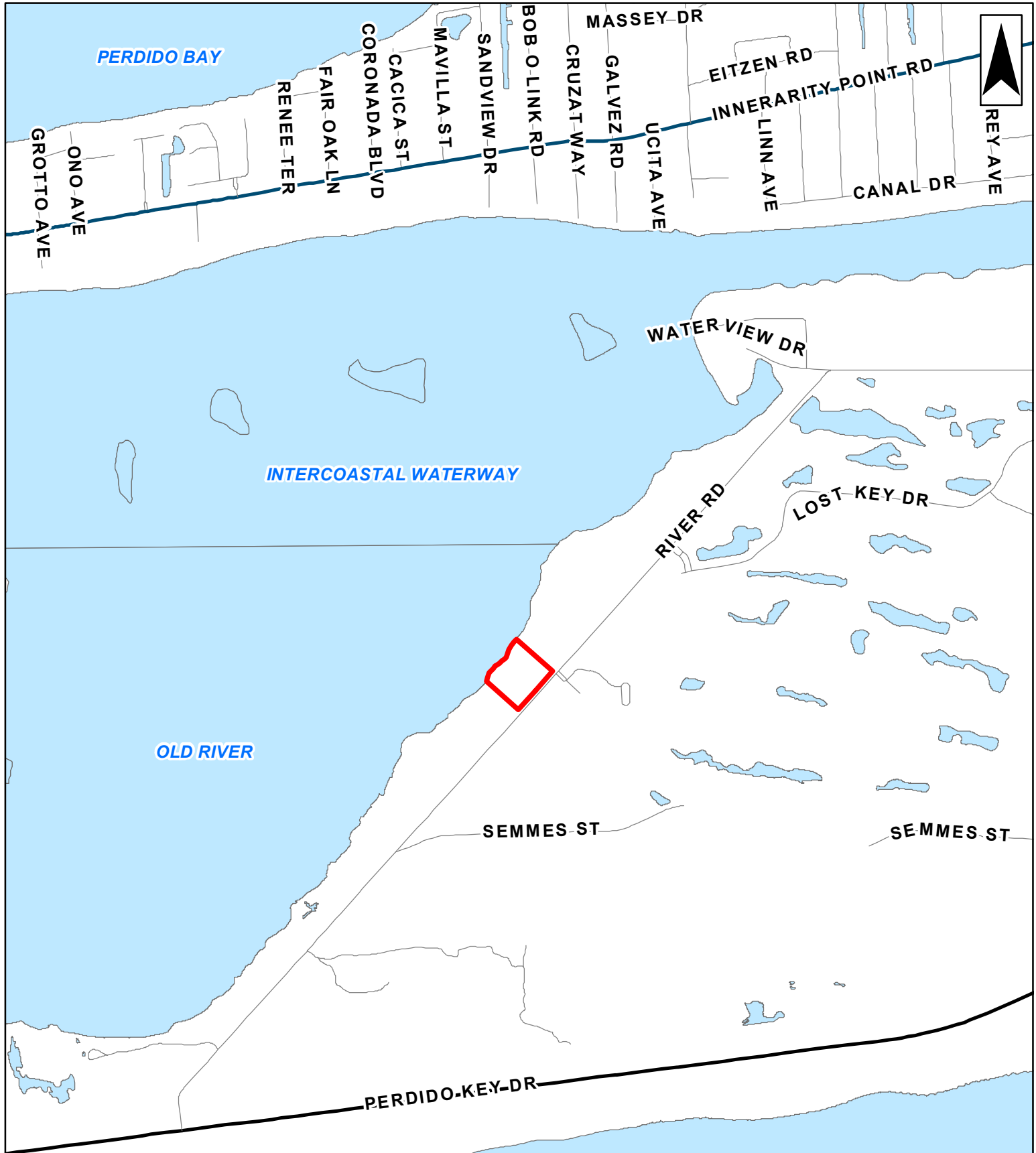
Staff finds that the application does meet all of the required criteria and approval of the request is recommended.

BOARD OF ADJUSTMENT FINDINGS:

Attachments

CU-2014-03 Working Case File

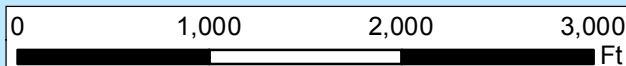
CU-2014-03



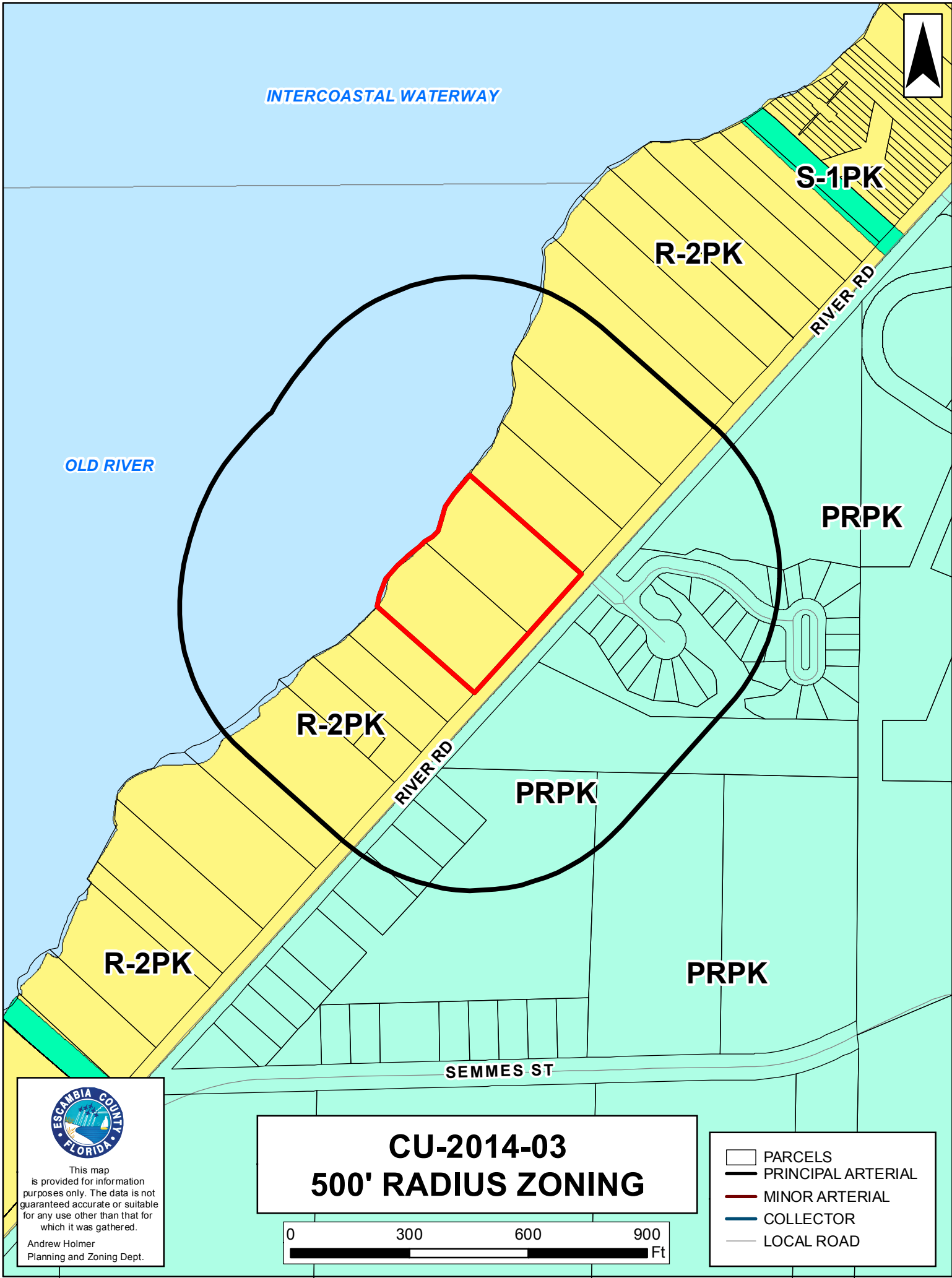
This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

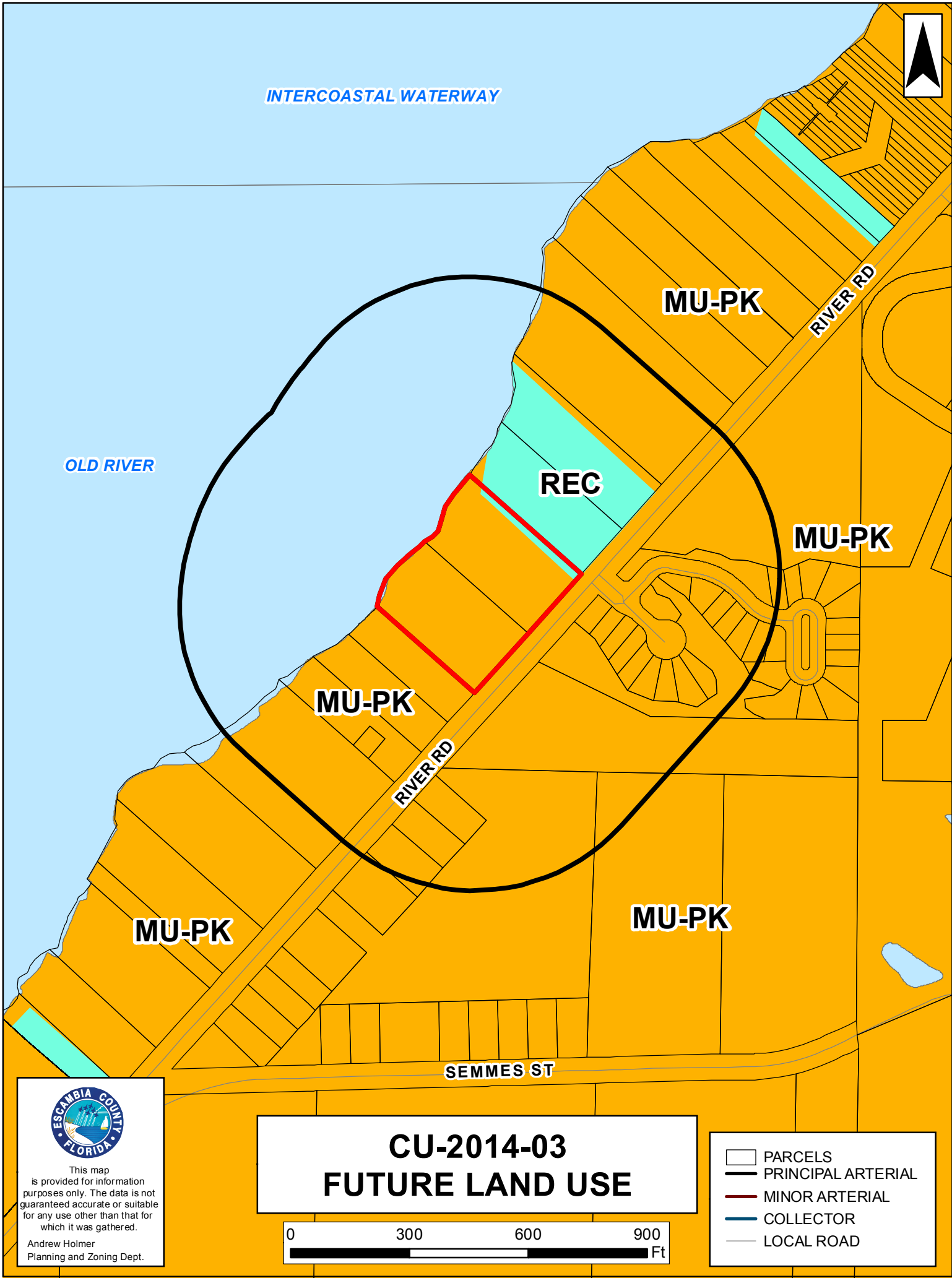
Andrew Holmer
Planning and Zoning Dept.

CU-2014-03 LOCATION MAP



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD

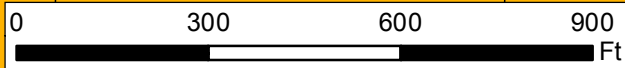




This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2014-03 FUTURE LAND USE



- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



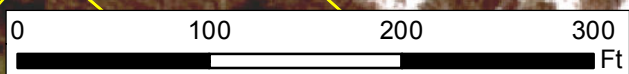
RIVER RD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2014-03 AERIAL MAP



- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



HAMMOND ENGINEERING, INC.
Florida Certificate of Authorization No. 9130
Alabama Certificate of Authorization No. 3277

September 22, 2014

Mr. Drew Homer
Escambia County Development Services
3363 West Park Place
Pensacola, Florida 32505

Reference: Ono River Un-platted Subdivision
14-3S-32-1001-000-149
14-3S-32-1001-000-150
HEI Project No. 14-041

Dear Drew:

The owner of the above referenced parcels wishes to divide them into four (4) parcels. The parcels will be used for single family residential lots. The existing lots are previously platted lots, so the proposed subdivision requires conditional use approval. We request a hearing before the Board of Adjustment and approval of this conditional use request based on the following:

Conditional Use Criteria

- 1. On-site circulation** The proposed use will not impede on-site circulation. The attached site plan shows the proposed lot dimensions. All four (4) proposed lots will front up on River Road. The plans have been submitted to Escambia County DRC and there were no comments issued concerning on-site circulation.
- 2. Nuisance** The proposed use will be single family residential residences. The proposed use will not create noise, glare, smoke, odor or harmful effects to any extent that would exceed allowable uses under the current zoning designation.
- 3. Solid Waste** The proposed single family residential lots will each have its own solid waste container. Solid waste disposal service will be provided by the ECUA.
- 4. Utilities** Potable water and sanitary sewer infrastructure is in place along River Road. The provider is the ECUA and any development of the lot which requires these services will be required to tie into the existing ECUA systems.

5. Buffers The proposed conditional use will allow the division of two (2) Residential zoned (R-2PK) lots into four residential lots. The existing parcels are adjoined by a residence to the south and a vacant parcel to the north. There are existing jurisdictional wetlands that are to remain located along both the north and south property lines providing a natural buffer that exceeds the buffer requirements required by residential development and the parcels zoning designations.

6. Signs There is no signage proposed for the project.

7. Environmental Impact The proposed conditional use will allow the owner to divide two (2) existing residentially zoned parcels into four (4) residentially zoned parcels. There are jurisdictional wetlands on the property. The project plan has been submitted for DRC review and we have Environmental Permitting's signature on the disposition sheet documenting their approval of the proposed plan. Stormwater treatment will likely be provided through swales or vegetative natural buffers.

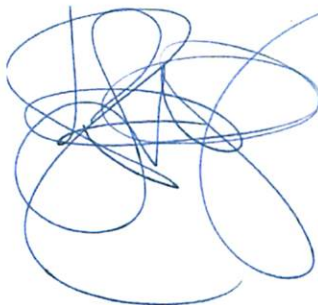
8. Neighborhood Impact The proposed conditional use will allow the owner to divide two (2) SFR zoned lots into four (4) SFR zoned lots. The immediate surrounding area to the southwest is developed as single family residences. The proposed conditional use does not negatively impact adjacent properties or property in the immediate area.

9. Other requirements of the code We have submitted the project as an unplatted subdivision to the Escambia County Development Review process and have received their comments. We will revise the plans per DRC comments and submit for Final Comparison should this conditional use be approved. No other requirements are required at this time according to staff

We appreciate your assistance in this matter. Should you have questions or comments, please give us a call.

Sincerely,

HAMMOND ENGINEERING, INC.

A handwritten signature in blue ink, appearing to read 'Thomas G. Hammond, Jr.', with a stylized, overlapping loop structure.

Thomas G. Hammond, Jr., PE
President

APPLICATION

Please check application type:

☐ Administrative Appeal

☐ Development Order Extension

☒ Conditional Use Request for: Division of Platted Lots LDC 4.05.00(c)

☐ Variance Request for: _____

☐ Rezoning Request from: _____ to: _____

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: Ono River, LLC Phone: 850.501.7800

Address: 4120 Aiken, Pensacola, FL 32503 Email: matthewpair@yahoo.com

☐ Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: River Road-No street number assigned

Property Reference Number(s)/Legal Description: 14-3S-32-1001-000-149 & 14-3S-32-1001-000-150

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Signature of Owner/Agent

Printed Name Owner/Agent

Date

Signature of Owner

Printed Name of Owner

Date

STATE OF Florida

COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 29 day of September 20 14,
by Matt Pair.

Personally Known ☐ OR Produced Identification ☐ . Type of Identification Produced: _____

Signature of Notary

(notary seal must be affixed)

Printed Name of Notary



R. SIEG
MY COMMISSION # EE 146400
EXPIRES: December 1, 2015
Bonded Thru Budget Notary Services

FOR OFFICE USE ONLY

CASE NUMBER: CU-2014-03

Meeting Date(s): 10-15-14 Accepted/Verified by: D. Lakshmi / AH Date: 09-28-14

Fees Paid: \$ 1270.50 Receipt #: 618725 Permit #: PBA 14 0900015

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at River Road,
Florida, property reference number(s) 14-3S-32-1001-000-149 & 14-3S-32-1001-000-150

I hereby designate Hammond Engineering, Inc. for the sole purpose
of completing this application and making a presentation to the:

☐ Planning Board and the Board of County Commissioners to request a rezoning on the above
referenced property.

☒ Board of Adjustment to request a(n) CONDITIONAL USE on the above referenced property.

This Limited Power of Attorney is granted on this 29 day of September the year of,
2014, and is effective until the Board of County Commissioners or the Board of Adjustment has
rendered a decision on this request and any appeal period has expired. The owner reserves the right to
rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development
Services Bureau.

Agent Name: Thomas G. Hammond, Jr., PE Email: tom@selanddesign.com

Address: 3802 North S Street, Pensacola, FL 32505 Phone: 850.434.2603


Signature of Property Owner

Matt Pair
Printed Name of Property Owner

9/29/14
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF Florida

COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 29 day of September 20 14,
by Matt Pair.

Personally Known ☐ OR Produced Identification ☐. Type of Identification Produced: _____


Signature of Notary

Ryan Sieg
Printed Name of Notary

(Notary Seal)



R. SIEG
MY COMMISSION # EE 146400
EXPIRES: December 1, 2015
Bonded Thru Budget Notary Services

PURCHASE AGREEMENT
(River Road Waterfront Lots, Escambia County, Florida)

This Purchase Agreement is dated August __, 2014 and is between REO Funding Solutions III, LLC, a Georgia limited liability company ("Seller"), and Matthew Pair ("Buyer").

1. **Purchase and Sale.** Buyer agrees to purchase and Seller agrees to sell the land in Escambia County, Florida that consists of 2 lots that are legally described in Exhibit A to this Agreement, together with all improvements and fixtures on or attached to that land and all rights that are appurtenant to that land, and together with Seller's interest in all warranties, guaranties, and indemnities related to the land (the "Property").

2. **Purchase Price.** The purchase price for the Property is U.S. \$525,000 in immediately available funds.

3. **Earnest Money.** Buyer agrees to deposit \$1,000 as nonrefundable earnest money into escrow with Calloway Title & Escrow, LLC, 4170 Ashford Dunwoody Road, Suite 285, Atlanta, Georgia 30319 within 2 business days after the date of this Agreement. The escrow agent will hold the earnest money in escrow. This Agreement constitutes the only escrow instructions to the escrow agent. The escrow agent may, but is not obligated to, invest the earnest money in an interest-bearing account at an FDIC-insured financial institution. All interest earned, if any, is part of the earnest money. The earnest money is nonrefundable to Buyer, except in the event Seller defaults under this Agreement. The earnest money will be applied to the purchase price and will be paid to Seller at closing. If Buyer does not deposit the earnest money with the escrow agent within 2 business days after the date of this Agreement, Seller may terminate this Agreement by written notice to Buyer.

4. **Title Review.** Buyer will order a current title commitment from the escrow agent. Buyer may also obtain a current survey of the Property. Buyer must give Seller written notice of any objections Buyer has to the marketability or insurability of title to the Property before the "Contingency Deadline", as Section 7 defines that term. Buyer waives any title objections it does not make in writing to Seller before the Contingency Deadline, except that Buyer may object after the Contingency Deadline to any matter that is first created or added to the title commitment after the Contingency Deadline that affects the marketability or insurability of title by giving Seller an additional title objection notice promptly after Buyer learns of the new matter. Seller may, but has no obligation to, cure any or all of Buyer's title objections, with the sole exception that Seller agrees to remove all security deeds, mortgages, deeds of trust, tax liens, and mechanics' liens for obligations that first became due after Seller acquired the Property. Seller will be deemed to have refused to cure each title objection Buyer makes unless Seller agrees to cure it by written notice to Buyer within 5 business days after Seller receives the title objection. If Seller refuses or is deemed to have refused to cure any title objection, Buyer may, as its sole right or remedy, terminate this Agreement by written notice to Seller within 5 business days after Seller refuses or is deemed to have refused to cure the title objection. If Buyer does not terminate this Agreement within 5 business days after Seller's refusal or deemed refusal to cure, Buyer will be deemed to have waived the title objection or objections.

5. **Due Diligence Materials.** To the extent they exist and Seller has them in its

possession or control, Seller agrees to deliver to Buyer, within 5 business days after the date of this Agreement, copies of its owner's policy or policies of title insurance for the Property; any existing survey or surveys of the Property; any environmental report; and any plans, plats, and site plans for the subdivision or the Property. Seller does not represent that any information in any of any of these materials is accurate or complete and Buyer agrees not to rely on any information in these materials as accurate or complete.

6. **Buyer's Inspection.** Buyer and its contractors may enter the Property to inspect and survey and to do a Phase I environmental site assessment and soil tests. But Buyer agrees not to test for hazardous materials without Seller's written consent, which Seller may withhold for any reason. Buyer agrees to pay for all tests and inspections when due. Buyer agrees to repair all damage that results from its entry on and inspection of the Property and to return the Property to a condition at least as good as before the tests or inspections began. Buyer agrees to indemnify and defend Seller against all demands and claims that result from Buyer's investigations, including reasonable attorney fees. If this Agreement is terminated or cancelled, Buyer agrees to deliver to Seller, within 10 days after the termination, copies of all environmental reports, soil reports, permit applications, site plans, and other due diligence documents Buyer obtains or receives with respect to the Property. This Section will survive the termination of this Agreement.

7. **Contingency Deadline, Buyer's Right to Terminate.** Buyer may, in its sole and absolute discretion, terminate this Agreement by written notice to Seller before 5:00 pm Atlanta time on the 30th day after the date of this Agreement (the "Contingency Deadline"), and if it does so, neither party will have any further rights, obligations, or liabilities under this Agreement except those that survive termination. Buyer will not receive the earnest money back upon termination of this Agreement prior to the Contingency Deadline.

8. **Closing.** Seller and Buyer agree to close the sale of the Property on the 15th day after the Contingency Deadline.

9. **Seller's Closing Deliveries.** At or before closing, Seller agrees to sign and deliver the following to the escrow agent, which the escrow agent will hold in escrow until all conditions to Seller's obligation to close have been satisfied: (i) a Special Warranty Deed on the form in **Exhibit B**; (ii) a seller's affidavit on the form in **Exhibit C**; (iii) a non-foreign affidavit on the form in **Exhibit D**; (iv) a Certificate of Authority in the form in **Exhibit E**, but Seller has no obligation to deliver a copy of any of its organizational documents or any other evidence of authority; (v) a closing statement; and (vi) any other documents the escrow agent, the title company, or Buyer reasonably requires to close. Seller will deliver possession of the Property to Buyer on the closing date.

10. **Buyer's Closing Deliveries.** At or before closing, Buyer agrees to deliver each of the following to the escrow agent, which the escrow agent will hold in escrow until all conditions to Buyer's obligation to close have been satisfied or waived: (i) the full purchase price, with credit for the earnest money and plus or minus the adjustments and prorations for which this Agreement provides; (ii) the closing statement; (iii) reasonable documentation of Buyer's existence and authority to the extent reasonably required by the escrow agent or the title company to close; and (iv) any other documents the escrow agent, the title company, or Seller

reasonably requires to close.

11. **Closing Costs.** Seller agrees to pay the title exam fees for the title commitment and the cost of preparing the title commitment, the documentary stamp taxes due in connection with filing the deed, half of the escrow agent's escrow charges, half of the title company's closing costs, and its own attorney fees. Buyer agrees to pay the premium for its title insurance policy, all charges for any endorsement to its title insurance policy, all recording costs, all costs related to financing Buyer's purchase of the Property, the cost of any survey, environmental report, and appraisal that Buyer orders, one-half of the escrow agent's escrow charges and the title company's closing costs, and its own attorney fees.

12. **Prorations.** Seller agrees to pay all unpaid ad valorem property taxes and installments of special assessments due with respect to the Property for all years before the year in which closing occurs. All ad valorem property taxes and installments of special assessments for the Property due in the year of closing will be prorated as of the closing date. The proration of property taxes and special assessments will be based on the assessed valuation and tax rate figures for the year in which the closing occurs to the extent the amounts are available; if the actual amounts for the year of closing are not available on the closing date, the proration will be made using figures from the preceding year. The parties will prorate at closing any other dues, assessments, and charges that are due with respect to the Property for the year of closing, based upon amounts reasonably available to the parties before closing or, if the amounts are not reasonably available, based on the preceding year's charges. The proration of real property taxes, special assessments, and other charges will be final and not subject to re-adjustment after closing. If Seller has prepaid sewer or water tap fees, impact fees, or similar fees for the Property, Buyer will purchase the prepaid fees at the closing at the then-market rate.

13. **Operation before Closing.** Until the closing or the termination of this Agreement, Seller agrees not to rent, lease, transfer, lien, mortgage, pledge, or convey any of the Property.

14. **Seller's Representations.** Seller warrants to Buyer that Seller is a limited liability company duly organized, validly existing and in good standing under the laws of the State of Georgia; that Seller has full right, power, and authority to enter into this Agreement and sell the Property to Buyer under this Agreement; that Seller is not a party to any agreement that would prohibit Seller from selling the Property to Buyer under this Agreement; and that Seller owns fee title to the Property.

15. **Buyer's Representations.** Buyer represents that Buyer has the full right, power, and authority to enter into this Agreement and purchase the Property under this Agreement; and that Buyer is not purchasing the Property for investment with indefinite plans for re-sale.

16. **"As-Is".** Buyer acknowledges that Seller is not a developer, that Seller did not develop the subdivision, and that Seller acquired the Property from a lender who foreclosed on the Property. Buyer agrees that Seller has no duty to perform any construction or development work in or with respect to the Property or any other part of the subdivision and that Seller has no duty to complete, correct, or satisfy any uncompleted obligations or conditions that apply to the development of the Property or any other part of the subdivision. Except for Seller's

representations in this Agreement, Seller disclaims all warranties and representations, express or implied, written or oral, statutory or otherwise. Except for Seller's agreements in this Agreement, Buyer waives all claims against Seller based in any way on: (i) the nature, quality, or condition of the Property or any other part of the subdivision or any improvements on or that serve the Property or any other part of the subdivision; (ii) any failure of the Property or of any other improvements within or that serve the subdivision to be complete or to comply with any applicable law or any recorded declaration, or to otherwise be suitable for constructing homes or for any other particular purpose; (iii) the suitability of any lot within the Property for building homes or any other improvements on, including, without limitation, the availability of building permits and any other necessary authorizations or approvals, the availability of sewer or water services, the suitability of the lots for private wells or septic systems, the availability of utility services, or the condition of the soils; or (iv) the failure of any lot or other part of the Property or the subdivision, including any improvements, or their operation, to comply with any laws, rules, ordinances, or regulations. Buyer agrees to accept possession of the Property, and to close on the purchase of the Property, "as-is", "where-is", and with all faults, with no right of setoff against or reduction in the purchase price for any defects or inadequacies.

17. Seller's Default. If Seller defaults under this Agreement and does not cure the default within 10 business days after written notice of the default, Buyer may, at Buyer's sole option, as Buyer's sole and exclusive right and remedy for the default, do one of the following: (i) terminate this Agreement and receive back the earnest money plus \$500 as full, fixed, and liquidated damages, in which case neither party will have any further rights, obligations, or liabilities under this Agreement except those that survive termination; or (ii) enforce specific performance in a lawsuit filed within 30 days after the default. Buyer's failure to exercise one of these remedies within the required time waives the default and all of Buyer's rights and remedies with respect to that default.

18. Buyer's Default. If Buyer defaults in its obligation to close under this Agreement, Seller may, as Seller's sole and exclusive right and remedy for that default, terminate this Agreement and receive the earnest money as full, fixed, and liquidated damages for Buyer's failure to close, and neither party will have any further rights, obligations, or liabilities under this Agreement except those that survive termination. Seller and Buyer agree that the actual damages Seller would incur from Buyer's default on its obligation to close would be extremely difficult to calculate or establish on the date of this Agreement and agree that the earnest money is reasonable compensation to Seller for that default.

19. Broker Commissions. Seller is represented by Realty House Commercial Properties, Inc. and Buyer is represented by Pair and Hayward Properties, Inc. in connection with this Agreement. If the closing occurs, Seller agrees to pay a 3.5% commission to Seller's broker and a 2.5% commission to Buyer's broker. No commission or other brokerage fee will be due or payable if the closing does not occur. Each of Seller and Buyer represents to the other that, except as described above in this Section, it has not engaged, used, or entered into any agreement with any real estate broker, agent, finder, or any other party who could claim a commission or other payment in connection with this Agreement. Each of Seller and Buyer agrees to indemnify and defend the other from all loss, claims, costs, and expenses, including reasonable attorney fees caused by a breach of its representations in this Section.

20. **Condemnation and Casualty.** If any governmental authority delivers written notice of a proposed condemnation of all or any part of the Property, or if any casualty materially damages the Property, Seller will give Buyer prompt written notice. If the proposed condemnation or the casualty will materially decrease the value of the Property, Buyer may, as its sole and exclusive right and remedy, either: (i) close without any adjustment to the purchase price, in which case Seller will assign all of its interest in any condemnation and casualty insurance proceeds to Buyer, less any amounts Seller has paid out of pocket for the repair of any casualty or condemnation damage; or (ii) terminate this Agreement by written notice to Seller within 10 business days after notice of the condemnation or casualty damage, in which case the escrow agent will return the earnest money to Buyer and neither party will have any further rights, obligations, or liabilities under this Agreement except those that survive termination. If any condemnation or casualty occurs that will not materially decrease the value of the Property, Seller will assign all of its interest in any condemnation and casualty insurance proceeds to Buyer. Seller has no obligation to repair or restore any casualty damage to the Property. Each of Seller and Buyer waives the Uniform Vendor and Purchaser Risk Act to the extent it is inconsistent with this Section.

21. **Notices.** All notices in connection with this Agreement must be in writing and will be effective and delivered on the date sent by email to the email addresses of all of the recipient's notice parties listed below, if sent during normal business hours on a business day in Atlanta, Georgia, and otherwise on the next business day, except that if a notice party does not have an email address listed below, or if an email to a notice party is undeliverable, notice to that notice party will be effective and delivered: (i) on the date personally delivered to the notice party's street address; (ii) on the date mailed by certified or registered mail postage prepaid, return receipt requested, to the notice party's street address; or (iii) on the date sent for next business day delivery by a nationally-recognized delivery service such as Federal Express or United Parcel Service to the notice party at its street address. Seller's and Buyer's notice parties and their addresses are:

Seller's notice parties:

David M. Edwards
Turnstone Group LLC
Suite 1775
3424 Peachtree Road, NE
Atlanta, GA 30326
dedwards@turnstonegroup.com

Steven C. Cox
Fabyanske, Westra, Hart & Thomson, PA
Suite 2600
333 South Seventh Street
Minneapolis, MN 55402
sc Cox@fwhtlaw.com

William J. Wright
Ganek Wright Minsk PC
Suite 285
4170 Ashford Dunwoody Road
Atlanta, GA 30319
billw@titlelaw.com

and, only for notices of a Seller default or Buyer's
termination of this Agreement:

Kevin Hackler
Castlelake, L.P.
4600 Wells Fargo Center
90 South Seventh Street
Minneapolis, MN 55402
(notices to Kevin Hackler must be
by a method other than email)

Buyer's notice parties:

Matthew Pair
4170 Aiken Road
Pensacola, FL 32503

Each party may change its notice parties and their addresses by notice under this Section. The attorney for each party is authorized to give any notice under or related to this Agreement on behalf of its client.

22. **General Terms.** Buyer may ~~not~~ ^{MPB} assign its interest in this Agreement without Seller's written consent, which Seller agrees not to unreasonably withhold, except that Buyer may assign this Agreement without Seller's consent to any entity that is wholly-owned by Buyer or Buyer's beneficial owner. Buyer agrees not to record this Agreement or any memorandum of this Agreement. This Agreement is governed by the laws of the State of Florida. If the closing date or the Contingency Deadline is scheduled to occur on a day that is not a business day, then the closing date or the Contingency Deadline will be extended to the next business day. If a provision of this Agreement is held to be illegal, invalid, or unenforceable, the legality, validity, and enforceability of the remaining provisions of this Agreement will not be affected, and this Agreement will remain in full force and effect. Time is of the essence for all purposes related to this Agreement. This Agreement is the entire agreement between the parties and supersedes all prior agreements and understandings, if any, that relate to the Property, including any letter of intent. The exclusive venue for any dispute between Seller and Buyer with respect to this Agreement or the Property will be the district court in the county in which the Property is located. If either party employs an attorney to interpret this Agreement or to enforce or defend its rights under this Agreement, the party that does not prevail will pay the prevailing party its actual attorney fees. Each of Seller and Buyer waives its right to a jury trial. This Agreement binds and benefits Seller, Buyer, and their successors and assigns. The parties may sign this Agreement in counterparts and may deliver it by email.

Signature Pages Follow

**Signature Page to Purchase Agreement
(River Road Waterfront Lots, Escambia County, Florida)**

Seller:

REO Funding Solutions III, LLC

By:

Name:

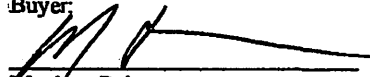
Title:


Julie K. Braun

Vice President

**Signature Page to Purchase Agreement
(River Road Waterfront Lots, Escambia County, Florida)**

Buyer:


Matthew Pair

CONCURRENCY DETERMINATION ACKNOWLEDGMENT

For Rezoning Requests Only

Property Reference Number(s): 14-3S-32-1001-000-149 & 14-3S-32-1001-000-150

Property Address: River Road, no street numbers assigned

I/We acknowledge and agree that no future development for which concurrency of required facilities and services must be certified shall be approved for the subject parcel(s) without the issuance of a certificate of concurrency for the development based on the actual densities and intensities proposed in the future development's permit application.

I/We also acknowledge and agree that approval of a zoning district amendment (rezoning) or Future Land Use Map amendment does not certify, vest, or otherwise guarantee that concurrency of required facilities and services is, or will be, available for any future development of the subject parcels.

I/We further acknowledge and agree that no development for which concurrency must be certified shall be approved unless at least one of the following minimum conditions of the Comprehensive Plan will be met for each facility and service of the County's concurrency management system prior to development approval:

- The necessary facilities or services are in place at the time a development permit is issued.
- A development permit is issued subject to the condition that the necessary facilities and services will be in place and available to serve the new development at the time of the issuance of a certificate of occupancy.
- For parks and recreation facilities and roads, the necessary facilities are under construction at the time the development permit is issued.
- For parks and recreation facilities, the necessary facilities are the subject of a binding executed contract for the construction of the facilities at the time the development permit is issued and the agreement requires that facility construction must commence within one year of the issuance of the development permit.
- The necessary facilities and services are guaranteed in an enforceable development agreement. An enforceable development agreement may include, but is not limited to, development agreements pursuant to Section 163.3220, F.S., or as amended, or an agreement or development order issued pursuant to Chapter 380, F.S., or as amended. For transportation facilities, all in-kind improvements detailed in a proportionate fair share agreement must be completed in compliance with the requirements of Section 5.13.00 of the LDC. For wastewater, solid waste, potable water, and stormwater facilities, any such agreement will guarantee the necessary facilities and services to be in place and available to serve the new development at the time of the issuance of a certificate of occupancy.
- For roads, the necessary facilities needed to serve the development are included in the first three years of the applicable Five-Year Florida Department of Transportation (FDOT) Work Program or are in place or under actual construction no more than three years after the issuance of a County development order or permit.

I HEREBY ACKNOWLEDGE THAT I HAVE READ, UNDERSTAND AND AGREE WITH THE ABOVE STATEMENT ON THIS 29th DAY OF Sept., YEAR OF 2014.


Signature of Property Owner

Matt Paik
Printed Name of Property Owner

9/29/14
Date

Signature of Property Owner

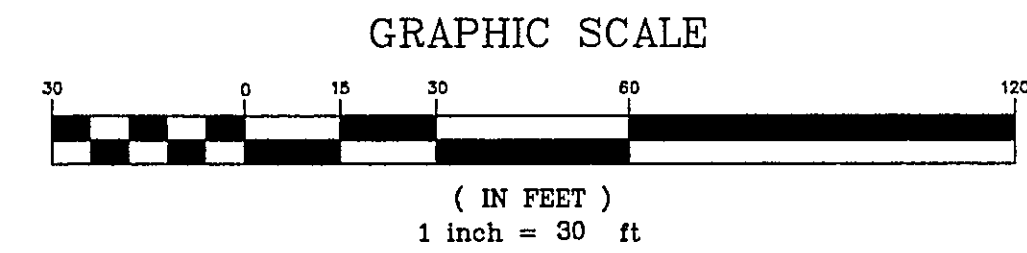
Printed Name of Property Owner

Date

EXHIBIT A

Legal Description of the Property

**Lots 149 and 150, Gulf Beach Subdivision, according to the plat thereof recorded in Plat Book 4,
Page 52 of the public records of Escambia County, Florida.**



FLOOD ZONE DATA

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW				
FLOOD ZONE(S)	NFIP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX
AE BASE FLOOD ELEVATION 5	120080	12033C	0512	G
MAP REVISION DATE				
SEPTEMBER 29 2006				

GENERAL NOTES

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF SOUTH 41 DEGREES 53 MINUTES 38 SECONDS WEST ALONG THE NORTHWESTERLY RIGHT OF WAY LINE OF RIVER ROAD (66' R/W).
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE RECORD PLAT OF GULF BEACH SUBDIVISION AS RECORDED IN PLAT BOOK 4, PAGE 52 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD UNRECORDED DEEDS EASEMENTS RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "AE" BASE FLOOD ELEVATION 5 FEET AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS) MAP NUMBER 12033C 0512 G REVISED SEPTEMBER 29 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61017-6 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.007 FLORIDA STATUTES TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 FROM FLORIDA DEPARTMENT OF TRANSPORTATION GEODETIC NETWORK AND BASE STATION.
- THE HORIZONTAL LOCATION OF THE MEAN HIGH WATER LINE SHOWN HEREON IS REFERENCED TO NORTH AMERICAN DATUM OF 1983 FROM GPS OBSERVATION USING FLORIDA MAPPING PLANE ZONE FLORIDA NORTH 0903.
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE MEAN HIGH WATER ELEVATION AS SHOWN HEREON WAS ESTABLISHED BY EXTENDING THE ELEVATION SHOWN AT MEAN HIGH WATER INTERPOLATION POINT NO. 3376.
- THIS MEAN HIGH WATER LINE SURVEY COMPLIES WITH CHAPTER 177 PART II FLORIDA STATUTES.

NOTES

- 1/2" CAPPED IRON ROD NUMBERED 7277 (PLACED)
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- ~ BENCHMARK
- ~ UTILITY POLE
- ~ FIRE HYDRANT

TYPICAL DRIVEWAY CONNECTION STANDARDS FOR NEW SUBDIVISION (ROADSIDE SWALES) ROADWAY CONDITIONS

NOTES

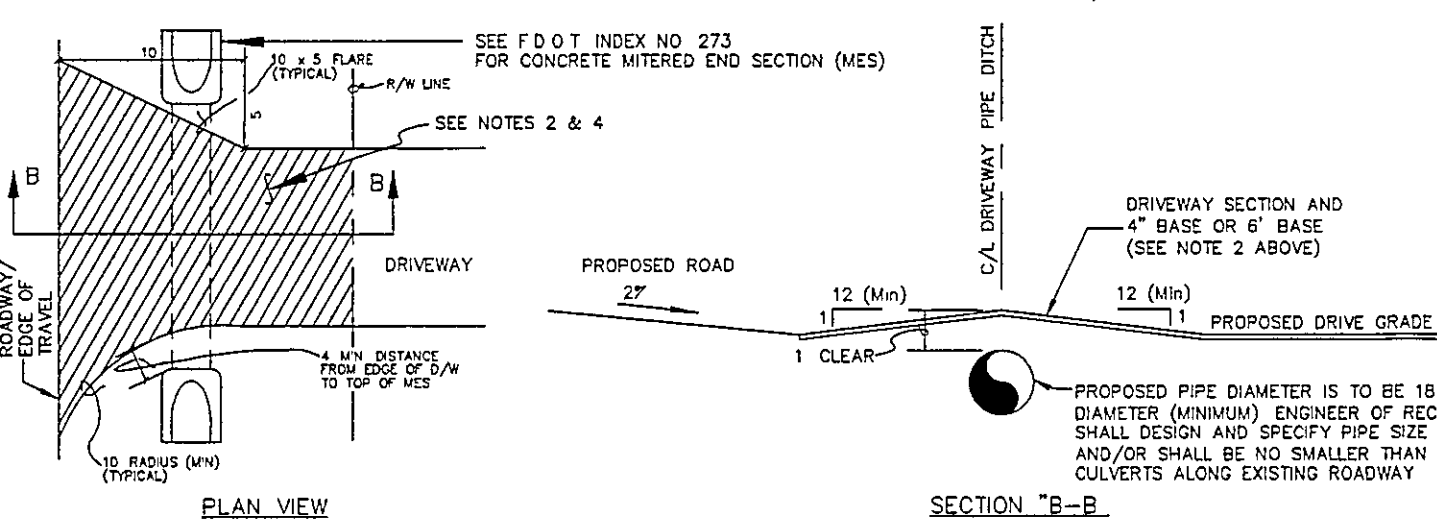
- ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1-1/2" ASPHALT WITH 6" STABILIZED SUBGRADE OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUBGRADE ~ 50% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE.
- IF NECESSARY REFER TO FDOT INDEX DETAILS AS REFERENCED BELOW.
- RADIUS OR FLARE IS ACCEPTABLE FOR TYPE II CONNECTIONS.
- DRIVEWAYS WITHIN PROPERTY BOUNDARY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
- TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.



TYPE III-A CROSS PIPE (CULVERT) DRIVEWAY

NOTE:

TYPE III-B DRIVEWAY W/ CONCRETE HEADWALLS MAY BE USED IN SPECIAL CASES AS APPROVED BY THE PUBLIC WORKS / DEVELOPMENT REVIEW DEPARTMENT.

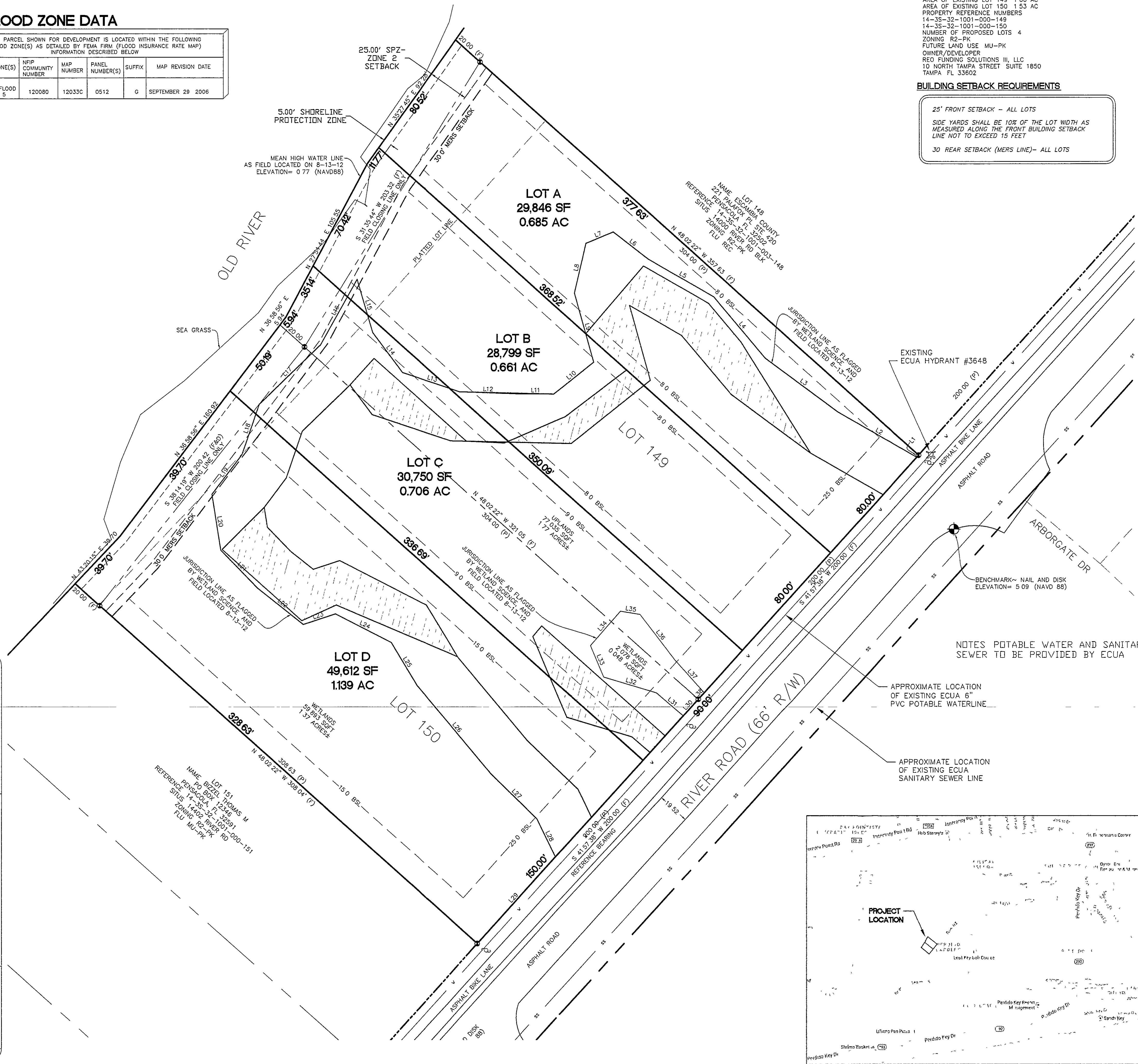


TYPE IV SPECIAL DRIVEWAY CONNECTION

TYPE IV-A REQUIRES A FDOT CONNECTION PERMIT (PROVIDE APPROVED FDOT PERMIT TO OBTAIN COUNTY APPROVAL) REFER TO INDEX NO 515 AND CONTACT FDOT AT (850) 981-3000 MAY REQUIRE PLANS PREPARED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER (P.E.)

TYPE IV-B SPECIAL INNOVATIVE CONNECTION AS DESIGNED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER (P.E.) AND AS APPROVED BY THE APPROPRIATE PUBLIC WORKS / DEVELOPMENT REVIEW STAFF ATTACH PLAN FOR REVIEW

REVISED SEPT 15, 2009



PARENT PARCEL DATA

NUMBER OF PROPOSED LOTS 2
AREA OF EXISTING LOT 149 1.66 AC
AREA OF EXISTING LOT 150 1.53 AC
PROPERTY REFERENCE NUMBERS
14-35-32-1001-000-149
14-35-32-1001-000-150
NUMBER OF PROPOSED LOTS 4
ZONING R2-PK
FUTURE LAND USE MU-PK
OWNER/DEVELOPER
REO FUNDING SOLUTIONS III, LLC
10 NORTH TAMPA STREET SUITE 1850
TAMPA FL 33602

BUILDING SETBACK REQUIREMENTS

25' FRONT SETBACK - ALL LOTS

SIDE YARDS SHALL BE 10% OF THE LOT WIDTH AS MEASURED ALONG THE FRONT BUILDING SETBACK LINE NOT TO EXCEED 15 FEET

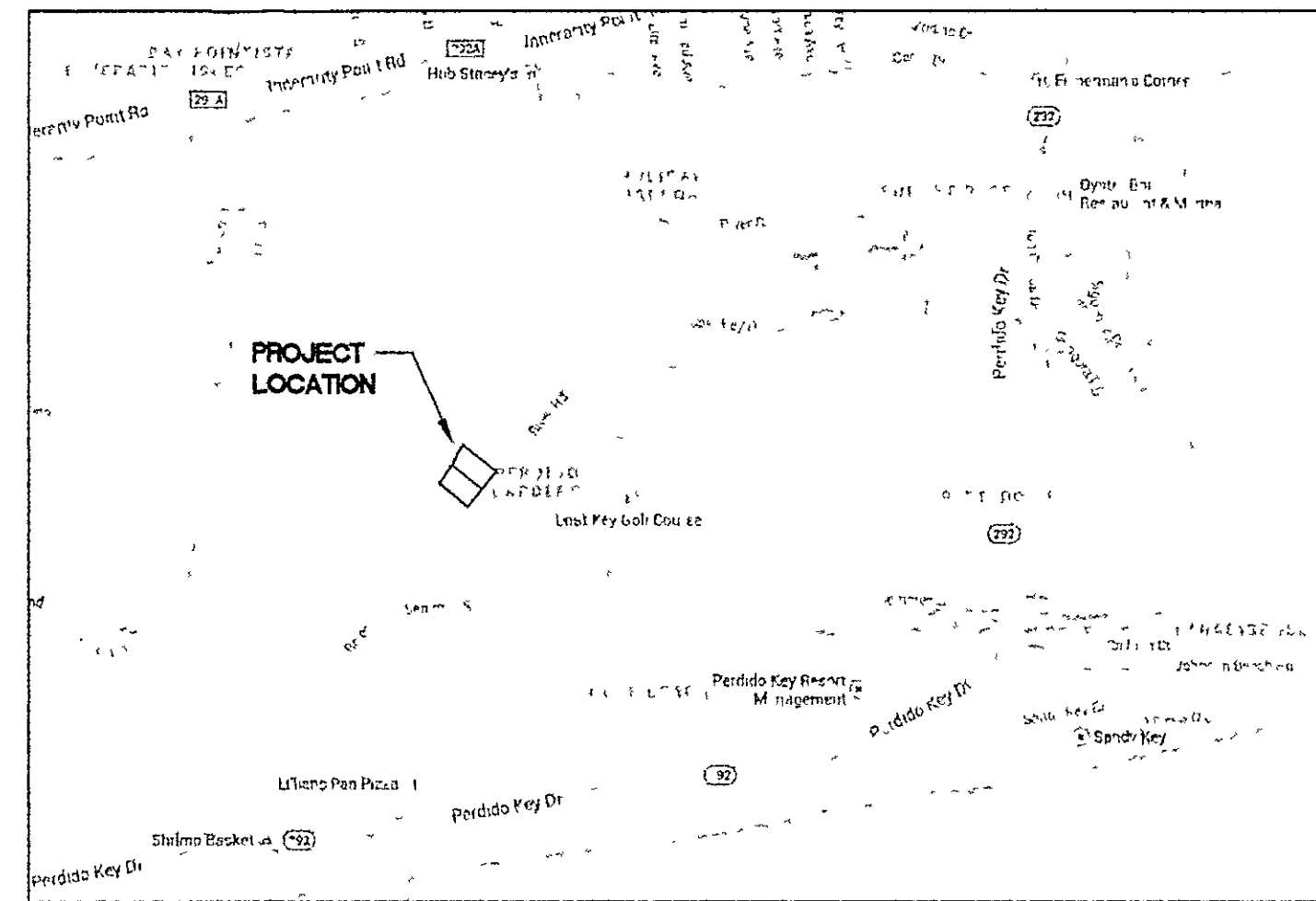
30' REAR SETBACK (MERS LINE)- ALL LOTS

EXISTING ECUA HYDRANT #3648

NOTES POTABLE WATER AND SANITARY SEWER TO BE PROVIDED BY ECUA

APPROXIMATE LOCATION OF EXISTING ECUA 6\"/>

APPROXIMATE LOCATION OF EXISTING ECUA SANITARY SEWER LINE




HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
FAX 850-434-2650
TOM@SELANDDESIGN.COM

PLANS FOR
OND RIVER
UNPLATTED SUBDIVISION
ESCAMBIA
FLORIDA

DRAWN BY TGH
DESIGNED BY TGH
CHECKED BY TGH
DATE 8/27/14
SCALE 1\"/>

PROJECT NO 14-041
FILE NO LAYOUT
SHEET 1 OF 2

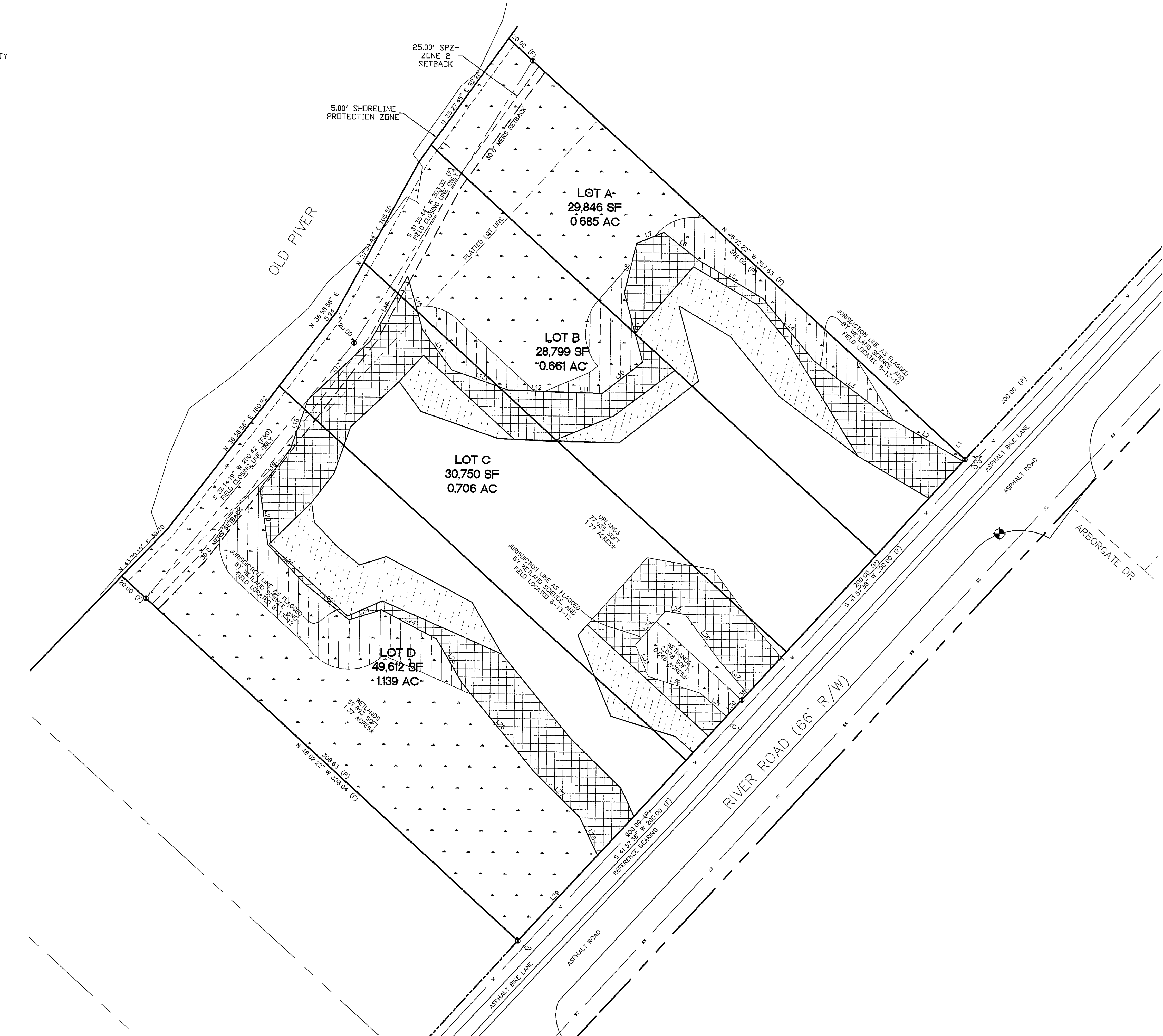



DENOTES SECONDARY
WETLAND IMPACT
12,182 79 SF OR
028 AC

TOTAL UPLAND
PRESERVATION=
27,17818 OR 062 AC

LINE TABLE		
LINE	LENGTH	BEARING
L1	1.68	S157°38'38"
L2	55.33	N60°05'56"
L3	54.56	N53°30'35"
L4	48.71	N40°01'21"
L5	45.12	N58°15'35"
L6	26.69	N52°08'44"
L7	17.90	S67°26'42"
L8	30.95	S12°49'28"
L9	43.58	S24°47'37"
L10	30.94	S51°13'43"
L11	22.54	N89°41'19"
L12	34.77	N87°49'19"
L13	36.47	N71°26'47"
L14	30.37	N36°44'16"
L15	33.60	N16°16'47"
L16	45.43	S29°10'13"
L17	51.72	S44°52'07"
L18	32.51	S18°43'10"
L19	30.13	S36°52'12"
L20	34.46	S38°44'31"
L21	32.05	S43°26'35"
L22	35.59	S51°20'52"
L23	20.64	N71°43'33"
L24	37.96	S66°38'29"
L25	30.47	S30°58'29"
L26	70.49	S39°13'49"
L27	38.97	S45°50'26"
L28	25.66	S25°43'26"
L29	71.07	S41°17'55"
L30	13.61	S41°59'38"
L31	21.46	N49°04'58"
L32	33.92	N73°04'40"
L33	20.75	S39°39'45"
L34	27.68	N40°54'15"
L35	18.11	S80°23'13"
L36	35.05	S73°09'56"
L37	26.51	S41°17'55"
L38	5.34	S41°59'38"
L39	19.01	N28°22'16"
L40	15.49	S62°40'04"
L41	15.49	S62°40'04"
L42	8.51	N68°14'10"

ON-SITE WETLANDS INFORMATION TABLE			
ITEM	PRE-PROJECT (ACRE)	IMPACT (ACRE)	POST-PROJECT (ACRE)
PROJECT PARCELS	3.19	-0-	3.19
TOTAL CORPS/DEP/ESC CO WETLANDS	1.423	0.386	1.037
TOTAL UPLANDS	1.369	-0-	1.369
TOTAL ESC CO WETLAND BUFFER	0.788	0.389	0.399



194

TOM@SELANDDESIGN.COM

FLORIDA

DESIGNED BY TGH	CHECKED BY TGH	DATE	8/27/11	SCALE	1"=30'
NOT RELEASED					
FOR CONSTRUCTION					
BY.	X	DATE			

PROJECT NO 14-041	
E NO	LAYOUT
EET 2	OF 2

ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST



Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

**REO FUNDING SOLUTIONS III LLC
C/O RYAN+PROPERTY TAX DEPT
100 NORTH TAMPA ST STE 1850
TAMPA, FL 33602**

In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.



Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

**CLARK WILLIAM G & LEIGH S
PO BOX 1279
ORANGE BEACH, AL 36561**

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

**ESCAMBIA COUNTY
221 PALAFOX PL STE 420
PENSACOLA, FL 32502**

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

**GPD
1900 WHITTEN RD
MEMPHIS, TN 38133**

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

BIZZELL THOMAS M
PO BOX 12346
PENSACOLA, FL 32591

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

KAPLAN STUART R &
5625 SEGURA AVE
PENSACOLA, FL 32507

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

YONKE CATHERINE COCORIS
14422 RIVER RD
PENSACOLA, FL 32507

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

YONKE MICHAEL G &
14420 RIVER RD
PENSACOLA, FL 32507

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

HOARD RACHELL L
7209 HELTON DR
FOLEY, AL 36535

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

WISE GEORGE M II & DAWN M
14433 RIVER RD
PENSACOLA, FL 32507

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

RUYMANN JANICE A
6852 LAKE CHARLENE DR
PENSACOLA, FL 32506

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

HAYNIE TRACY L
809 MILLBROOK RD
CHARLOTTE, NC 282111591

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

NEFF BARRY A
6421 ASHBY GROVE LOOP
HAYMARKET, VA 20169

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

HORTON D R INC
25366 PROFIT DR
DAPHNE, AL 36526

In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.



Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

HARDIE LINDA HUGHES
2000 HUGHES DR
CUMMINGS, GA 30040

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

PERDIDO GARDENS HOMEOWNERS ASSOCIATION
PO BOX 13226
PENSACOLA, FL 32591-3226

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505



Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

BUTTS SALLY WILCOX TRUSTEE
6399 LAKE CHARLENE DR
PENSACOLA, FL 32506

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Escambia County
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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

BAROCO RONALD A
14320 OLD RIVER RD
PENSACOLA, FL 32507

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

HARDIE SCOTT D &
13974 HANGING BRANCH WAY
PENSACOLA, FL 32507

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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

SIMKINS STEVEN
1419 WASHINGTON AVE
PASCAGOULA, MS 39567

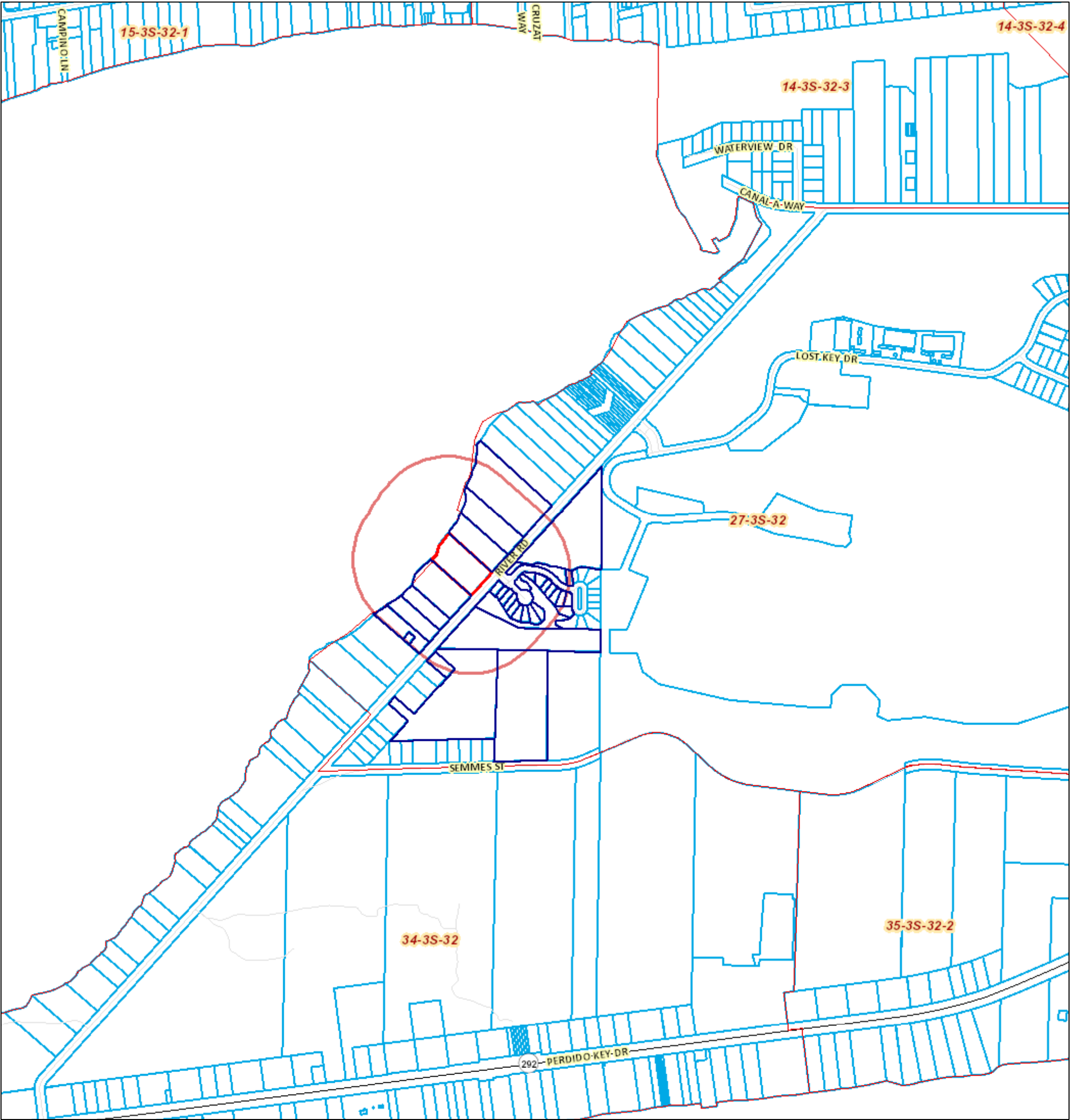
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Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

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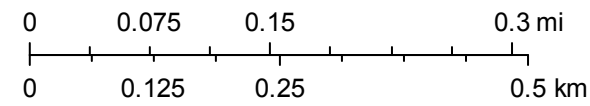
Chris Jones Escambia County Property Appraiser



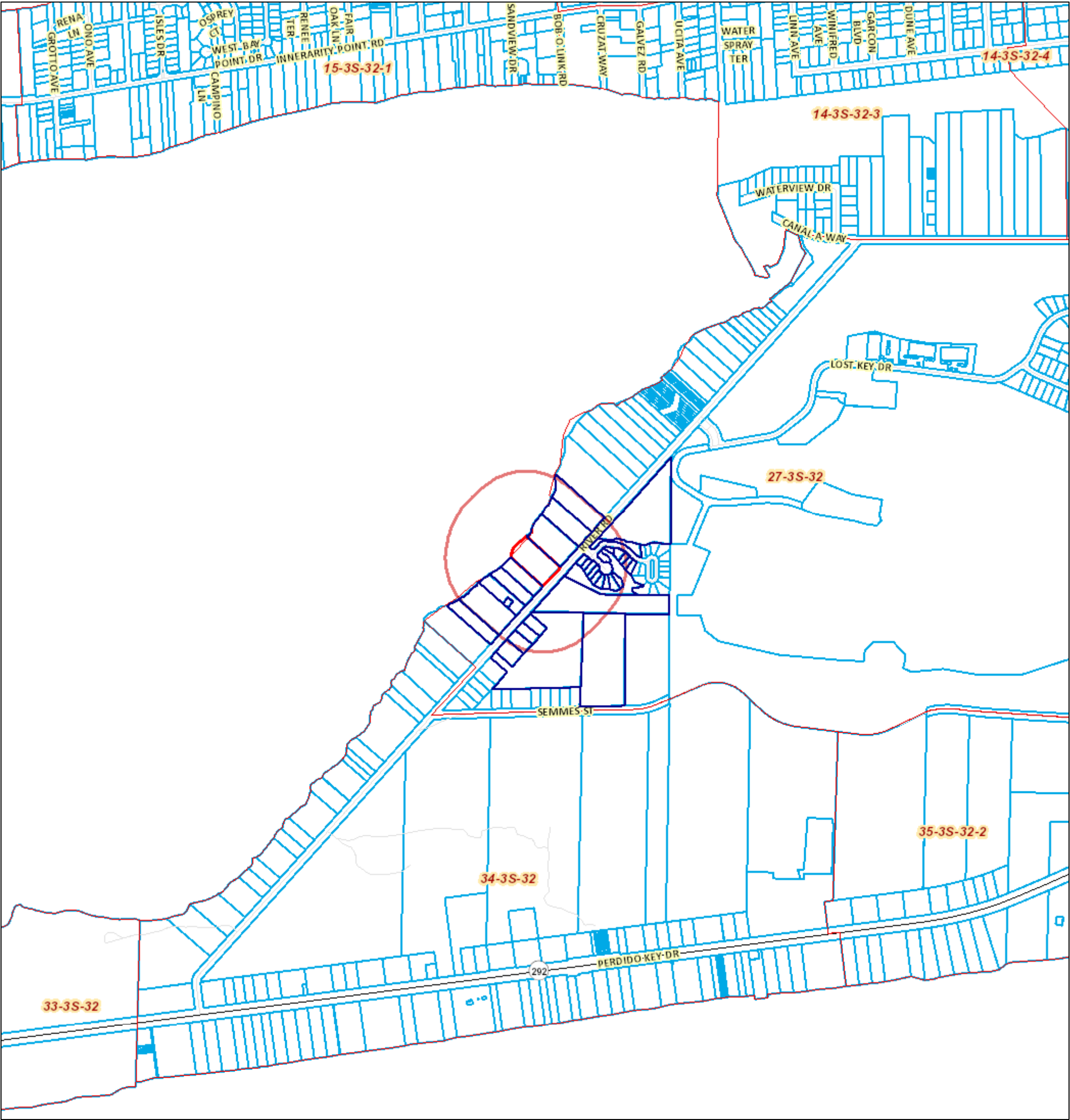
September 30, 2014

1:7,569

- Map Grid
- City Road
- County Road
- Interstate
- State Road
- US Highway
- All Roads
- Property Line



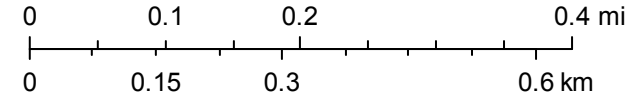
Chris Jones Escambia County Property Appraiser



September 30, 2014

1:8,968

- Map Grid
- City Road
- County Road
- Interstate
- State Road
- US Highway
- All Roads
- Property Line





Development Services Department

Building Inspections Division

3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **618725**

Date Issued. : 09/25/2014

Cashier ID : TMCOOEY

Application No. : PBA140900015

Project Name : CU-2014-03

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	1604	\$1,270.50	App ID : PBA140900015
		\$1,270.50	Total Check

Received From : MATTHEW J PAIR

Total Receipt Amount : **\$1,270.50**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA140900015	709974	1,270.50	\$0.00	River RD, PENSACOLA, FL

Total Amount : **1,270.50**

\$0.00 Balance Due on this/these
Application(s) as of 10/1/2014

Board of Adjustment**6. 2.**

Meeting Date: 10/15/2014
CASE: EX-2014-02
APPLICANT: Clint Geci, Agent for Paradise Island Venture, LLC
ADDRESS: 13571 Perdido Key Dr.
35-3S-32-1001-000-000
PROPERTY REFERENCE NO.: 35-3S-32-1100-000-000
ZONING DISTRICT: CCPK, R-3PK
FUTURE LAND USE: MU-PK

SUBMISSION DATA:**RELEVANT AUTHORITY****Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended),
Section 2.05.05:**

2.05.05. Extension of a development order for site plan approval. The BOA may grant one extension for a maximum of 12 months to the original effective period of 18 months for a development order for a site plan and its accompanying certificate of occupancy. A written request from the applicant must be provided prior to the expiration date of the development order. The BOA shall grant an extension to a development order and its accompanying certificate of concurrency only if the extension request complies with the following requirements:

- A. No building permit or land disturbing permit has been issued for the site plan parcel;
- B. Written application for the extension was submitted prior to the expiration of the development order; and
- C. The applicant demonstrates that obtaining county permits for the approved development was delayed by conditions not under the control of the applicant; including but not limited to:
 - 1. An act of God, natural disaster or fire.
 - 2. Required state or federal permits delayed by issuing agencies.
 - 3. Labor strike or civil unrest.
 - 4. Lawsuit or other legal actions.
 - 5. Extended illness or death of an individual essential to the development or construction process.

CRITERIA**Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended),
Section 2.05.05.****CRITERION (1)**

No building permit or land disturbing permit has been issued for the site plan parcel.

FINDINGS-OF-FACT

No permits have been issued for this project.

CRITERION (2)

Written application for the extension was submitted prior to the expiration of the development order.

FINDINGS-OF-FACT

Written application was submitted to county staff prior to the expiration of the development order.

CRITERION (3)

The applicant demonstrates that obtaining county permits for the approved development was delayed by conditions not under the control of the applicant; including but not limited to:

- 1. An act of God, natural disaster or fire.**
- 2. Required state or federal permits delayed by issuing agencies.**
- 3. Labor strike or civil unrest.**
- 4. Lawsuit or other legal actions.**
- 5. Extended illness or death of an individual essential to the development or construction process.**

FINDINGS-OF-FACT

The Applicant states in his request that they have been unable to move ahead with permitting due to legal actions.

CRITERION (4)

RECOMMENDATION:

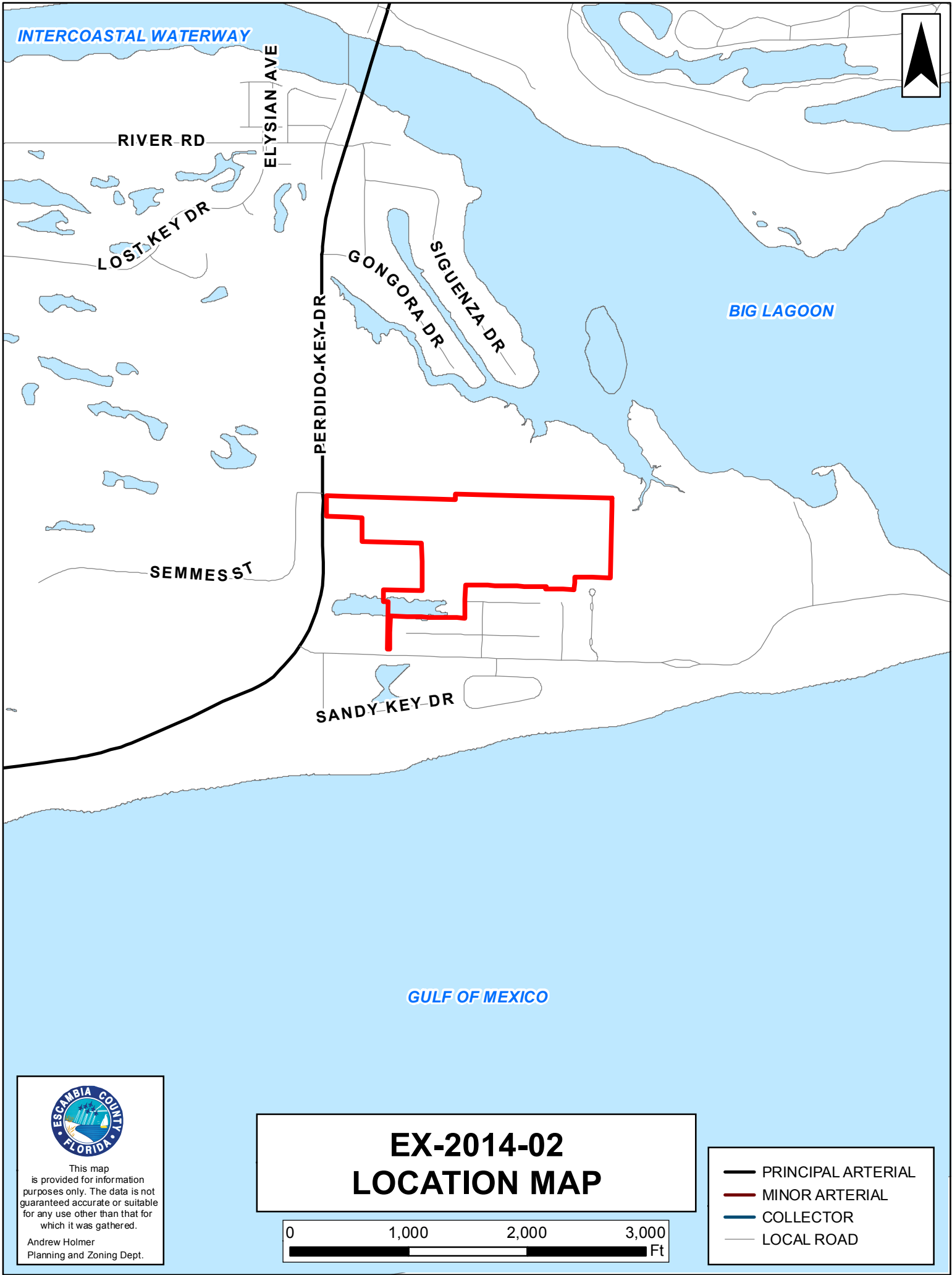
Staff finds that the Applicant can meet the required criteria and recommends approval of a 12 month extension.

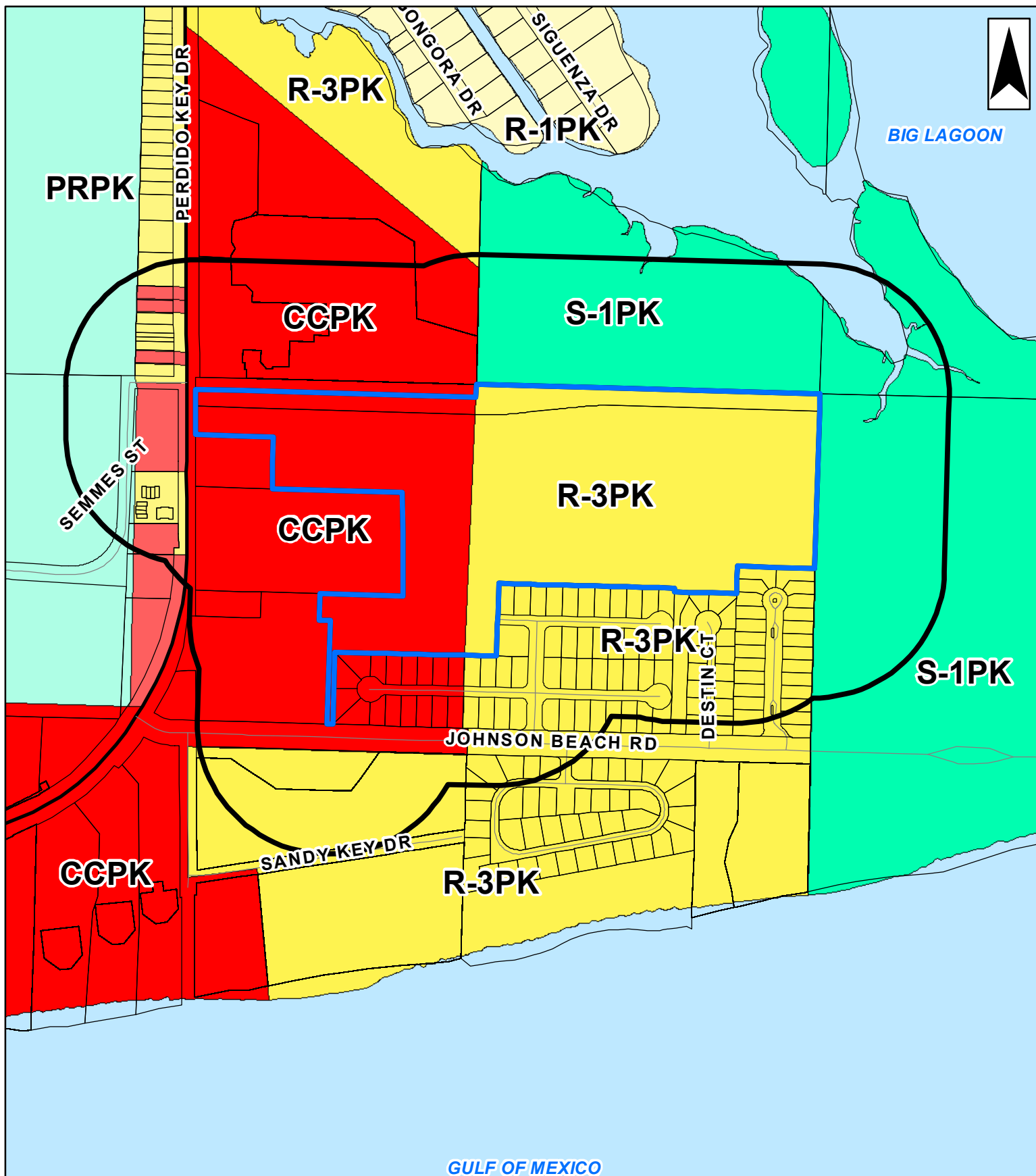
CRITERION (5)


Attachments

EX-2014-02 Working Case File

EX-2014-02







This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.
Andrew Holmer
Planning and Zoning Dept.

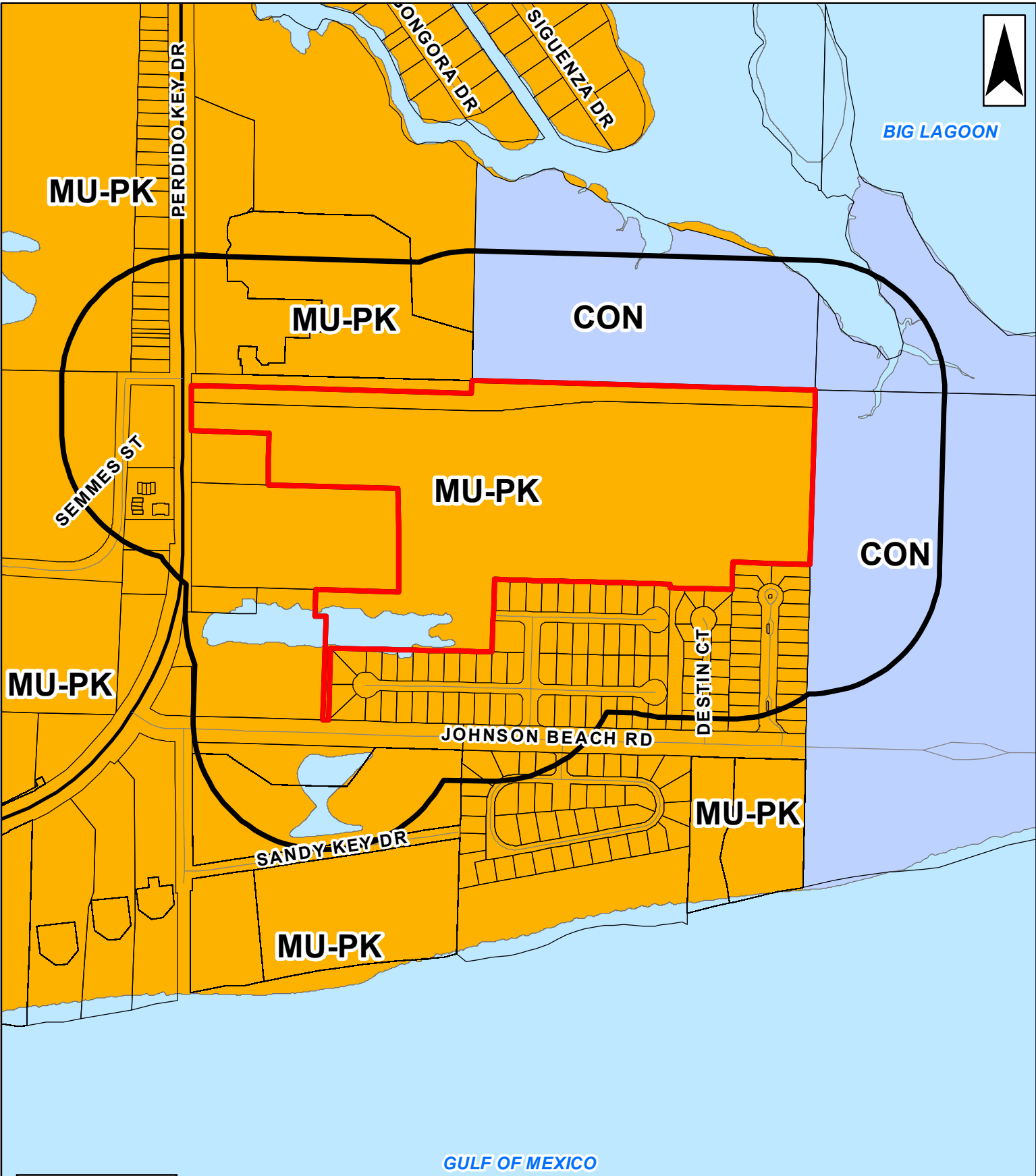
EX-2014-02
500' RADIUS ZONING




-  PARCELS
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD



BIG LAGOON



GULF OF MEXICO



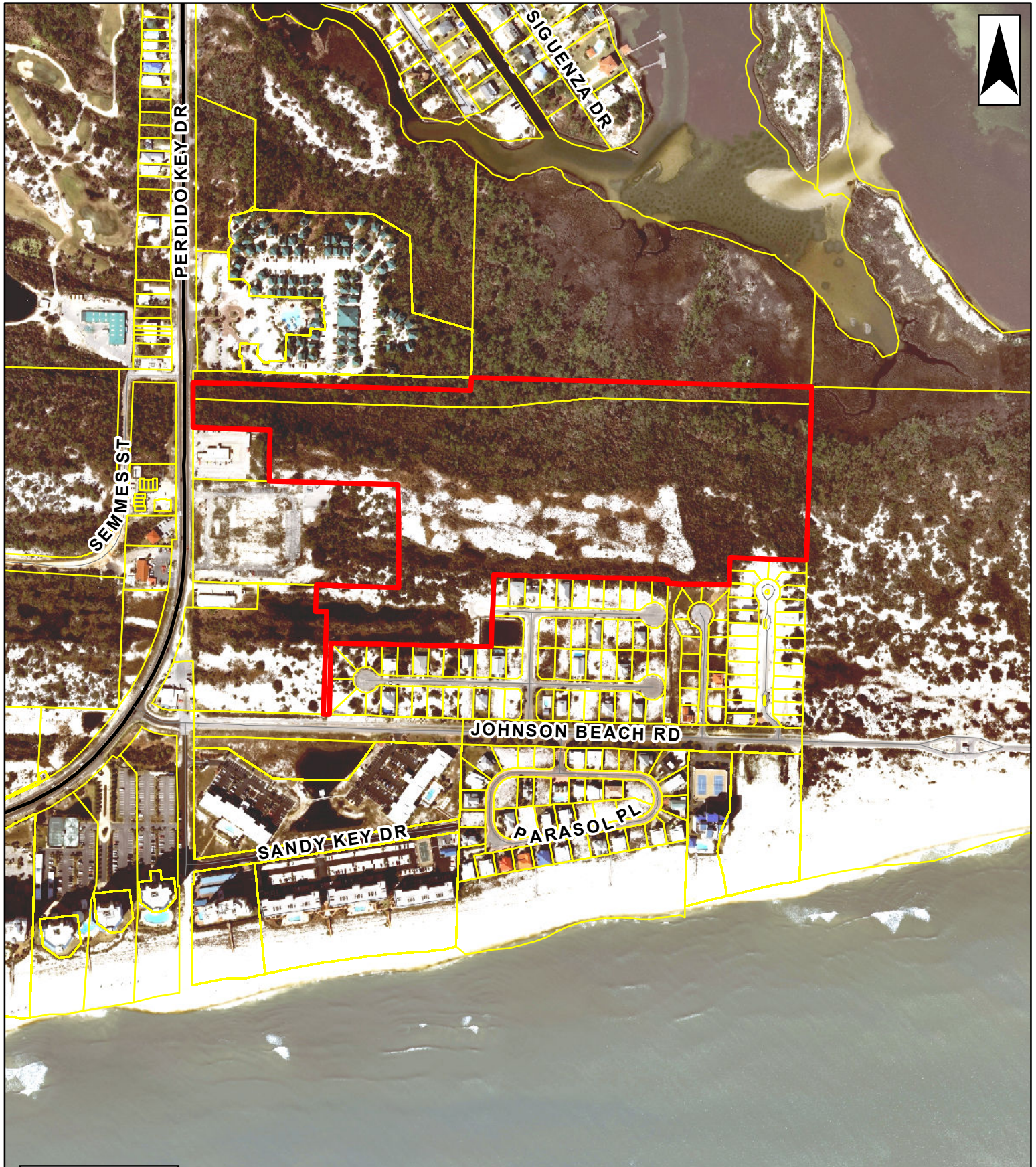
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Andrew Holmer
Planning and Zoning Dept.

EX-2014-02 FUTURE LAND USE



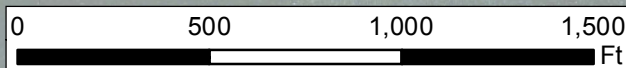
- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD








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Andrew Holmer
Planning and Zoning Dept.

EX-2014-02 AERIAL MAP



-  PARCELS
-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD



GECI & ASSOCIATES, INC.
E N G I N E E R S

September 11th, 2014

Mr. Andrew Holmer
Escambia County Planning & Zoning
3363 West Park Place
Pensacola, Florida 32501

RE: Paradise Island Condominium
Submittal for DO Extension

Dear Drew:

The Paradise Island Condominium project is currently active and seeking to finish permitting and begin construction in the near future. The DO was originally issued on March 12th, 2008. As we discussed, the project's Development Order was previously extended by means of House Bill 503. Due to ongoing legal actions, the project has not applied for building or land disturbance permits. As indicated in the Development Order Extension Letter (attached), the expiration date is September 12th, 2014; as of such, we would like to request an extension for the DO.

With this letter, please find the following items:

1. One (1) executed DO Extension Application Form
2. One (1) copy of the existing Limited Power of Attorney
3. One (1) check for \$211.75 made payable to Escambia County

If you need any additional information, please feel free to give us a call.

Sincerely,

GECI AND ASSOCIATES ENGINEERS, INC.

A handwritten signature in blue ink, appearing to read 'Clint Geci', is written over the typed name and title.

Clint Geci, P.E.
Vice-president

Enclosures



Development Services Department

Escambia County, Florida

APPLICATION

Please check application type:

☐ Administrative Appeal

☒ Development Order Extension

☐ Conditional Use Request for: _____

☐ Variance Request for: _____

☐ Rezoning Request from: _____ to: _____

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: Paradise Island Venture, LLC Phone: 850-393-8911

Address: 4505 Waterwheel Rd, 32514 Email: rew32514@gmail.com

☒ Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 13571 Perdido Key Drive

Property Reference Number(s)/Legal Description: 353S321001000000 & 353S321100000000

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Signature of Owner/Agent

Printed Name Owner/Agent

Date

Signature of Owner

Printed Name of Owner

Date

STATE OF Florida

COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 11 day of September 20 14,
by FL/DL G200101841320

Personally Known ☐ OR Produced Identification ☐ . Type of Identification Produced: _____

Signature of Notary

(notary seal must be affixed)

Printed Name of Notary

AMANDA Y. MORGAN
Notary Public, State of Florida
My Comm. Expires Oct. 7, 2017
Commission No. FF 60711

FOR OFFICE USE ONLY

CASE NUMBER: EX-2014-02

Meeting Date(s): 10-15-14 Accepted/Verified by: DL Date 09-11-14

Fees Paid: \$ 211.75 Receipt #: 617640 Permit #: PBA 140920014

AFFIDAVIT OF OWNERSHIP AND LIMITED POWER OF ATTORNEY

As owner of the property located at 13571 Perdido Key Drive, Pensacola, Florida, 32507, property reference number(s) 353S321001000000 and 353S321100000000, I hereby designate Geci & Associates Engineers, Inc., for the sole purpose of completing this Development Review Application and to act on my behalf during the county's processing of the Development Review Application on the above referenced property.

This Limited Power of Attorney is granted on this 28 day of July the year of 2004 and is effective until the County has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Department of Growth Management.

The Stevens Family Limited Partnership

By: Ainslie Manor Ltd., as General Partner

By: [Signature]
Matthew S. Stevens, President

STATE of Illinois
COUNTY of Cook

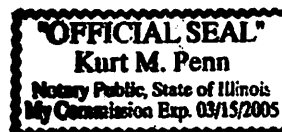
The foregoing instrument was acknowledged before me this 7th day of July the year of 2004 by Matthew S. Stevens, as President of Ainslie Manor Ltd., as General Partner of The Stevens Family Limited Partnership, on behalf of the partnership. He (☒) is personally known to me, () produced current Florida/Other driver's license, and/or () produced current _____ as identification.

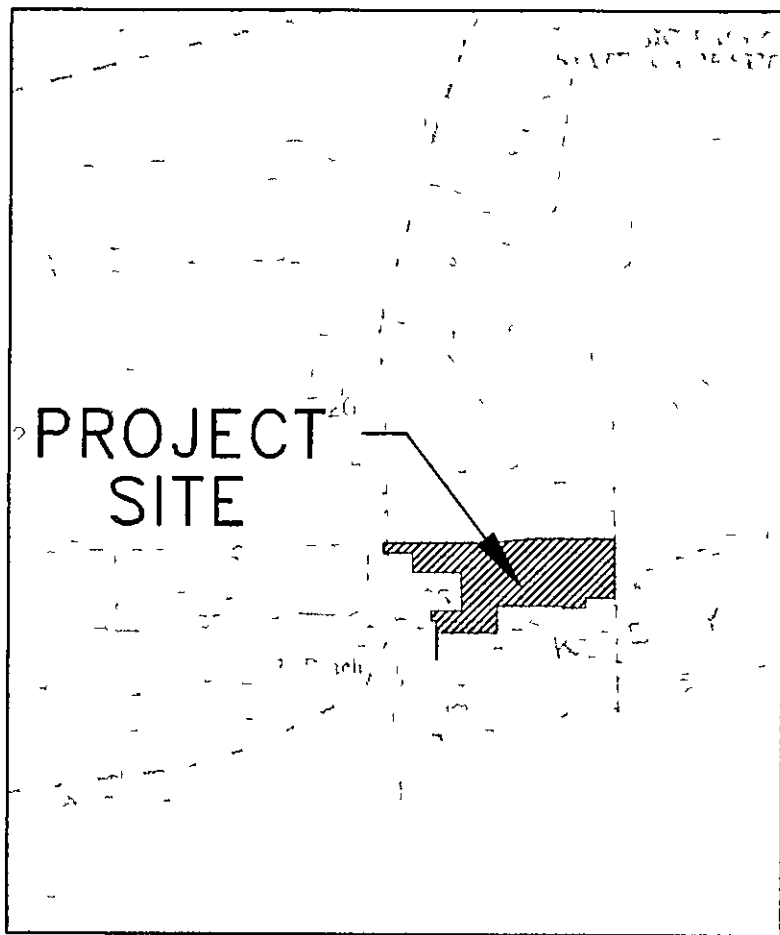
[Signature]
Signature of Notary Public

Kurt M. Penn
Printed Name of Notary

3/15/2005
My Commission Expires

Commission No. (Notary seal must be affixed)





VICINITY MAP



OWNER / DEVELOPER:

Paradise Island Venture, LLP.
1765 E. Nine Mile Road, Suite 1 #292
Pensacola, Florida 32515
Phone: (850) 393-8911

ENGINEER:

Geci & Associates Engineers, Inc.
2950 North 12th Avenue
Pensacola, Florida 32503
Phone: (850) 432-2929

SURVEYOR:

Northwest Florida Surveying, Inc.
P.O. Box 1911
Pensacola, Florida 32589
Phone: (850) 432-1052

UTILITY NOTES

- POTABLE WATER THE DEVELOPER PLANS TO CONNECT AFTER RECEIVING DEP, ECUA, AND ESCAMBIA COUNTY APPROVALS, TO THE EXISTING ADJACENT SYSTEM OF ECUA BY CONSTRUCTING ALL THE NECESSARY UNDERGROUND WATER MAINS, VALVES, AND FIRE HYDRANT TO SERVE THIS DEVELOPMENT UPON COMPLETION THESE WILL BE GIVEN TO ECUA FOR ACCEPTANCE AND MAINTENANCE
- SANITARY SEWER THE DEVELOPER PLANS TO CONNECT, AFTER RECEIVING DEP, AND ESCAMBIA COUNTY APPROVALS, TO THE EXISTING ADJACENT SYSTEM OF ECUA BY CONSTRUCTING ALL THE NECESSARY UNDERGROUND SANITARY MANHOLES, PIPES, LIFT STATION AND FORCEMAIN TO SERVE THIS DEVELOPMENT UPON COMPLETION, THE OWNER WILL MAINTAIN THE SYSTEM
- STORMWATER MANAGEMENT AND DRAINAGE THE DEVELOPER PLANS AFTER RECEIVING DEP, NPDES AND ESCAMBIA COUNTY APPROVALS TO CONSTRUCT ALL THE NECESSARY UNDERGROUND PIPES, MANHOLES, INLETS AND POND THE STORM DRAINAGE SYSTEM WILL BE DESIGN BASED UPON RUNOFF FROM A 25 YEAR PEAK STORM THE DETENTION/RETENTION POND WILL BE DESIGN BASED UPON RUNOFF FROM A 100 YEAR PEAK STORM UPON COMPLETION, THESE WILL BE RETAINED BY OWNER FOR MAINTENANCE
- GAS, TELEPHONE, TV CABLE, AND ELECTRICAL ALL THESE UTILITIES TO BE INSTALLED BY THE APPROPRIATE UTILITY COMPANY
- GARBAGE AND TRASH THE OWNER/DEVELOPER FOR THE PROJECT, WILL HAVE TO CONTRACT WITH ECUA TO HAVE THEIR GARBAGE AND TRASH PICKED UP

UTILITIES INFORMATION

ELECTRIC	Gulf Power Company 4220 Pine Forest Road Pensacola, Florida 32534 (850) 484-5710
SANITARY SEWER	Emerald Coast Utilities Authority Ellyson Industrial Park Pensacola, Florida 32504 (850) 476-5110
WATER	Emerald Coast Utilities Authority Ellyson Industrial Park Pensacola, Florida 32504 (850) 476-5110
NATURAL GAS	Energy Services of Pensacola 1625 Abnood Drive Pensacola Florida 32514 (850) 474-5300
TELEPHONE	Bellsouth 418 West Garden Street Pensacola, Florida 32501 (850) 436-1616
TV CABLE	Cox Communications 2205 La Vista Avenue Pensacola, Florida 32504 (850) 478-0200

CONSTRUCTION PLANS
FOR

PARADISE ISLAND

CONDOMINIUM
A PORTION OF
SECTION 35, T3S, R32W
ESCAMBIA COUNTY, FLORIDA

CONSTRUCTION NOTES

- ALL FINISHED PAVING GRADES SHOWN HEREON ARE EDGE OF PAVING UNLESS SHOWN OTHERWISE
- ALL SANITARY SEWER CONSTRUCTION TO CONFORM TO THE EMERALD COAST UTILITY AUTHORITY STANDARDS AND FDEP STANDARDS
- ALL POTABLE WATER CONSTRUCTION TO CONFORM TO EMERALD COAST UTILITY AUTHORITY STANDARDS
- ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBIA COUNTY STANDARDS AND FDOT STANDARDS
- THE CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY, FDOT, AND THE EMERALD COAST UTILITY AUTHORITY AT LEAST TWO WORKING DAYS (48 HOURS MIN) PRIOR TO CONSTRUCTION
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF THE APPROPRIATE UTILITY COMPANY AND THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ALL OF THE EXISTING UTILITIES FIELD LOCATED BEFORE CONSTRUCTION AND TO PROTECT THESE DURING CONSTRUCTION
- ALL SERVICE LATERALS ARE TO BE LAID TO THE RIGHT-OF-WAY LINE OR EASEMENT PROPERTY LINE ALL SERVICE LATERALS ARE TO BE LAID AT A MINIMUM GRADE OF 10% FROM THE MAIN WHEN THE CUT IS FIVE FEET OR LESS AND TO DOWN HILL LOTS ALL SERVICE LATERALS TO UP HILL LOTS OR WHERE THE CUT IS GREATER THAN FIVE FEET ARE TO BE LAID WITH A MINIMUM OF 36" COVER ON THE PIPE AT THE POINT THE PIPE ENDS
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EARTH ON THE SITE
- THE CONTRACTOR SHALL HAVE A COMPACTION TEST MADE BY AN INDEPENDENT TESTING LAB AT INTERVALS NOT TO EXCEED 800 FEET, AND THESE TESTS SHALL INDICATE THAT THE BASE CONSTRUCTION IS IN ACCORDANCE WITH SECTION 240 OF THE D.O.T. SPECIFICATIONS COPIES OF THESE SHALL BE FURNISHED TO THE ENGINEER
- THE CONTRACTOR SHALL GRASS AND MULCH ALL DISTURBED AREAS UNLESS AT A SLOPE OF 3 TO 1 OR GREATER AND THESE SHALL BE SODDED AND PINED
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION
- THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING
- SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES IN PROJECT PLANS OR ON FIELD CONDITIONS THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY
- NO DERIVATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOWN "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS THE "AS-BUILT" CERTIFICATION OR RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W, 1-800-432-4TT0
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDINGS, FERTILIZER AND MULCH, HYDROSEED AND/OR MULCH
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY IF GREATER THAN 1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 40 DAYS
- THE CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION (545-3434) THE CONTRACTOR SHALL HAVE ALL EROSION CONTROL IN PLACE PRIOR TO NOTIFYING COUNTY OF START OF PROJECT
- ALL TRAFFIC MARKINGS TO BE THERMOPLASTIC PER DOT STANDARDS
- ALL NON-HAND/CAPED PARKING SPACE LINES WILL BE WHITE ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION
- THE CONTRACTOR IS REQUIRED TO MAINTAIN TRAFFIC ON NAUTILUS COURT AND BARRIER REEF LANE IN ACCORDANCE TO PART 6 OF THE MUTCD
- NO LAND DISTURBANCE SHALL OCCUR IN AREAS DEFINED AS WETLANDS AND/OR WETLAND BUFFERS UNLESS OTHERWISE NOTED ON THE SITE PLAN
- ALL STORMWATER RUNOFF INCLUDING ROOF DRAINAGE AND POOL DECK SHALL BE DIRECTED TO A PERCOLATION AREA FOR TREATMENT

Approved	
ESCAMBIA COUNTY DRG PLAN REVIEW	
DRG Chairman Signature	Date
Director Planning & Engineering - P. Lloyd Kerr, AICP	3/14/12
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order must be obtained from the Development Review Committee (DRC) prior to the commencement of construction. This approval by the DRC does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECUA'S STANDARD SPECIFICATIONS

WATER MAIN NOTE
ALL NEW WATER MAIN SHOWN SHALL BE 30" HDPE 150 MPA WITH 15" MIN. COVER AND A 30" MINIMUM COVER UNLESS OTHERWISE APPROVED OTHERWISE BY ECUA.

SANITARY SEWER NOTE
ALL NEW SANITARY SEWER SHOWN SHALL BE 30" HDPE 150 MPA WITH 15" MIN. COVER AND A 30" MINIMUM COVER UNLESS OTHERWISE APPROVED OTHERWISE BY ECUA.

INDEX OF DRAWINGS	
SHEET	DESCRIPTION
C-1	COVER SHEET
C-2	OVERALL SITE PLAN
C-2A	SUPPLEMENTAL OVERALL SITE PLAN
C-3	OVERALL STAKING PLAN
C-4	UNIT NUMBERS & ADJ. PROPERTY OWNERS
C-5	OVERALL DRAINAGE PLAN
C-6	OVERALL POTABLE WATER PLAN
C-7	OVERALL FIRE PROTECTION WATER PLAN
C-8	OVERALL SANITARY SEWER PLAN
C-9	REGISTRATION BUILDING SITE PLAN
C-9A	TEMPORARY SALES TRAILER SITE PLAN
C-10	WEST BUILDING SITE PLAN
C-11	EAST BUILDING SITE PLAN
C-12	SOUTHWEST PARKING LOT
C-13	PLAN & PROFILE
C-14	PLAN & PROFILE
C-15	TRAFFIC CONTROL PLAN
C-16	OVERALL VEGETATIVE PLAN
C-17	DETAILS
C-18	DETAILS
C-19	DETAILS
C-20	LIFT STATION DETAILS
C-21	LIFT STATION DETAILS
F-1	FDOT - EXISTING & PROPOSED
F-2	FDOT - CROSS SECTIONS & PHOTOS
F-3	FDOT - DETAILS
F-4	FDOT - DETAILS

GENERAL NOTES

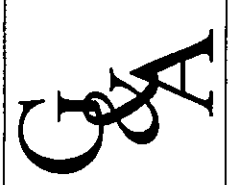
- DATUM PLAN USED IS USC & GS
- BOUNDARY SURVEY BY NORTHWEST FLORIDA SURVEYING, INC., CAD FILE 14886, DATED 11/01/04
- TOPOGRAPHICAL SURVEY BY SOUTHERN LAND CONCEPTS, INC., CAD FILE 031023A-B, DATED 11/16/03
- THE DEVELOPER WILL OBTAIN ALL THE NECESSARY FDOT, DEP, NPDES, COE, ECUA, AND ESCAMBIA COUNTY PERMITS OR APPROVALS PRIOR TO CONSTRUCTION
- THIS ENTIRE SITE LIES WITHIN FLOOD ZONE "AE" 3' ELEVATION ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 12039C0516S, REVISED SEPTEMBER 29, 2006
- THERE ARE 21.81 ACRES OF JURISDICTIONAL WETLANDS WITHIN THIS SITE

SITE DATA

- THE SITE LIES WITHIN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 32 WEST AND IS SHOWN ON TAX MAPS AS PARCELS NO 1001-000-000 & 1100-000-000
- PRESENT ZONING IS CCPK & R-3PK
- FUTURE LAND USE IS MU-4
- ADJOINING PROPERTY IS ZONED CCPK, R-3PK & S-1PK
- PROJECT IS TO BE CONSTRUCTED IN ONE PHASE
- PROJECT ADDRESS 19371 PERDIDO KEY DRIVE
- THERE ARE NO HERITAGE OR CHAMPION TREES WITHIN THE LIMITS OF THE SITE

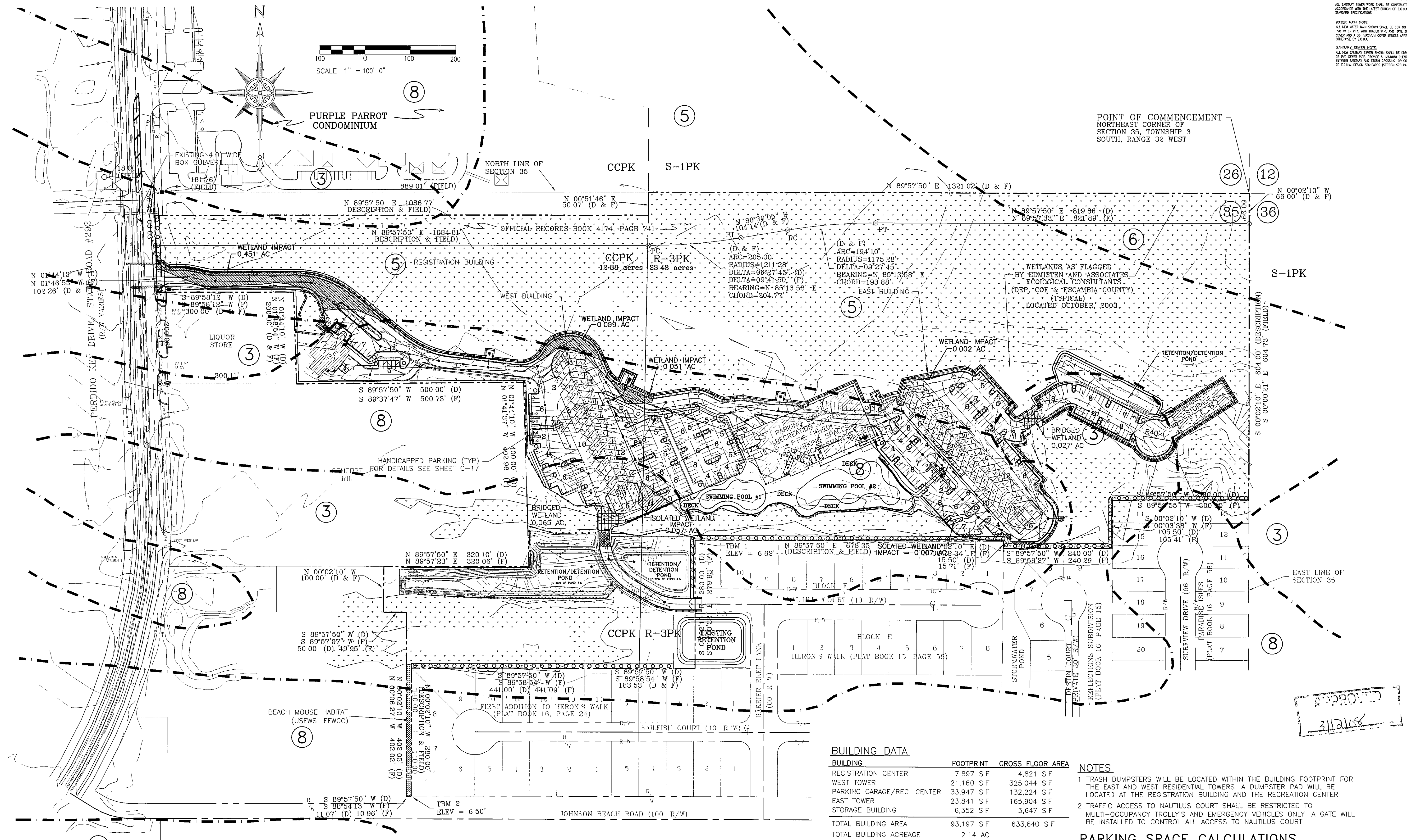
	CCPK	R-3PK	TOTAL
AREA	12.88 Acres	23.43 Acres	36.31 Acres
Maximum Allowable Density	13 Units/Acre	12 Units/Acre	
Maximum Allowable Units	167	281	448
Proposed Units	288	152	440
Density Transfer	121	-----	-----
Min. Pervious Area	20% / 2.6 AC	30% / 3.9 AC	
Proposed Pervious Area	75% / 9.66 AC	78% / 10.23 AC	
Required Rear Yard	15 ft max	25 ft max	
Proposed Rear Yard	-----	64 ft	
Required Side Yard	10 ft max	15 ft	
Proposed Side Yard	16 ft	32 ft	
Max. Building Height	10 Stories	8 Stories	
Proposed Building Height	10 Stories	8 Stories	
Max. Building Footprint	14% / 2.4 AC	-----	
Proposed Bldg. Footprint	47% / 0.60 AC	6.9% / 1.63 AC	
Min. Open Space	-----	35% / 8.2 AC	
Proposed Open Space	-----	43% / 21.80 AC	

GECI & ASSOCIATES, INC.



2950 N 12th Ave
PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
E-Mail: geci@geciengineering.com

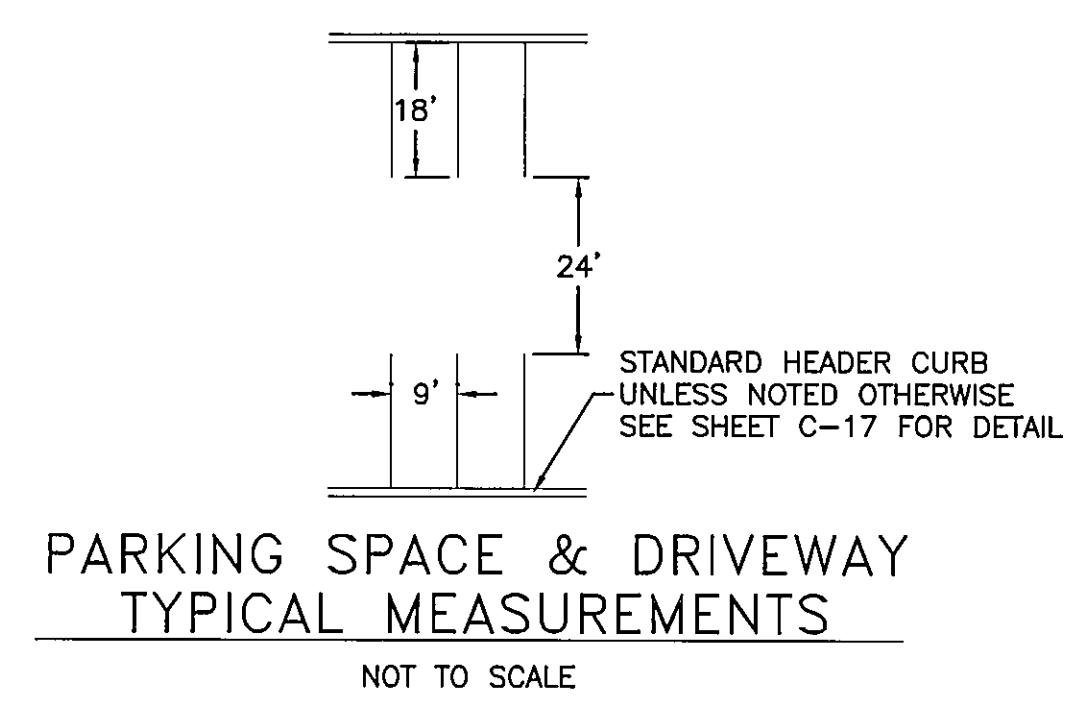
SITE PLAN
FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA



ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.A. 5 STANDARD SPECIFICATIONS.

WETLAND DATA NOTE:
ALL NEW WETLAND SHALL BE CONSTRUCTED TO BE 10% OF THE TOTAL WETLAND AREA. THE REMAINING 90% SHALL BE PRESERVED OR RESTORED TO ORIGINAL CONDITION OR BETTER. THE DESIGN SHALL BE APPROVED BY THE U.S. FISH AND WILDLIFE SERVICE (USFWS) AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP).

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 15" DIA. 15' DEEP. THE REMAINING 85% SHALL BE PRESERVED OR RESTORED TO ORIGINAL CONDITION OR BETTER. THE DESIGN SHALL BE APPROVED BY THE U.S. FISH AND WILDLIFE SERVICE (USFWS) AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP).



ADDITIONAL WETLAND DATA

TOTAL SITE ACREAGE	= 36.31 AC
TOTAL WETLAND ACREAGE	= 21.87 AC
TOTAL CONTIGUOUS WETLAND IMPACTS	= 0.60 AC
TOTAL ISOLATED WETLAND IMPACT	= 0.07 AC
TOTAL AREA OF BRIDGED WETLANDS	= 0.09 AC
90% OF TOTAL WETLANDS	= 19.68 AC
TOTAL WETLAND BUFFER AREA	= 6.13 AC
TOTAL IMPACT TO WETLAND BUFFER	= 2.41 AC
TOTAL AREA TO BE DEDICATED AS CONSERVATION AREA	= 21.11 AC
PRESERVED WETLANDS	= 21.11 AC
DEDICATED UPLANDS	= 3.59 AC
TOTAL	= 24.70 AC

- SOIL LEGEND**
- 5 SOIL LIMITS
- 5 SOIL CLASSES
- 3 DUCKSTON - COROLLA COMPLEX, (0 % TO 5 % SLOPES)
- 5 CROATAN AND PICKNEY SOILS, DEPRESSIONAL
- 6 DIREGO MUCK TIDAL
- 8 NEWHAN - COROLLA COMPLEX ROLLING, RARELY FLOODED

BUILDING DATA

BUILDING	FOOTPRINT	GROSS FLOOR AREA
REGISTRATION CENTER	7,897 SF	4,821 SF
WEST TOWER	21,160 SF	325,044 SF
PARKING GARAGE/REC CENTER	33,947 SF	132,224 SF
EAST TOWER	23,841 SF	165,904 SF
STORAGE BUILDING	6,352 SF	5,647 SF
TOTAL BUILDING AREA	93,197 SF	633,640 SF
TOTAL BUILDING ACREAGE	2.14 AC	

NOTES

1 TRASH DUMPSTERS WILL BE LOCATED WITHIN THE BUILDING FOOTPRINT FOR THE EAST AND WEST RESIDENTIAL TOWERS. A DUMPSTER PAD WILL BE LOCATED AT THE REGISTRATION BUILDING AND THE RECREATION CENTER.

2 TRAFFIC ACCESS TO NAUTILUS COURT SHALL BE RESTRICTED TO MULTI-OCCUPANCY TROLLEY'S AND EMERGENCY VEHICLES ONLY. A GATE WILL BE INSTALLED TO CONTROL ALL ACCESS TO NAUTILUS COURT.

PARKING SPACE CALCULATIONS

REQUIRED

OFFICE AREAS - 4,821 SF @ 1 PER 300 SF	= 17
MULTIPLE FAMILY DWELLING - 440 UNITS @ 15 PER DWELLING	= 660
RECREATION CENTER - (RESIDENTS ONLY) SPACES PROVIDED WITH UNIT	= 0
TOTAL REQUIRED SPACES	= 677
REQUIRED HANDICAPPED SPACES (2%)	= 14

PROVIDED

PARKING SPACES UNDER EAST TOWER	= 39
PARKING SPACES UNDER WEST TOWER	= 33
PARKING GARAGE SPACES	= 288
SURFACE PARKING SPACES	= 319
TOTAL PROVIDED SPACES	= 679
HANDICAPPED SPACES (SURFACE)	= 9
HANDICAPPED SPACES (GARAGE)	= 7
TOTAL HANDICAPPED SPACES (2.36%)	= 16

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APPROVED

3/12/08

GECI & ASSOCIATES, INC.

ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gec@geciengineering.com

NOT RELEASED FOR CONSTRUCTION

DATE: 2/4/2008

SCALE: AS SHOWN

DESIGNED: SAG

DRAWN: SAG

CHECKED: SAG

DATE: 2/4/2008

PARADISE ISLAND

ESCAMBIA COUNTY, FLORIDA

OVERALL SITE PLAN

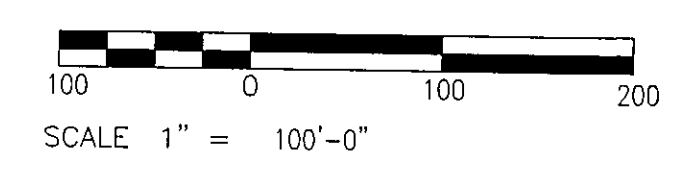
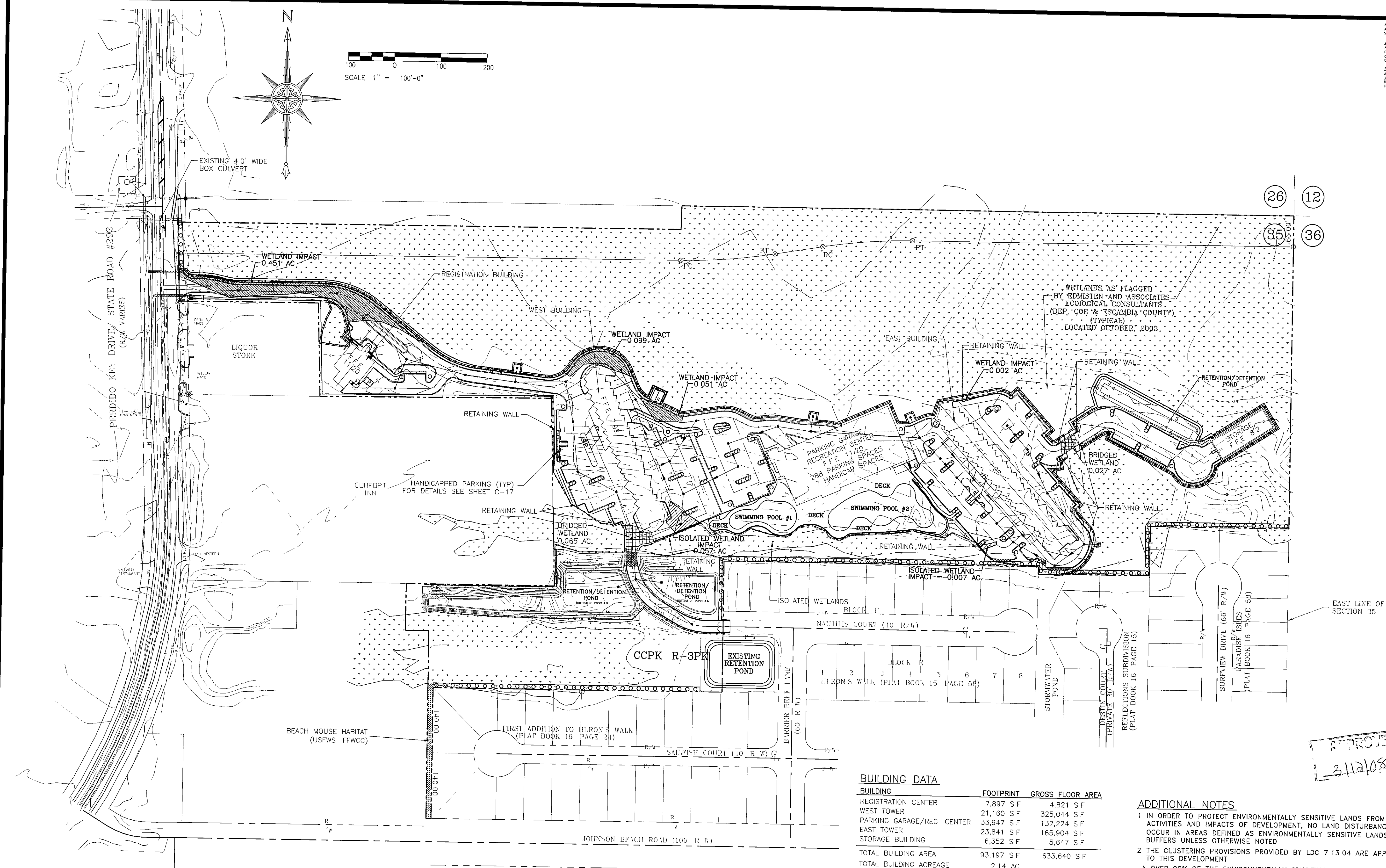
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

PROJECT NO

13201

SHEET NO

C-2 OF 21



ADDITIONAL WETLAND DATA

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TOTAL	= 24.70 AC

BUILDING DATA

BUILDING	FOOTPRINT	GROSS FLOOR AREA
REGISTRATION CENTER	7,897 S.F.	4,821 S.F.
WEST TOWER	21,160 S.F.	325,044 S.F.
PARKING GARAGE/REC. CENTER	33,947 S.F.	132,224 S.F.
EAST TOWER	23,841 S.F.	165,904 S.F.
STORAGE BUILDING	6,352 S.F.	5,647 S.F.
TOTAL BUILDING AREA	93,197 S.F.	633,640 S.F.
TOTAL BUILDING ACREAGE	2.14 AC	

- LEGEND**
- PAVING
 - WETLAND
 - AREA OF CONTIGUOUS WETLAND IMPACT
 - AREA OF ISOLATED WETLAND IMPACT
 - AREA OF UPLAND PRESERVATION
 - AREA OF WETLAND BUFFER ENCROACHMENT
 - AREA OF BRIDGED WETLANDS

- ADDITIONAL NOTES**
- IN ORDER TO PROTECT ENVIRONMENTALLY SENSITIVE LANDS FROM THE ACTIVITIES AND IMPACTS OF DEVELOPMENT, NO LAND DISTURBANCE SHALL OCCUR IN AREAS DEFINED AS ENVIRONMENTALLY SENSITIVE LANDS AND/OR BUFFERS UNLESS OTHERWISE NOTED.
 - THE CLUSTERING PROVISIONS PROVIDED BY LDC 7.13.04 ARE APPLICABLE TO THIS DEVELOPMENT.
 - OVER 90% OF THE ENVIRONMENTALLY SENSITIVE LANDS WILL REMAIN UNDISTURBED AND PRESERVED UNDER A CONSERVATION EASEMENT.
 - THE SOUTHERLY LANDSCAPED BUFFER WILL BE PLANTED WITH THE APPROPRIATE SPECIES DEPENDING ON SOIL CONDITIONS (WETLANDS OR UPLANDS). THE PLANTINGS EXCEED STANDARD A-2 REFERENCE PROJECTS MITIGATION PLAN.
 - THE SOUTHERLY BUFFER IS SUPPLEMENTED WITH A SIX FOOT PRIVACY FENCE.
 - THE WETLAND PRESERVATION AREA TO THE NORTH AND EAST SERVES AS AN ADEQUATE NATURAL BUFFER WITHOUT SUPPLEMENTAL PLANTINGS OR FENCING.
 - NOTE #3 ON SHEET C-16 IS REVISED AS FOLLOWS:
 - CONTRACTOR TO PRESERVE MAXIMUM AMOUNT OF NATURAL VEGETATION BUFFER REQUIRED ADJACENT TO RESIDENTIAL DISTRICTS SHALL INCLUDE A MINIMUM OF TWO TREES AND 15 SHRUBS FOR EVERY 35 LINEAR FEET OF REQUIRED BUFFER AREA.

SOUTH PROPERTY LINE = 2,244'
2,244/35 = 64.11 x 2 = 129 TREES
2,244/35 = 64.11 x 15 = 962 SHRUBS

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS.

WATER MAIN NOTE:
ALL NEW WATER MAINS SHALL BE 12" OR 18" DI. 15' PVC WATER PIPE WITH TRACER WIRE AND HAVE 30' MIN. COVER AND A 15' MINIMUM COVER UNLESS OTHERWISE APPROVED BY E.C.U.A.

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 12" OR 18" DI. 15' PVC SEWER PIPE WITH TRACER WIRE AND HAVE 30' MIN. COVER AND A 15' MINIMUM COVER UNLESS OTHERWISE APPROVED BY E.C.U.A. DESIGN STANDARDS (SECTION 510 PART 3).

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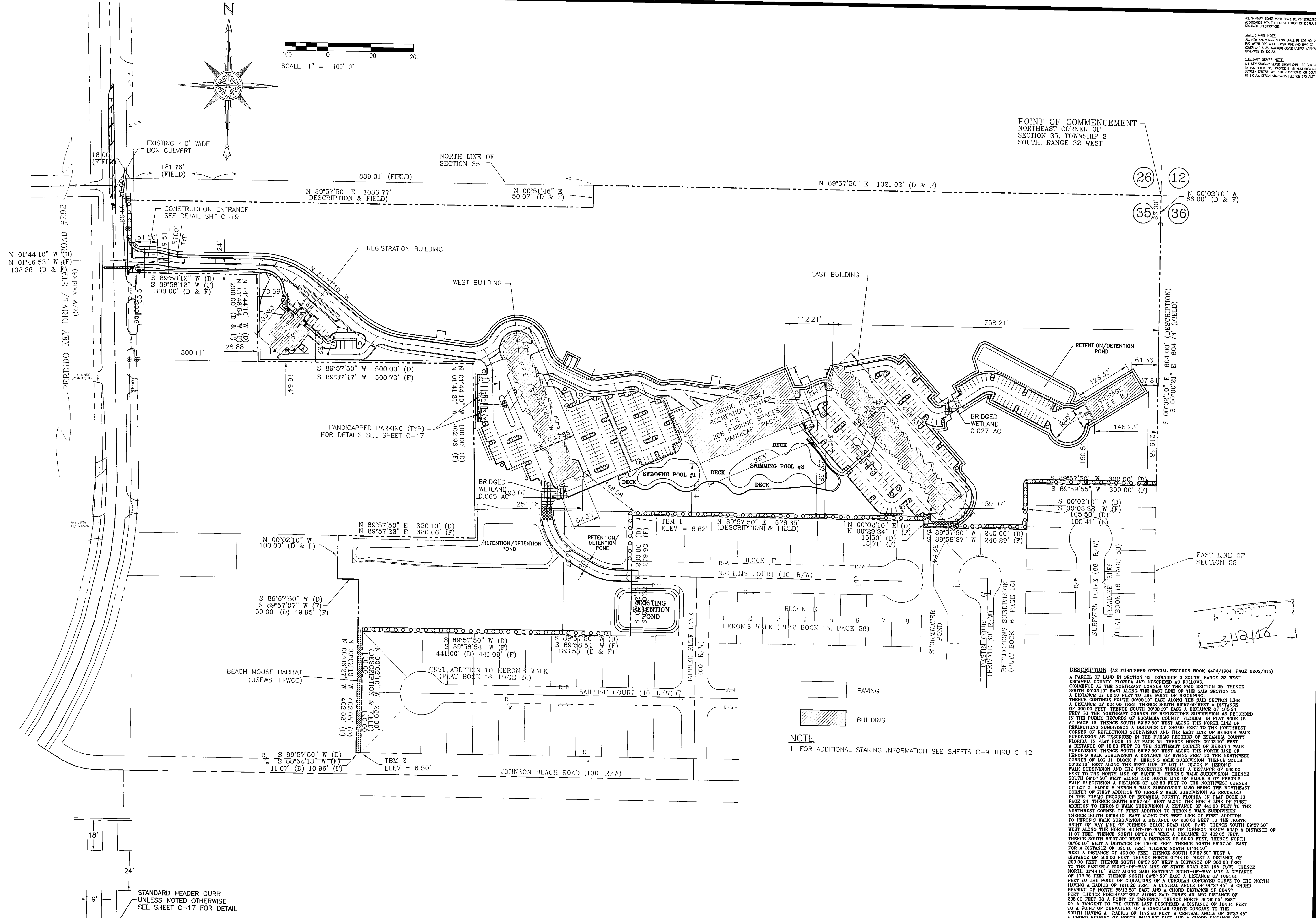
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DESCRIPTION (AS FURNISHED OFFICIAL RECORDS BOOK 4424/1004 PAGE 0202/010)
A PARCEL OF LAND IN SECTION 35 TOWNSHIP 3 SOUTH RANGE 32 WEST ESCAMBA COUNTY FLORIDA AND DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF THE SAID SECTION 35 THENCE SOUTH 00°02'10" EAST ALONG THE EAST LINE OF THE SAID SECTION 35 A DISTANCE OF 604.00 FEET TO THE POINT OF BEGINNING.
THENCE CONTINUE SOUTH 00°02'10" EAST ALONG THE SAID SECTION 35 A DISTANCE OF 604.00 FEET THENCE SOUTH 89°57'50" WEST A DISTANCE OF 300.00 FEET THENCE SOUTH 00°02'10" EAST A DISTANCE OF 105.50 FEET TO THE NORTHEAST CORNER OF REFLECTIONS SUBDIVISION AS RECORDED IN THE PUBLIC RECORDS OF ESCAMBA COUNTY FLORIDA IN PLAT BOOK 16 AT PAGE 15 THENCE SOUTH 89°57'50" WEST ALONG THE NORTH LINE OF REFLECTIONS SUBDIVISION A DISTANCE OF 240.00 FEET TO THE NORTHWEST CORNER OF REFLECTIONS SUBDIVISION AND THE EAST LINE OF HERON'S WALK SUBDIVISION AS DESCRIBED IN THE PUBLIC RECORDS OF ESCAMBA COUNTY FLORIDA IN PLAT BOOK 15 AT PAGE 68 THENCE NORTH 00°02'10" WEST A DISTANCE OF 15.50 FEET TO THE NORTHEAST CORNER OF HERON'S WALK SUBDIVISION THENCE SOUTH 89°57'50" WEST ALONG THE NORTH LINE OF HERON'S WALK SUBDIVISION A DISTANCE OF 425.00 FEET TO THE NORTHEAST CORNER OF LOT 11 BLOCK F HERON'S WALK SUBDIVISION THENCE SOUTH 00°02'10" EAST ALONG THE WEST LINE OF LOT 11 BLOCK F HERON'S WALK SUBDIVISION AND THE PROJECTION THEREOF A DISTANCE OF 250.00 FEET TO THE NORTH LINE OF BLOCK B HERON'S WALK SUBDIVISION THENCE SOUTH 89°57'50" WEST ALONG THE NORTH LINE OF BLOCK B HERON'S WALK SUBDIVISION A DISTANCE OF 183.53 FEET TO THE NORTHWEST CORNER OF LOT 5 BLOCK B HERON'S WALK SUBDIVISION ALSO BEING THE NORTHEAST CORNER OF FIRST ADDITION TO HERON'S WALK SUBDIVISION AS RECORDED IN THE PUBLIC RECORDS OF ESCAMBA COUNTY FLORIDA IN PLAT BOOK 16 PAGE 24 THENCE SOUTH 89°57'50" WEST ALONG THE NORTH LINE OF FIRST ADDITION TO HERON'S WALK SUBDIVISION A DISTANCE OF 441.00 FEET TO THE NORTHWEST CORNER OF FIRST ADDITION TO HERON'S WALK SUBDIVISION THENCE SOUTH 00°02'10" EAST ALONG THE WEST LINE OF FIRST ADDITION TO HERON'S WALK SUBDIVISION A DISTANCE OF 280.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF JOHNSON BEACH ROAD (100 R/W) THENCE SOUTH 89°57'50" WEST ALONG THE NORTH RIGHT-OF-WAY LINE OF JOHNSON BEACH ROAD A DISTANCE OF 11.07 FEET THENCE NORTH 00°02'10" WEST A DISTANCE OF 425.00 FEET THENCE SOUTH 89°57'50" WEST A DISTANCE OF 60.00 FEET THENCE NORTH 00°02'10" WEST A DISTANCE OF 100.00 FEET THENCE NORTH 00°02'10" EAST FOR A DISTANCE OF 320.10 FEET THENCE NORTH 01°44'10" WEST A DISTANCE OF 600.00 FEET THENCE SOUTH 89°57'50" WEST A DISTANCE OF 200.00 FEET THENCE SOUTH 89°57'50" WEST A DISTANCE OF 300.00 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD 292 (66 R/W) THENCE NORTH 01°44'10" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 102.24 FEET THENCE NORTH 89°57'50" EAST A DISTANCE OF 104.81 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CONCAVE CURVE TO THE NORTH HAVING A RADIUS OF 181.50 FEET A CENTRAL ANGLE OF 89°27'45" A CHORD BEARING OF NORTH 85°13'55" EAST AND A CHORD DISTANCE OF 204.77 FEET THENCE NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 305.00 FEET TO A POINT OF TANGENCY THENCE NORTH 89°57'50" EAST ON A TANGENT TO THE CURVE LAST DESCRIBED A DISTANCE OF 104.14 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 1175.28 FEET A CENTRAL ANGLE OF 89°27'45" A CHORD BEARING OF NORTH 85°13'55" EAST AND A CHORD DISTANCE OF 193.88 FEET THENCE NORTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 194.10 FEET TO THE POINT OF TANGENCY THENCE NORTH 89°57'50" EAST ON A TANGENT TO THE CURVE LAST DESCRIBED A DISTANCE OF 819.88 FEET TO THE POINT OF BEGINNING AND ALSO THAT PORTION OF THE NORTHEAST ONE QUARTER OF THE TID NORTHEAST ONE QUARTER OF SECTION 35 TOWNSHIP 3 SOUTH RANGE 32 WEST, LYING NORTH AND ABOVE THAT THAT PARCEL DESCRIBED IN OR BOOK 6288 AT PAGE 944 OF THE PUBLIC RECORDS OF ESCAMBA COUNTY FLORIDA SAID PARCELS CONTAINS 35.31 ACRES

REVISION

NO	DATE	APPR
1		
2		
3		
4		
5		

NO

1	2	3	4	5
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PROJECT NO

13201

SHEET NO

C-3 OF 21

DATE

2/14/2008

CHECKED

SAG

DESIGNED

SAG

DRAWN

SDM

BY

NOT RELEASED FOR CONSTRUCTION

FLORIDA PE# 33658

PARADISE ISLAND

ESCAMBA COUNTY, FLORIDA

OVERALL STAKING PLAN

PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

GEI & ASSOCIATES, INC.

2950 N 12th Ave PENSACOLA, FL 32503

Phone (850) 432-2929 Fax (850) 432-2875

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

E-Mail: gei@geiengineering.com

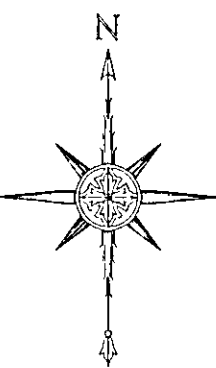
SCALE

AS SHOWN

DATE

2/14/2008

SCALE 1" = 100'-0"



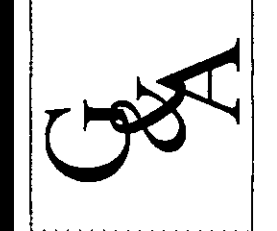
ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.O.A.'S STANDARD SPECIFICATIONS
WATER MAIN NOTE:
ALL NEW WATER MAIN SHALL BE 30" DIA. 35 PSI WATER PIPE WITH TRIGGER WIRE AND HAVE 30" MIN. COVER AND A 5' MINIMUM COVER UNLESS APPROVED OTHERWISE BY E.C.O.A.
SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 30" DIA. 35 PSI S.P.C. SINKER PIPE, PROVIDE 5' MINIMUM CLEARANCE REMOVED SANITARY FROM CROSSING OF HIGHWAY TO E.C.O.A. DESIGN STANDARDS (SECTION 510 PART 3)

OWNER
UNITED STATES GOVERNMENT
NATIONAL PARK SERVICE
DEPT. OF INTERIOR
WASHINGTON D.C. 20240
ZONING S-1PK
FLU - CON
PARCEL 26-35-32-4000-000-000
Forest Park Rec

OWNER
UNITED STATES GOVERNMENT
NATIONAL PARK SERVICE
DEPT. OF INTERIOR
WASHINGTON D.C. 20240
ZONING S-1PK
FLU - CON
PARCEL 12-35-32-9001-000-000
Forest Park Rec

OWNER
UNITED STATES GOVERNMENT
NATIONAL PARK SERVICE
DEPT. OF INTERIOR
WASHINGTON D.C. 20240
ZONING S-1PK
FLU CON
PARCEL 35-35-32-1000-000-000
Forest Park Rec

GECI & ASSOCIATES, INC.
ENGINEER
2950 N. 12th Ave. PENSACOLA FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail - gec@geciengineering.com



NOT RELEASED FOR CONSTRUCTION BY
DATE 2/14/2008

UNIT NUMBERS & ADJ. PROPERTY OWNERS
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS
FLORIDA PE# 33658

PROJECT NO 13201
SHEET NO C-4 OF 21

WEST BUILDING (SOUTH/EAST SIDE)											
1st FLOOR	101W	103W	105W	107W	109W	111W	113W	115W			
2nd FLOOR	201W	203W	205W	207W	209W	211W	213W	215W			
3rd FLOOR	301W	303W	305W	307W	309W	311W	313W	315W			
4th FLOOR	401W	403W	405W	407W	409W	411W	413W	415W			
5th FLOOR	501W	503W	505W	507W	509W	511W	513W	515W			
6th FLOOR	601W	603W	605W	607W	609W	611W	613W	615W			
7th FLOOR	701W	703W	705W	707W	709W	711W	713W	715W			
8th FLOOR	801W	803W	805W	807W	809W	811W	813W	815W			
9th FLOOR	901W	903W	905W	907W	909W	911W	913W	915W			
10th FLOOR	1001W	1003W	1005W	1007W	1009W	1011W	1013W	1015W			
11th FLOOR	1101W	1103W	1105W	1107W	1109W	1111W	1113W	1115W			
12th FLOOR	1201W	1203W	1205W	1207W	1209W	1211W	1213W	1215W			
13th FLOOR	1301W	1303W	1305W	1307W	1309W	1311W	1313W	1315W			
14th FLOOR	1401W	1403W	1405W	1407W	1409W	1411W	1413W	1415W			
15th FLOOR	1501W	1503W	1505W	1507W	1509W	1511W	1513W	1515W			
16th FLOOR	1601W	1603W	1605W	1607W	1609W	1611W	1613W	1615W			
17th FLOOR	1701W	1703W	1705W	1707W	1709W	1711W	1713W	1715W			
18th FLOOR	1801W	1803W	1805W	1807W	1809W	1811W	1813W	1815W			
19th FLOOR	1901W	1903W	1905W	1907W	1909W	1911W	1913W	1915W			

UNIT NUMBERING SCHEDULE

WEST BUILDING (NORTH/EAST SIDE)											
1st FLOOR	101W	103W	105W	107W	109W	111W	113W	115W			
2nd FLOOR	201W	203W	205W	207W	209W	211W	213W	215W			
3rd FLOOR	301W	303W	305W	307W	309W	311W	313W	315W			
4th FLOOR	401W	403W	405W	407W	409W	411W	413W	415W			
5th FLOOR	501W	503W	505W	507W	509W	511W	513W	515W			
6th FLOOR	601W	603W	605W	607W	609W	611W	613W	615W			
7th FLOOR	701W	703W	705W	707W	709W	711W	713W	715W			
8th FLOOR	801W	803W	805W	807W	809W	811W	813W	815W			
9th FLOOR	901W	903W	905W	907W	909W	911W	913W	915W			
10th FLOOR	1001W	1003W	1005W	1007W	1009W	1011W	1013W	1015W			
11th FLOOR	1101W	1103W	1105W	1107W	1109W	1111W	1113W	1115W			
12th FLOOR	1201W	1203W	1205W	1207W	1209W	1211W	1213W	1215W			
13th FLOOR	1301W	1303W	1305W	1307W	1309W	1311W	1313W	1315W			
14th FLOOR	1401W	1403W	1405W	1407W	1409W	1411W	1413W	1415W			
15th FLOOR	1501W	1503W	1505W	1507W	1509W	1511W	1513W	1515W			
16th FLOOR	1601W	1603W	1605W	1607W	1609W	1611W	1613W	1615W			
17th FLOOR	1701W	1703W	1705W	1707W	1709W	1711W	1713W	1715W			
18th FLOOR	1801W	1803W	1805W	1807W	1809W	1811W	1813W	1815W			
19th FLOOR	1901W	1903W	1905W	1907W	1909W	1911W	1913W	1915W			

EAST BUILDING (NORTH/EAST SIDE)											
1st FLOOR	100E	102E	104E	106E	108E	110E	112E	114E	116E	118E	
2nd FLOOR	200E	202E	204E	206E	208E	210E	212E	214E	216E	218E	
3rd FLOOR	300E	302E	304E	306E	308E	310E	312E	314E	316E	318E	
4th FLOOR	400E	402E	404E	406E	408E	410E	412E	414E	416E	418E	
5th FLOOR	500E	502E	504E	506E	508E	510E	512E	514E	516E	518E	
6th FLOOR	600E	602E	604E	606E	608E	610E	612E	614E	616E	618E	
7th FLOOR	700E	702E	704E	706E	708E	710E	712E	714E	716E	718E	
8th FLOOR	800E	802E	804E	806E	808E	810E	812E	814E	816E	818E	

EAST BUILDING (SOUTHWEST SIDE)											
1st FLOOR	103E	105E	107E	109E	111E	113E	115E	117E	119E		
2nd FLOOR	203E	205E	207E	209E	211E	213E	215E	217E	219E		
3rd FLOOR	303E	305E	307E	309E	311E	313E	315E	317E	319E		
4th FLOOR	403E	405E	407E	409E	411E	413E	415E	417E	419E		
5th FLOOR	503E	505E	507E	509E	511E	513E	515E	517E	519E		
6th FLOOR	603E	605E	607E	609E	611E	613E	615E	617E	619E		
7th FLOOR	703E	705E	707E	709E	711E	713E	715E	717E	719E		
8th FLOOR	803E	805E	807E	809E	811E	813E	815E	817E	819E		

FIRST ADDITION TO HERON'S WALK - PROPERTY OWNERS

SCHWARTZ RALPH T & LELA
5265 BENTWOOD CR
LONGBORE C 6047
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1160-000-140
Vacant Residential

ROULETTE ANTHONY R & SYLVIA ANN S
4918 JUDITH WAY
PENSACOLA FL 32507
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1160-000-130
Single Family Residential

SCOTT DONALD & SCOTT DONNA
12335 CUTE PARK AVE
HAWTHORNE CA 90250
ZONING CCPK
PARCEL 35-35-32-1160-000-120
Vacant Residential

DONALD JAMES H SR & DONALD JEFFERY
R 23 CLARK RD
QUESTBURY AL 36048
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1160-000-110
Single Family Residential

ADAMS JUDY
325 NORTH
PENSACOLA FL 32506
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1160-000-100
Vacant Residential

ADAMS JUDY
325 NORTH 62ND AVE
PENSACOLA FL 32506
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1160-000-090
Vacant Residential

SHIELDS RANDOLPH L
801 ALYSSA DR
CANTONMENT FL 32533
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1160-000-080
Vacant Residential

EDDY LES A JERRISA ALI
5313 TROY LN
SENECA LA 70505
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1160-000-070
Vacant Residential

GRIFFIN ELEANOR C & WILLIAMS
836 SALFORD CT
PENSACOLA FL 32507
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1150-002-002
Single Family Residential

SANDUSKY HOWARD C
PO BOX 88
WASHINGTON MO 63011
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1150-003-002
Vacant Residential

HOLWAY BRIAN K & SHANNON GREEN
844 SALTPIKE CT
PENSACOLA FL 32507
ZONING CCPK
FLU MU-4
PARCEL 35-35-32-1150-004-002
Single Family Residential

S D THF LLC
517 N COLUMBIA ST
CONNOY LA 70433
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1150-004-006
Vacant Residential

LEWIS JIMMY L & VERNON BARRY P
142 ST FRANKS WAY
HOUSTON TX 77015
ZONING CCPK
PARCEL 35-35-32-1150-005-002
Vacant Residential

HERON'S WALK - PROPERTY OWNERS

HERON'S WALK OF PERDIDO
HOWEOWNERS ASSOCIATION INC
P O BOX 34778
PENSACOLA FL 32507
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1150-000-010
Vacant Residential

HAYNE TED O
13268 PERDIDO KEY DR
PENSACOLA FL 32507
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1150-001-006
Vacant Residential

MESSER DEBRA A
540 PICKENS AVE
PENSACOLA FL 32503
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1150-002-006
Vacant Residential

LUCKE JACKSON N & CATHERINE E
4738 HURON DR
PENSACOLA FL 32507
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1150-003-008
Vacant Residential

S D THF LLC
517 N COLUMBIA ST
CONNOY LA 70433
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1150-004-006
Vacant Residential

KEEDON KEVIN
1360 VAN KIRK AVE
PENSACOLA FL 32503
ZONING R-3PK
PARCEL 35-35-32-1150-005-006
Vacant Residential

PARADISE ISLES - PROPERTY OWNERS

REGAL OAKS INC
PO BOX 1540
ORANGE BEACH AL 36561
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1003-130-001
Vacant Residential

REGAL OAKS INC
PO BOX 1540
ORANGE BEACH FL 36561
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1003-140-001
Vacant Residential

MAULDIN MARK A & BUCCI RICHARDA 3802
CABILDO PL
OCEAN SPRINGS MS 39564
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1003-150-001
Vacant Residential

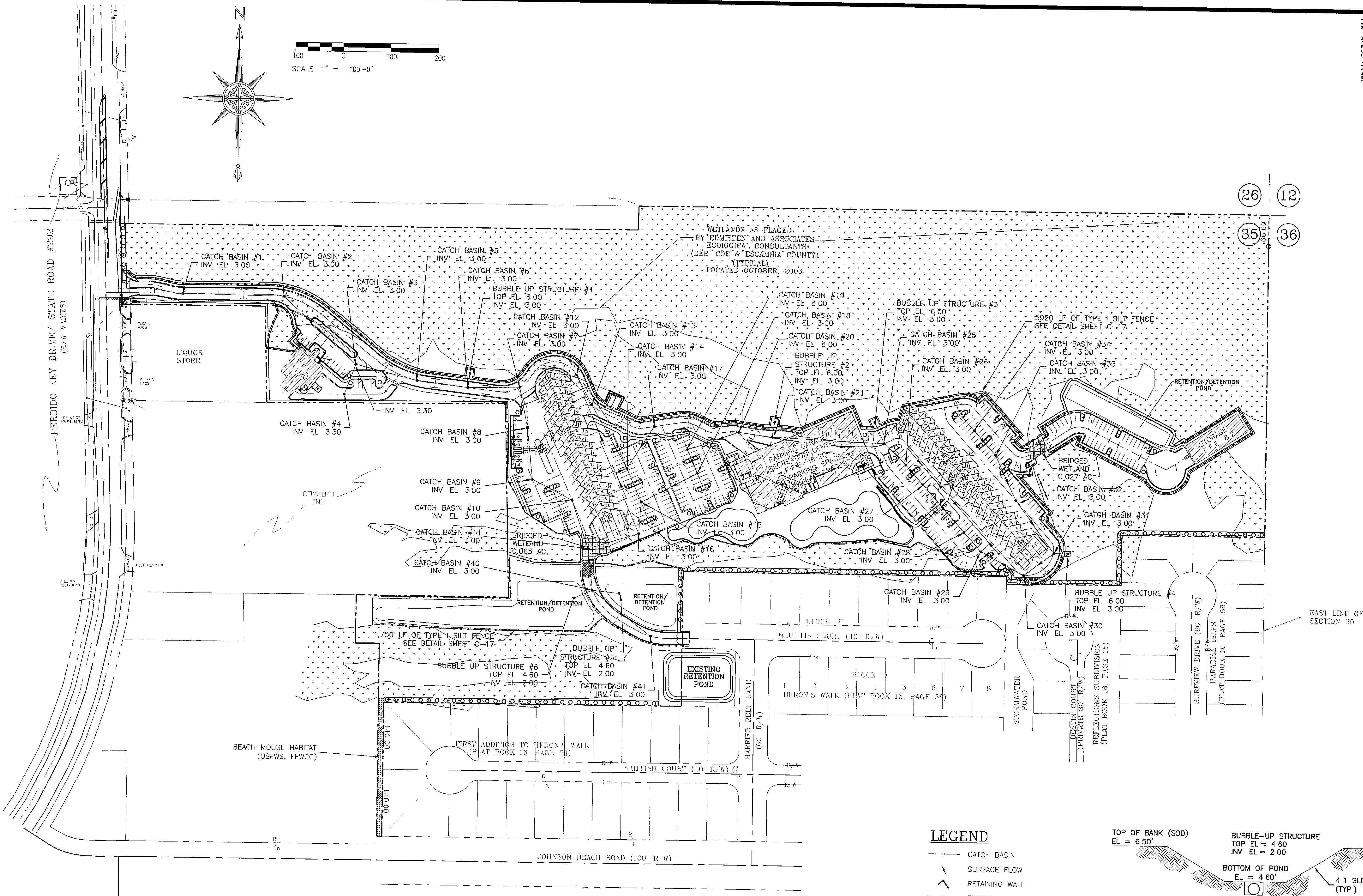
MAULDIN MARK A & BUCCI RICHARDA 3802
CABILDO PL
OCEAN SPRINGS MS 39564
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-1003-160-001
Vacant Residential

REFLECTIONS - PROPERTY OWNERS

RIGGS THOMAS K & SUSAN M
1539 CREEK MILL TRACE
LAWRENCEVILLE GA 30044
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-0950-000-009
Vacant Residential

KOLENICK ANTHONY J & PATRICIA L
3 MARIA LN
FRANKLIN PA 16323
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-0950-000-008
Vacant Residential

JOHNSON BEACH VENTURE
1352 STERLING POINT DR
GULF BREEZE FL 32561
ZONING R-3PK
FLU MU-4
PARCEL 35-35-32-0950-001-016
Waste Land

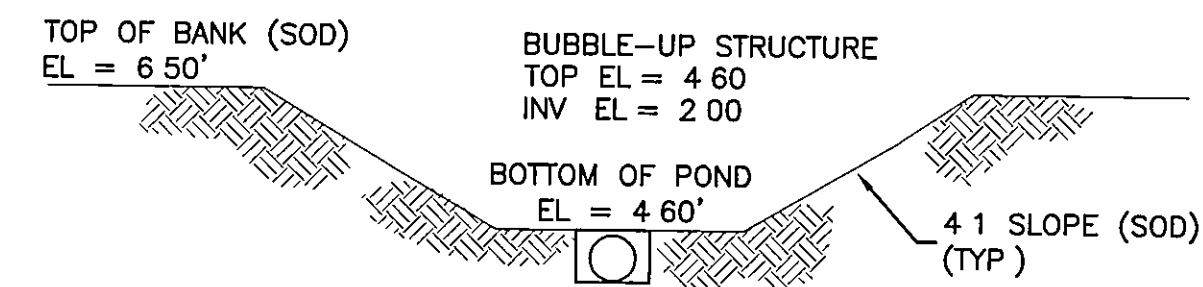


NOTE: AN ESCAMBIA COUNTY LAND DISTURBANCE PERMIT IS REQUIRED FOR THIS PROJECT IF FILL MATERIALS ARE IMPORTED. A NO PERSON MAY IMPORT OR CAUSE TO BE IMPORTED ONTO SANTA ROSA ISLAND OR PERDIDO KEY LOCATED IN ESCAMBIA COUNTY, FLORIDA ANY CONSTRUCTION OR LANDSCAPING MATERIAL WHICH IS NOT AN APPROVED MATERIAL. B NO PERSON MAY USE, OR TRANSFER FOR USE, ANY PROHIBITED MATERIAL IN CONNECTION WITH ANY PAVING, ROAD SURFACING, FILLING, LANDSCAPING, CONSTRUCTION WORK OR ANY OTHER IMPROVEMENT TO REAL PROPERTY ON PERDIDO KEY OR ANY PART OF SANTA ROSA ISLAND WHETHER LEASED OR NOT. C NO PERSON MAY TRANSFER FROM PARCEL TO PARCEL ANY CONSTRUCTION MATERIAL WHICH IS NOT AN APPROVED MATERIAL WHERE SUCH MATERIAL IS TO BE USED IN CONNECTION WITH ANY PAVING, ROAD SURFACING, FILLING, LANDSCAPING, CONSTRUCTION WORK OR ANY OTHER IMPROVEMENT TO REAL PROPERTY ON ANY PART OF PERDIDO KEY OR SANTA ROSA ISLAND WHETHER LEASED OR NOT.

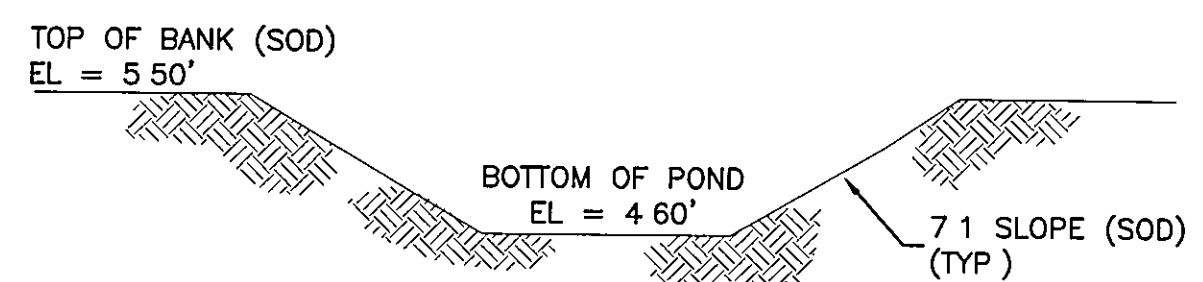
A AT SUCH TIME AS RECONSTRUCTION, REDEVELOPMENT, IMPROVEMENT OR USE OF A SITE UNCOVERS OR EXPOSES "PROHIBITED MATERIALS," SUCH MATERIALS MUST BE IMMEDIATELY REMOVED FROM THE SITE AND RELOCATED OFF SANTA ROSA ISLAND OR PERDIDO KEY, AS THE CASE MAY BE, USING SUCH SAFEGUARDS AS ARE PROMULGATED BY THE DEPARTMENT TO PREVENT THE RELEASE OF SUCH MATERIALS BY WIND, WATER, OR OTHERWISE WITHIN THE PARCEL OR ONTO ADJACENT PARCELS OR WATERS. THE REMOVAL OF PROHIBITED MATERIALS SHALL BE REQUIRED TO A TWO-FOOT DEPTH BENEATH THE PLANE OF LAND SURFACE IF A SAND DUNE IS IMPACTED FROM EDGE TO EDGE. REMOVAL SHALL BE REQUIRED FOR THE AREA OF DISTURBED OR EXPOSED PROHIBITED MATERIAL TO A DEPTH OF TWO FEET BENEATH THE PLANE OF LAND SURFACE AT EACH EDGE. ANY PROHIBITED MATERIAL NOT REQUIRED TO BE REMOVED SHALL BE CONTAINED IN ACCORDANCE WITH THIS SECTION.

LEGEND

- CATCH BASIN
- SURFACE FLOW
- RETAINING WALL
- EXISTING CONTOURS
- FINISH CONTOURS
- TYPE 1 SILT FENCE



WEST PONDS CROSS SECTION
NOT TO SCALE



EAST POND CROSS SECTION
NOT TO SCALE

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS.

WETLANDS AS FLAGGED BY EDMISTEN AND ASSOCIATES, ECOLOGICAL CONSULTANTS, (PER CODE & ESCAMBIA COUNTY) (TYPICAL) LOCATED OCTOBER, 2003.

WETLANDS AS FLAGGED BY EDMISTEN AND ASSOCIATES, ECOLOGICAL CONSULTANTS, (PER CODE & ESCAMBIA COUNTY) (TYPICAL) LOCATED OCTOBER, 2003.

WETLANDS AS FLAGGED BY EDMISTEN AND ASSOCIATES, ECOLOGICAL CONSULTANTS, (PER CODE & ESCAMBIA COUNTY) (TYPICAL) LOCATED OCTOBER, 2003.

REVISION		DATE		APPROVED	
NO	1	DATE	DATE	DATE	DATE
NO	2	DATE	DATE	DATE	DATE
NO	3	DATE	DATE	DATE	DATE
NO	4	DATE	DATE	DATE	DATE
NO	5	DATE	DATE	DATE	DATE

NOT RELEASED FOR CONSTRUCTION

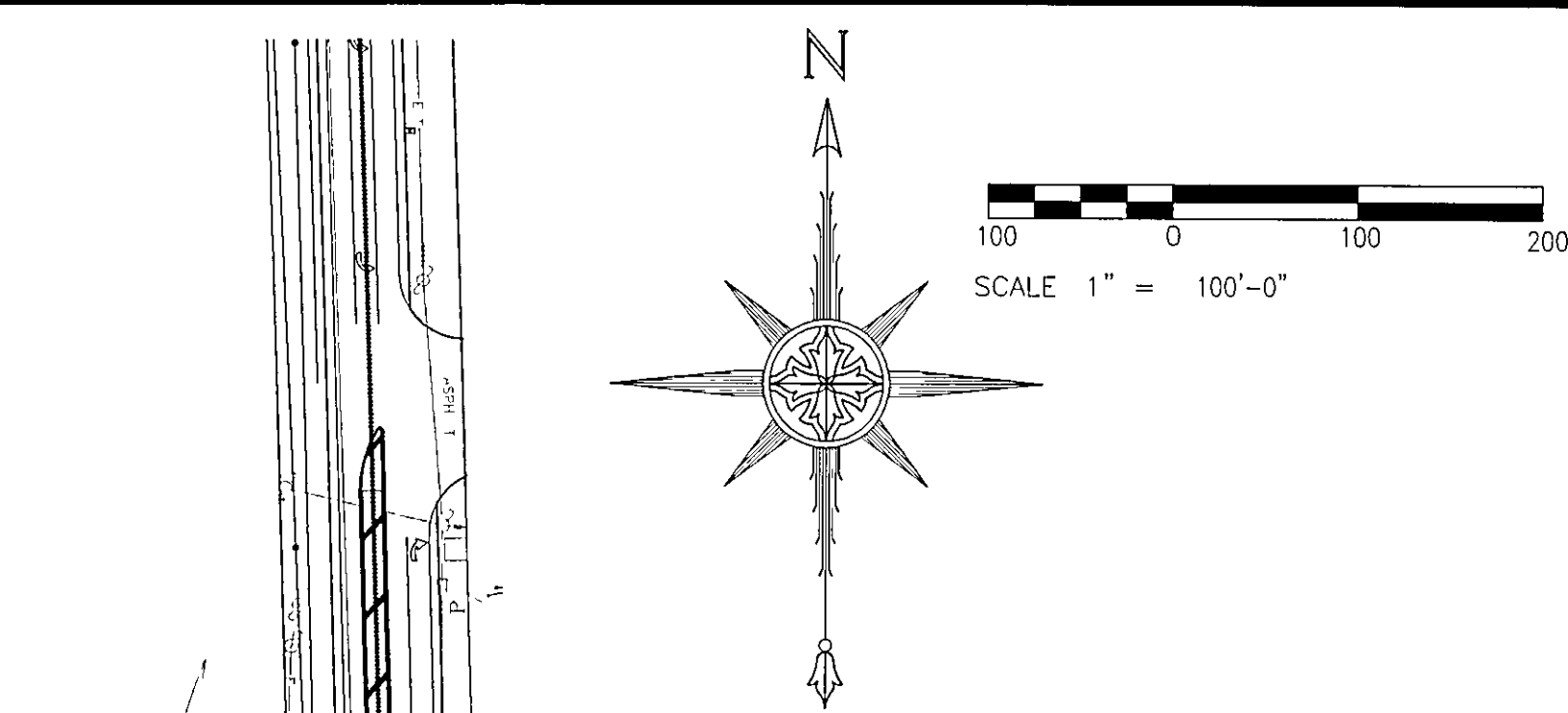
SCALE AS SHOWN

DESIGNED **CHECKED** **DRAWN** **DATE** **2/4/2008**

PROJECT NO 13201 **SHEET NO** C-5 OF 21

PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
OVERALL DRAINAGE PLAN
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

FLORIDA P.E.# 33658



LEGEND

- SANITARY SEWER MANHOLE WITH SEWER MAIN
- SANITARY SEWER WITH DIRECTION OF FLOW
- 6" FM 6" FORCEMAIN
- 6" W 6" PVC WATER MAIN
- † 6" FIRE HYDRANT ASSEMBLY

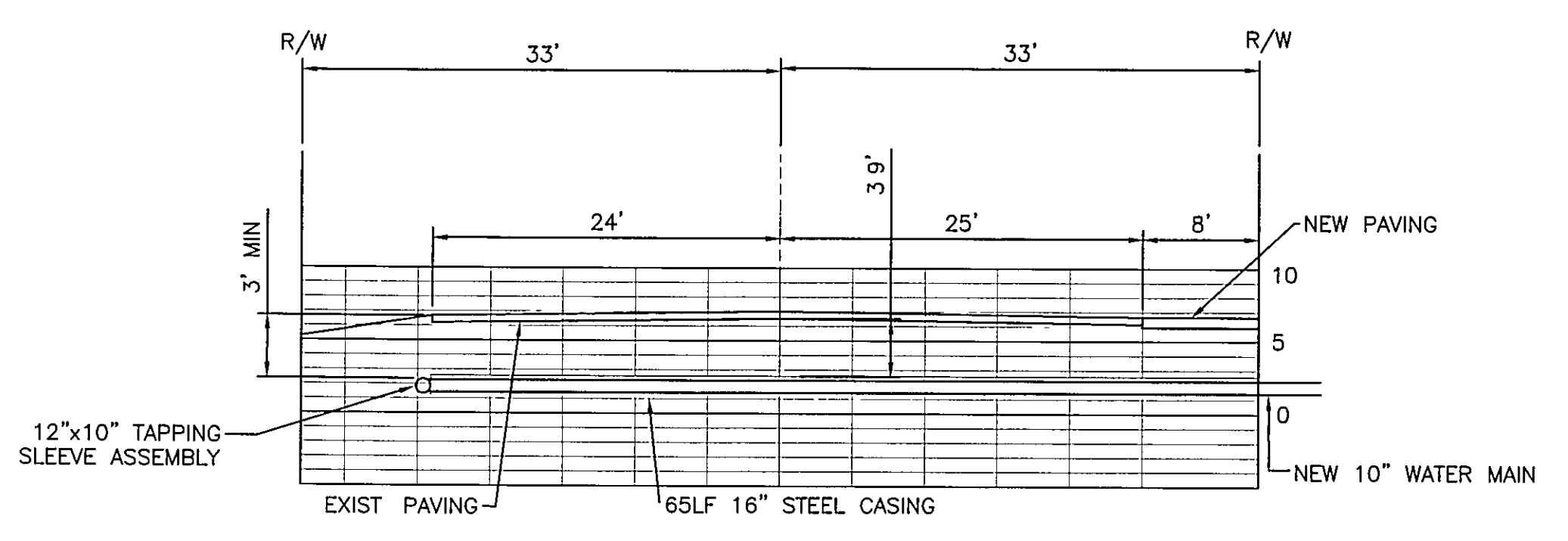
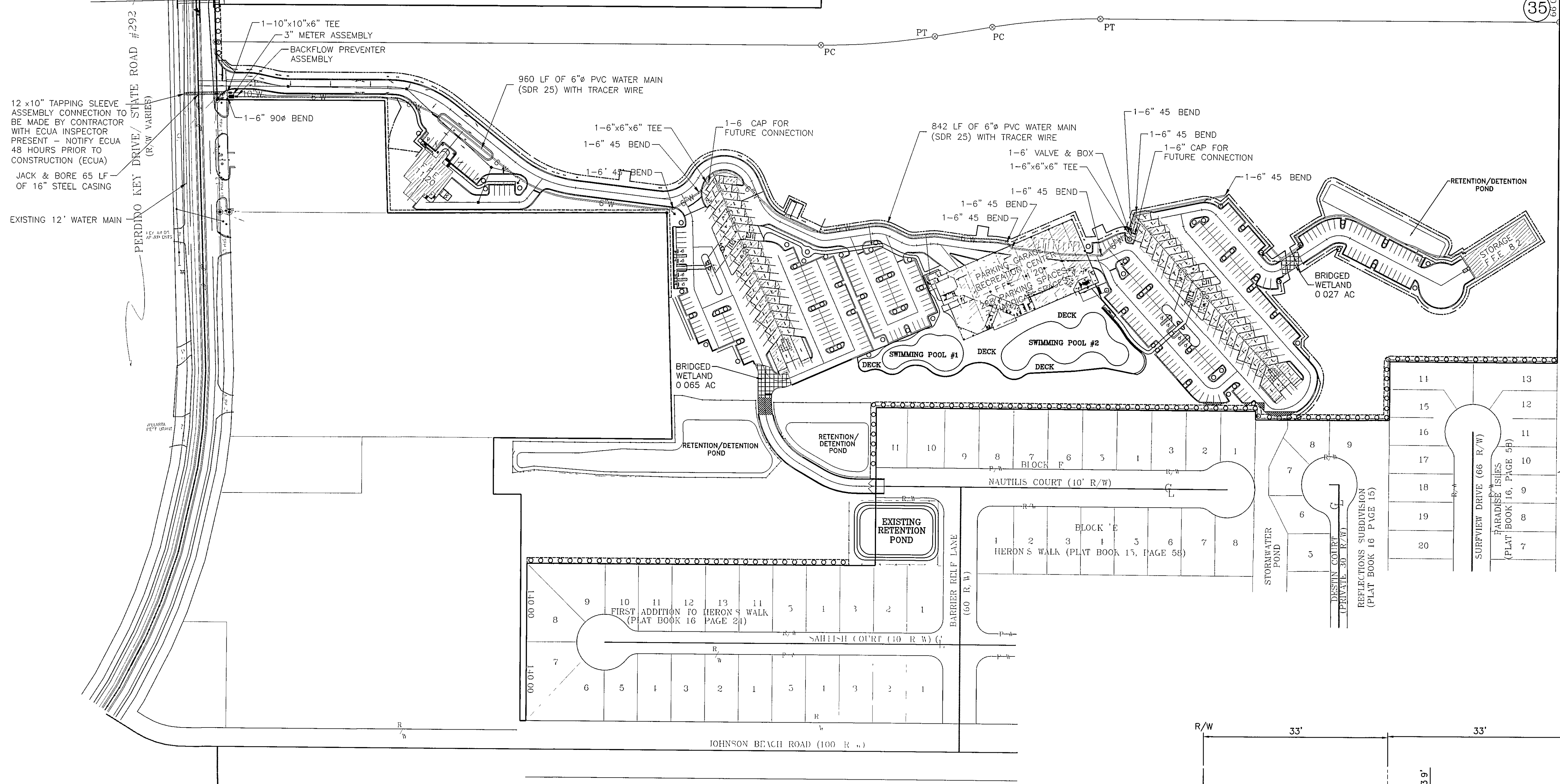
NOTES

1. LATERALS TO BE TURNED UP 2' FROM EDGE OF BUILDING SITES
2. FOR SANITARY SEWER PROFILES, SEE SHEETS C-13 AND C-14
3. UPON COMPLETION, SANITARY SEWER SYSTEM WILL REMAIN PRIVATELY OWNED & MAINTAINED

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECUA'S STANDARD SPECIFICATIONS.

WATER MAIN NOTE:
ALL NEW WATER MAIN SHALL BE SDR 25 12" PVC WATER PIPE WITH TRACER WIRE AND HAVE 30" MIN. COVER AND A 30" MAXIMUM COVER UNLESS APPROVED OTHERWISE BY ECUA.

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE SDR 25 12" PVC WATER PIPE WITH TRACER WIRE AND HAVE 30" MIN. COVER AND A 30" MAXIMUM COVER UNLESS APPROVED OTHERWISE BY ECUA.



SECTION OF WATER MAIN UNDER PERDIDO KEY DR
1"=10' HORZ & VERT

REVISION		DATE		APPR	
NO	1	2	3	4	5

GECI & ASSOCIATES, INC.

ENGINEERS

2950 N 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
E-Mail: geci@geciengineering.com

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

SCALE	AS SHOWN	DESIGNED	DRAWN	CHECKED	SAG	DATE
						2/11/2008

NOT RELEASED FOR CONSTRUCTION BY

[Signature]

FLORIDA PE# 33658

SITE PLAN FOR

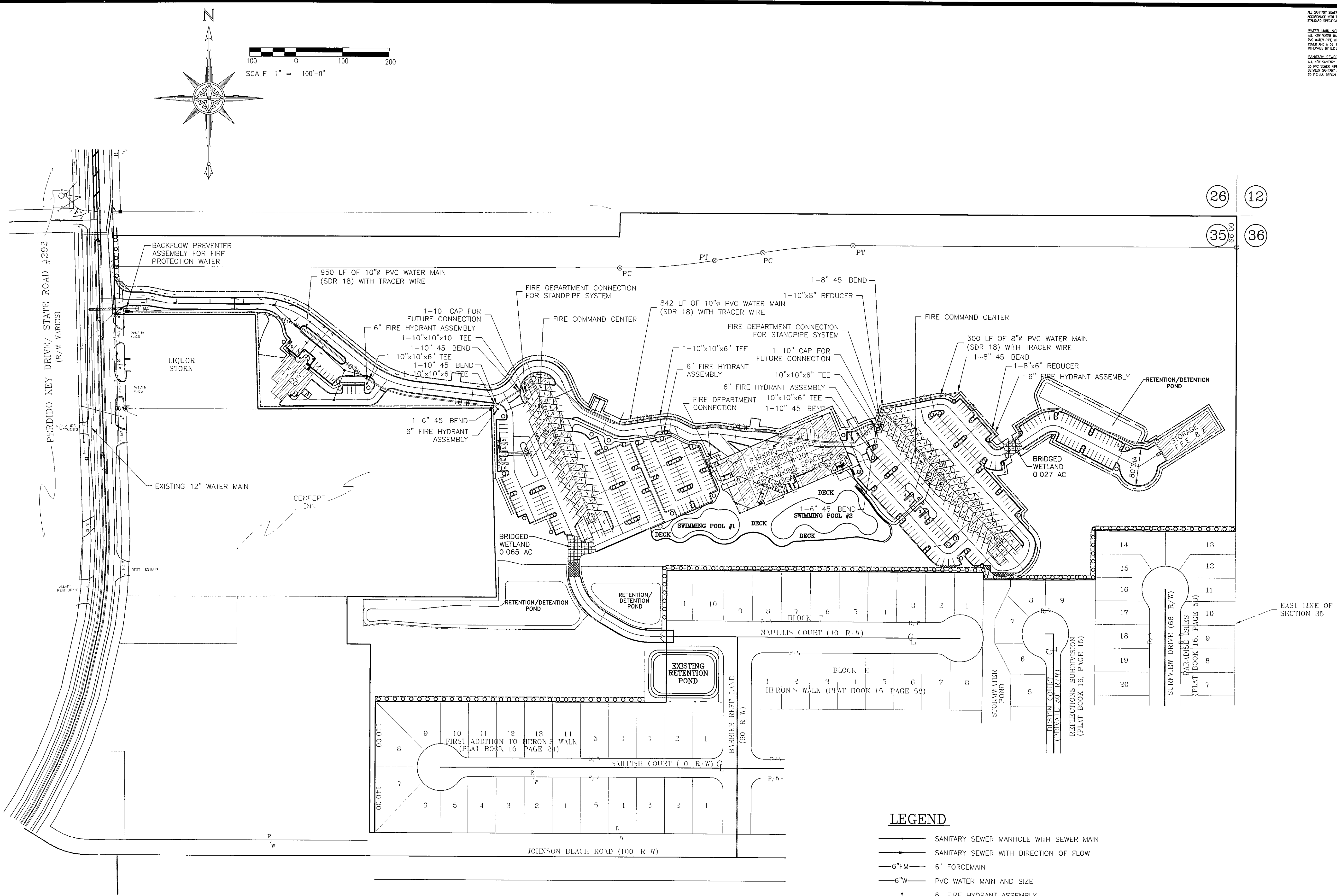
PARADISE ISLAND

ESCAMBIA COUNTY, FLORIDA

OVERALL POTABLE WATER PLAN

PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

PROJECT NO	SHEET NO
13201	C-6 OF 21



LEGEND

- SANITARY SEWER MANHOLE WITH SEWER MAIN
- SANITARY SEWER WITH DIRECTION OF FLOW
- 6"FM 6' FORCEMAIN
- 6"W PVC WATER MAIN AND SIZE
- 6 FIRE HYDRANT ASSEMBLY

NOTES

- SERVICES TO BE TURNED UP 2' FROM EDGE OF BUILDING SITES
- UPON COMPLETION, WATER SYSTEM IS TO REMAIN PRIVATELY OWNED & MAINTAINED

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.D.A.'S STANDARD SPECIFICATIONS.

WATER MAIN NOTE:
ALL NEW WATER MAIN SHOWN SHALL BE SDR 18, 30" PVC WATER PIPE WITH TRACER WIRE AND HAVE 30" MIN. COVER AND A 30" MINIMUM COVER UNLESS APPROVED OTHERWISE BY E.C.D.A.

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHOWN SHALL BE SDR 18, 30" PVC SEWER PIPE, PROVIDE A MINIMUM CLEARANCE BETWEEN SANITARY AND STORM CROSSING OR CONFORM TO E.C.D.A. DESIGN STANDARDS (SECTION 550 PART 3).

PROJECT NO

13201

SHEET NO

C-7 OF 21

SITE PLAN FOR

PARADISE ISLAND

ESCAMBIA COUNTY, FLORIDA

OVERALL FIRE PROTECTION WATER PLAN

PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

DESIGNED

SCALE AS SHOWN

CHECKED

DATE 2/4/2008

DRAWN

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REVISION

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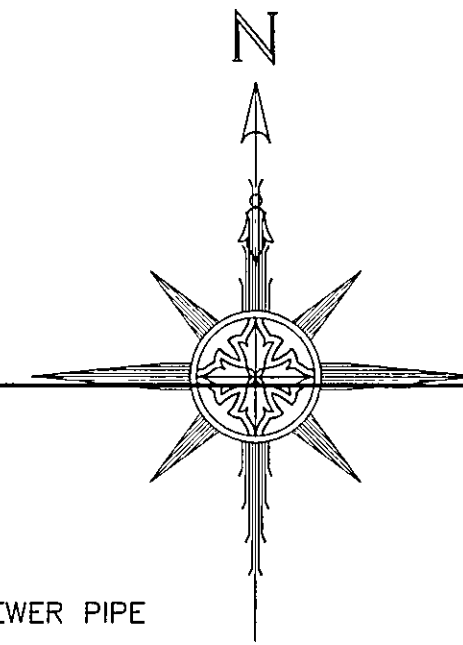
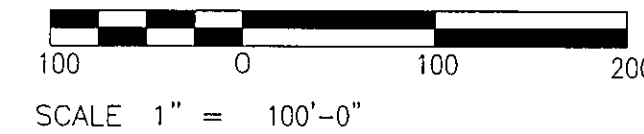
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 SANITARY SEWER MANHOLE WITH SEWER MAIN
 SANITARY SEWER WITH DIRECTION OF FLOW



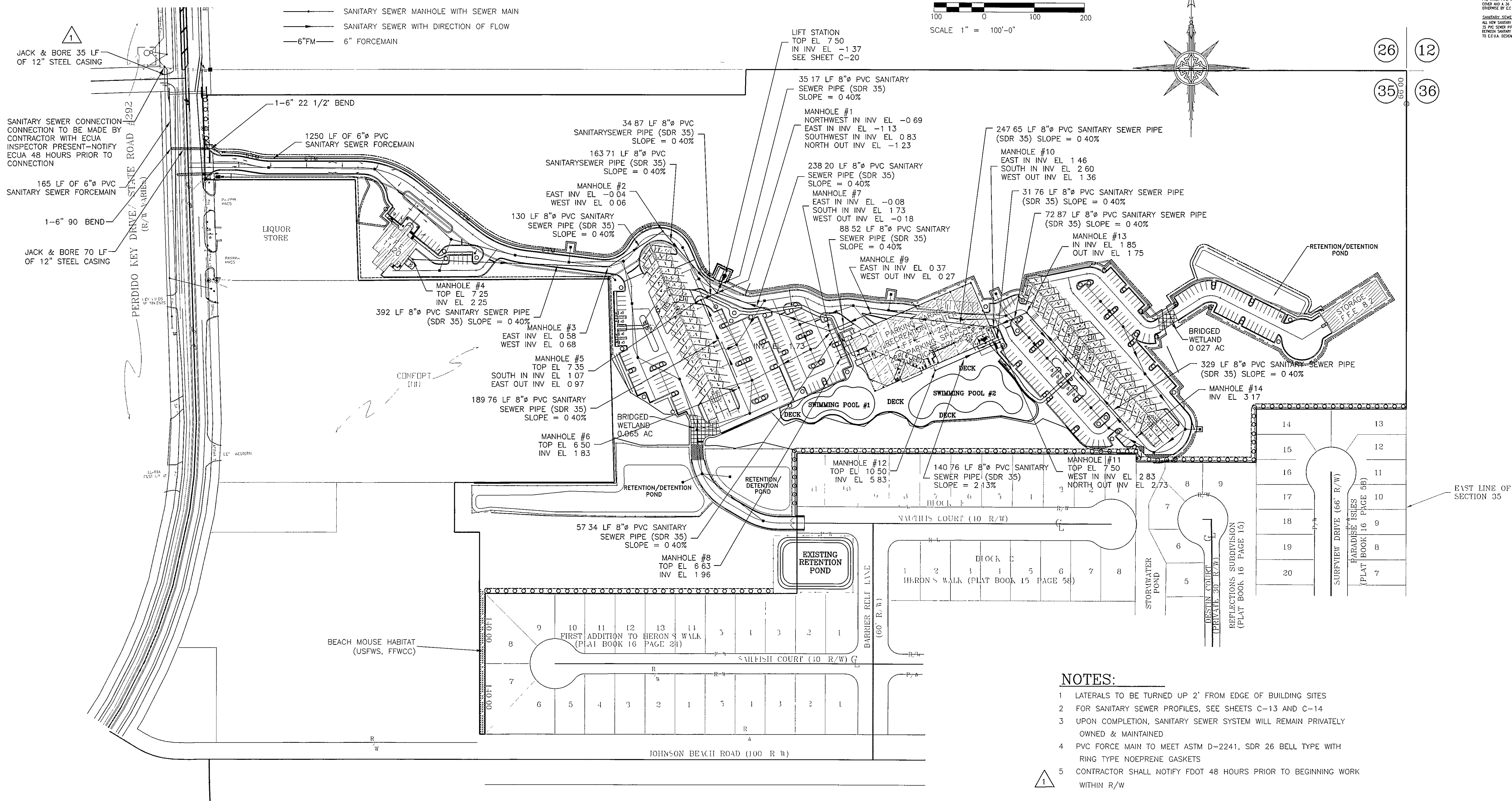
ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS

WATER MAIN NOTE

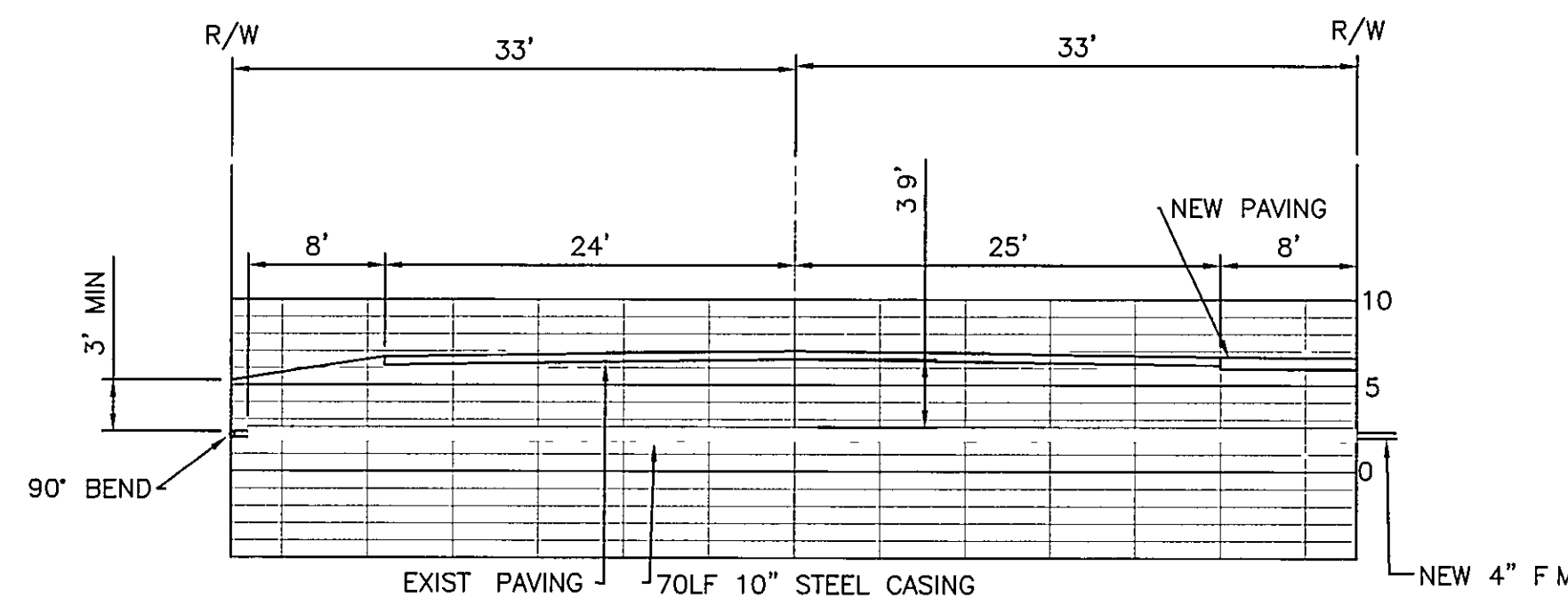
ALL NEW WATER MAIN SHOWN SHALL BE SDR NO. 25 PVC WATER PIPE WITH TRACER WIRE AND HAVE 30" MIN. COVER AND A 36" MAXIMUM COVER UNLESS APPROVED OTHERWISE BY E.C.U.A.

SANITARY SEWER NOTE

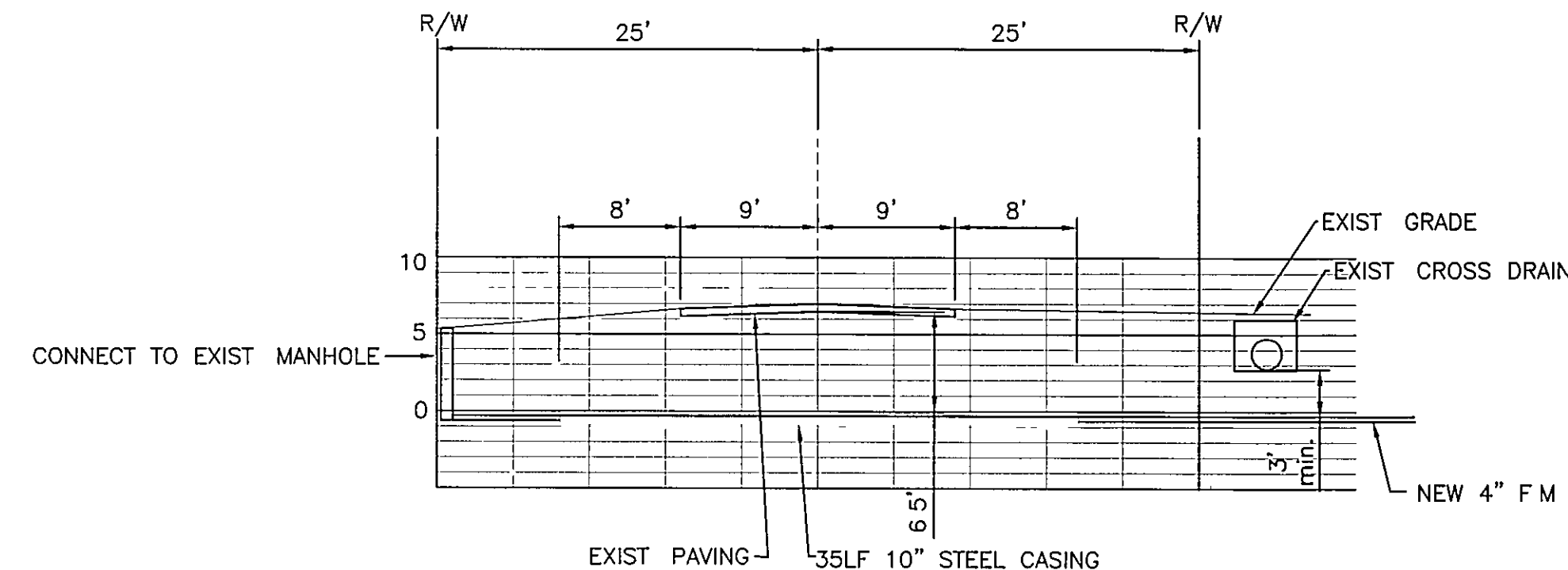
ALL NEW SANITARY SEWER SHOWN SHALL BE SDR NO. 35 PVC SEWER PIPE WITH 18" MIN. COVER AND 18" MIN. CLEARANCE BETWEEN SANITARY AND STORM CROSSING OR COMFOUR TO E.C.U.A. DESIGN STANDARDS (SECTION 570 PART 3)



- 1 LATERALS TO BE TURNED UP 2' FROM EDGE OF BUILDING SITES
- 2 FOR SANITARY SEWER PROFILES, SEE SHEETS C-13 AND C-14
- 3 UPON COMPLETION, SANITARY SEWER SYSTEM WILL REMAIN PRIVATELY
OWNED & MAINTAINED
- 4 PVC FORCE MAIN TO MEET ASTM D-2241, SDR 26 BELL TYPE WITH
RING TYPE NOEPRENE GASKETS
- 5 CONTRACTOR SHALL NOTIFY FDOT 48 HOURS PRIOR TO BEGINNING WORK
 WITHIN R/W



1 SECTION OF FORCE MAIN
UNDER PERDIDO KEY DR
1"=10' HORZ & VERT



1

SECTION OF FORCE MAIN
UNDER SEMMES ST

1"=10' HORZ & VERT

NO	REVISION	DATE	APPR
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GECI & ASSOCIATES, INC.

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2950 N 12th Ave PENSACOLA, FL 32503
 PH: (950) 422-2020 F: (950) 422-2975

Phone (830) 432-2529 - Fax (830) 432 2875
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149

E-Mail - geci@geciengineering.com

DESIGNED	DRAWN	CHECKED	DATE
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SAG	SBM	SAG	2/4/2008
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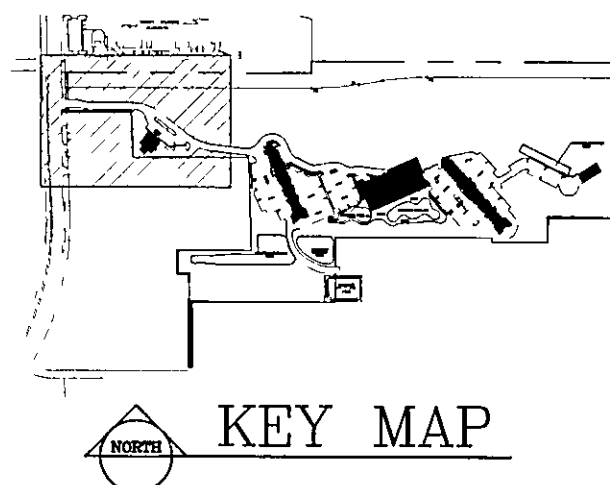
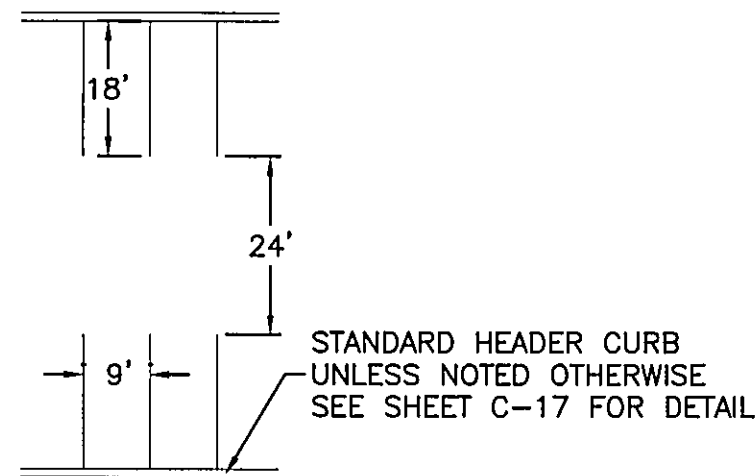
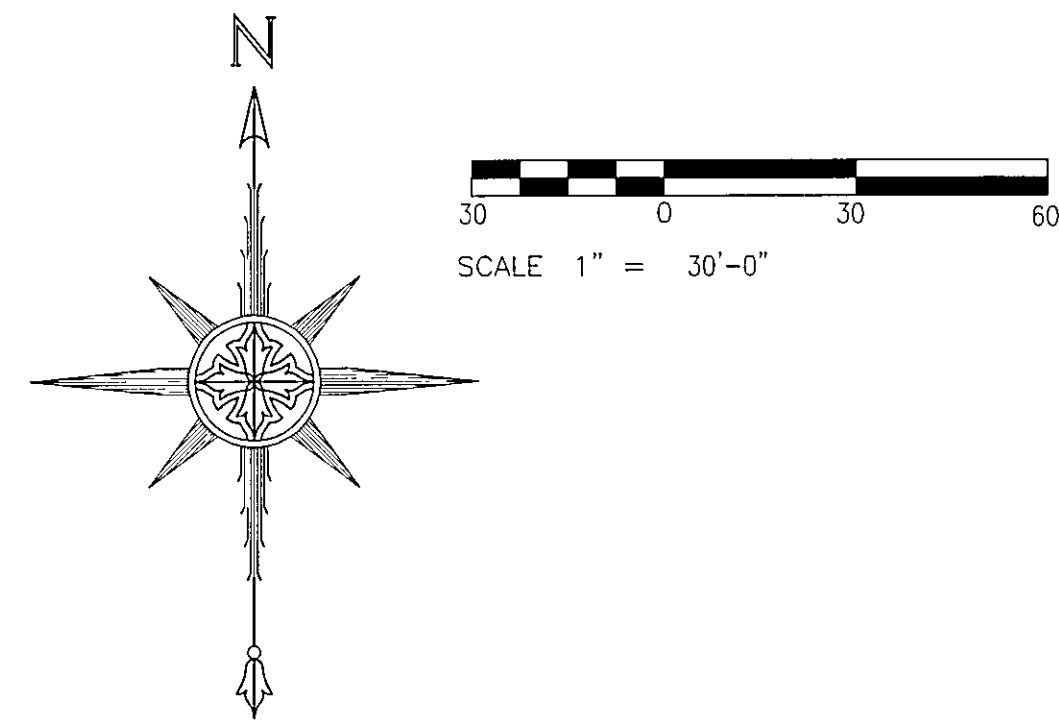
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USA

FLORIDA PE# 33658

SITE PLAN
FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
OVERALL SANITARY SEWER PLAN
AVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

PROJECT NO	SHEET NO
13201	C-8 OF 21

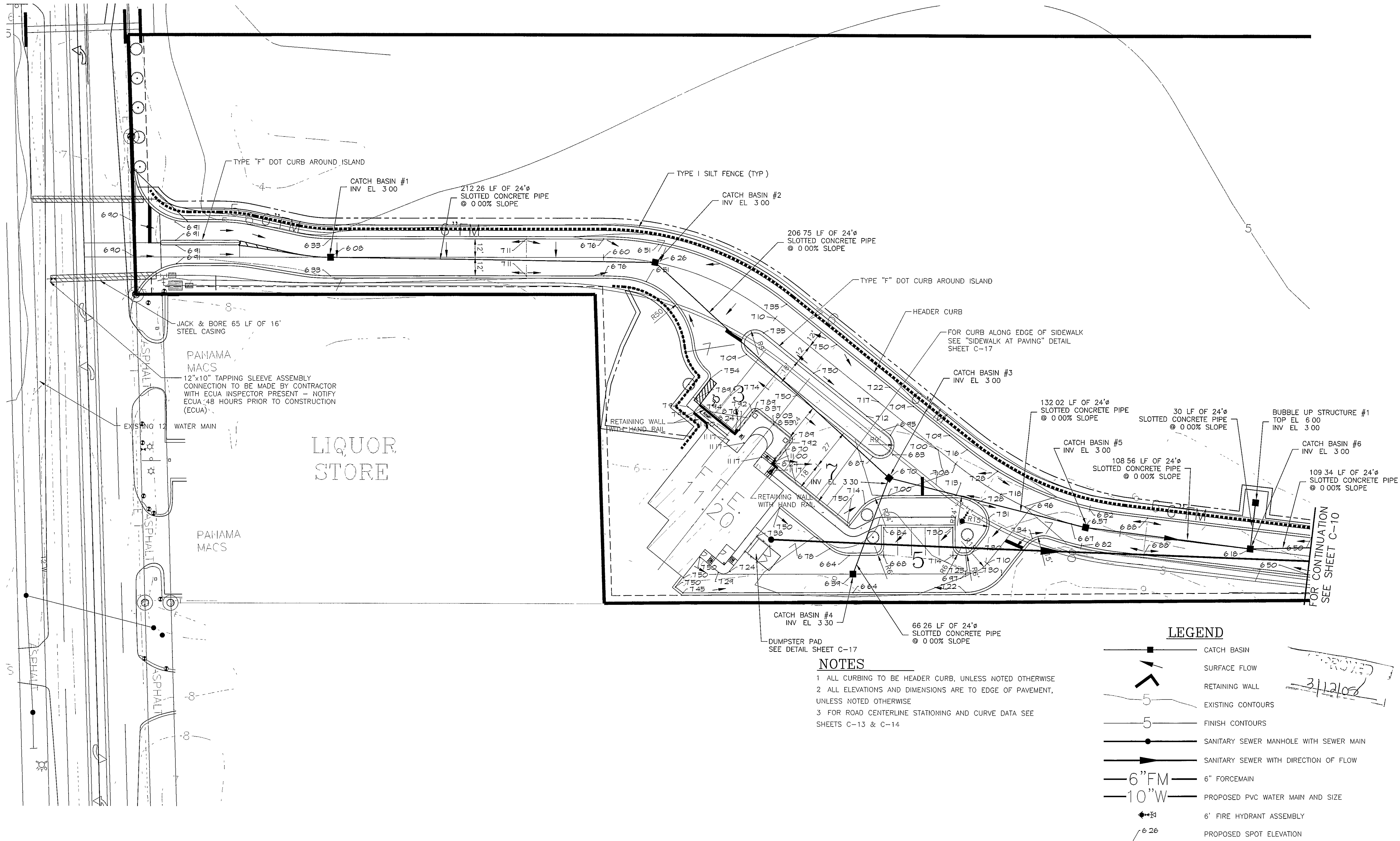


PARKING SPACE & DRIVEWAY
TYPICAL MEASUREMENTS
NOT TO SCALE

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS.

WATER MAIN NOTE:
ALL NEW WATER MAIN SHALL BE 30" MD 35 PVC WATER PIPE WITH TRACER WIRE AND HAVE 30" MIN COVER AND A 3' MINIMUM CROWN UNLESS APPROVED OTHERWISE BY E.C.U.A.

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 30" MD 35 PVC SEWER PIPE PROVIDE 6' MINIMUM CLEARANCE BETWEEN SANITARY AND STORM CROSSING OR CONFORM TO E.C.U.A. DESIGN STANDARD (SECTION 510 PART 3)



NOTES

- 1 ALL CURBING TO BE HEADER CURB, UNLESS NOTED OTHERWISE
- 2 ALL ELEVATIONS AND DIMENSIONS ARE TO EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE
- 3 FOR ROAD CENTERLINE STATIONING AND CURVE DATA SEE SHEETS C-13 & C-14

LEGEND

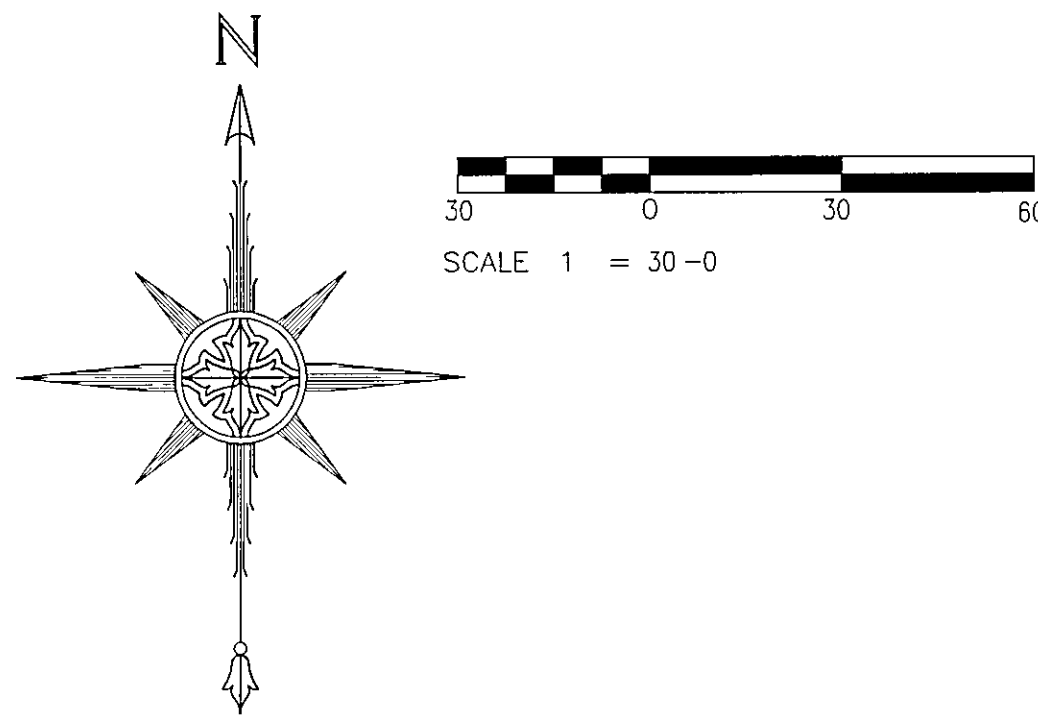
- CATCH BASIN
- SURFACE FLOW
- RETAINING WALL
- EXISTING CONTOURS
- FINISH CONTOURS
- SANITARY SEWER MANHOLE WITH SEWER MAIN
- SANITARY SEWER WITH DIRECTION OF FLOW
- 6" FM 6" FORCEMAIN
- 10" W PROPOSED PVC WATER MAIN AND SIZE
- 6" FIRE HYDRANT ASSEMBLY
- PROPOSED SPOT ELEVATION

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gec@geciengineering.com

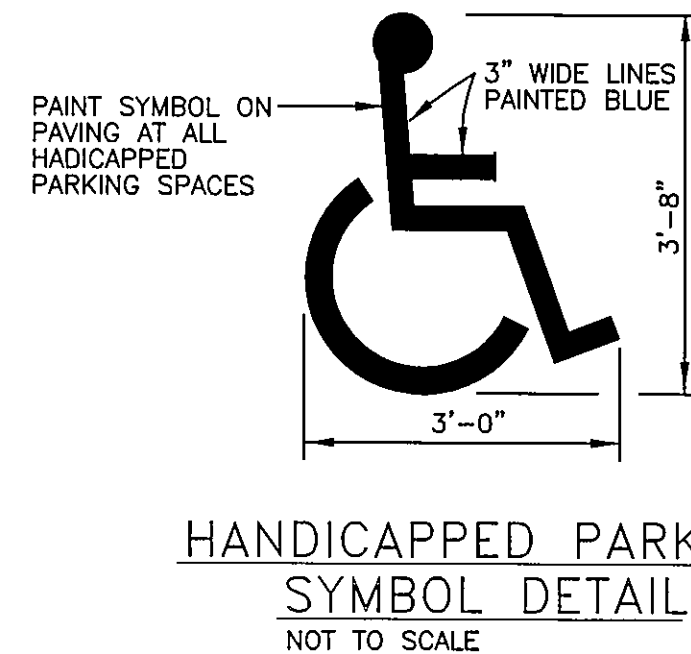
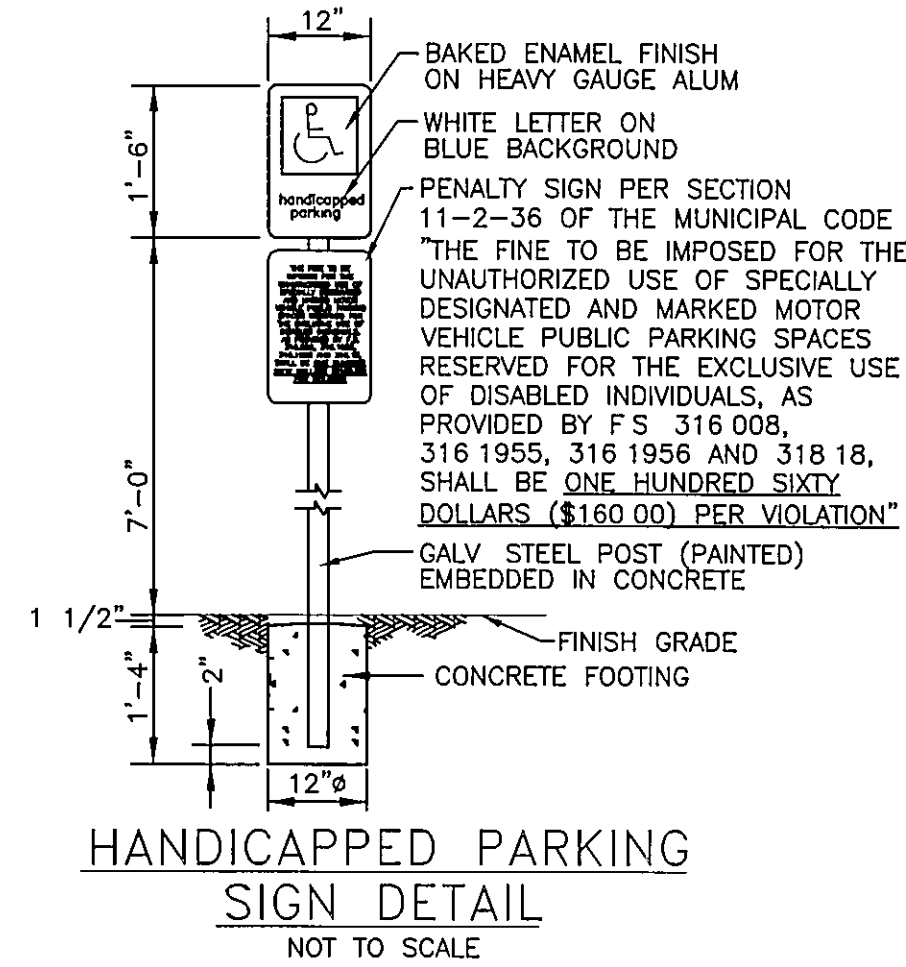
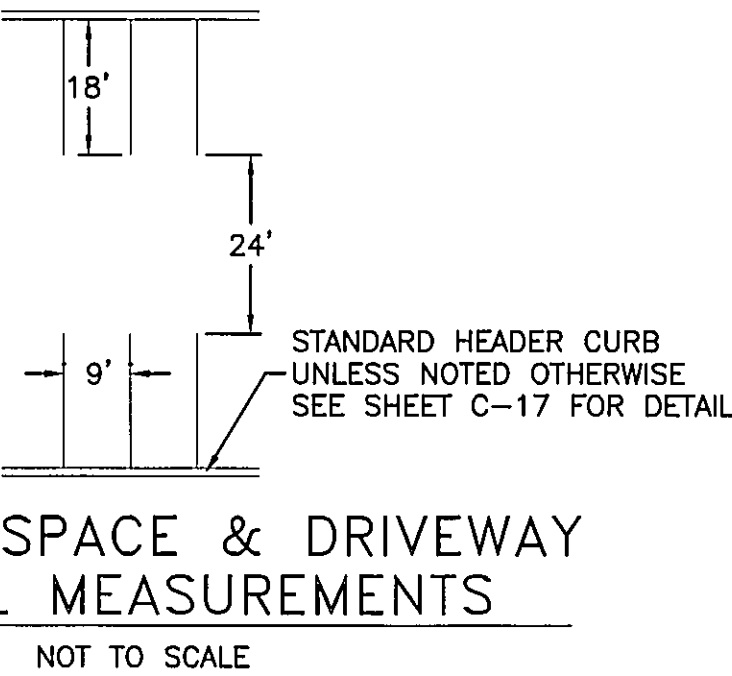
PARADISE ISLAND
FOR
ESCAMBIA COUNTY, FLORIDA
REGISTRATION BUILDING SITE PLAN
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

DATE: 2/4/2008
BY: [Signature]
CHECKED: [Signature]
DESIGNED: [Signature]
SCALE: AS SHOWN
DRAWN: [Signature]
SAG: [Signature]
SSM: [Signature]

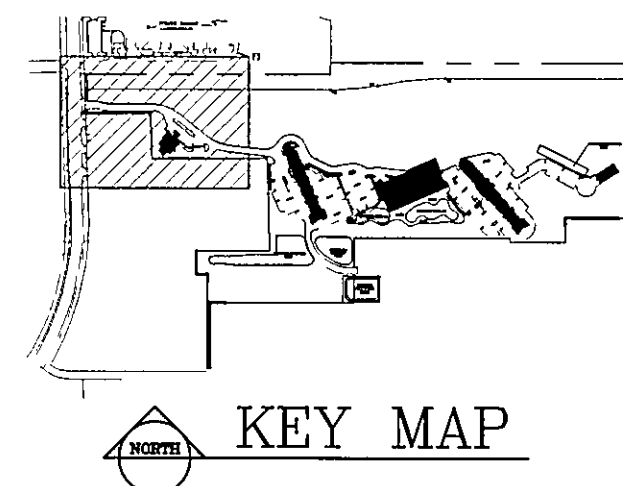
PROJECT NO. 13201
SHEET NO. C-9 OF 21



PARKING SPACE & DRIVEWAY
TYPICAL MEASUREMENTS

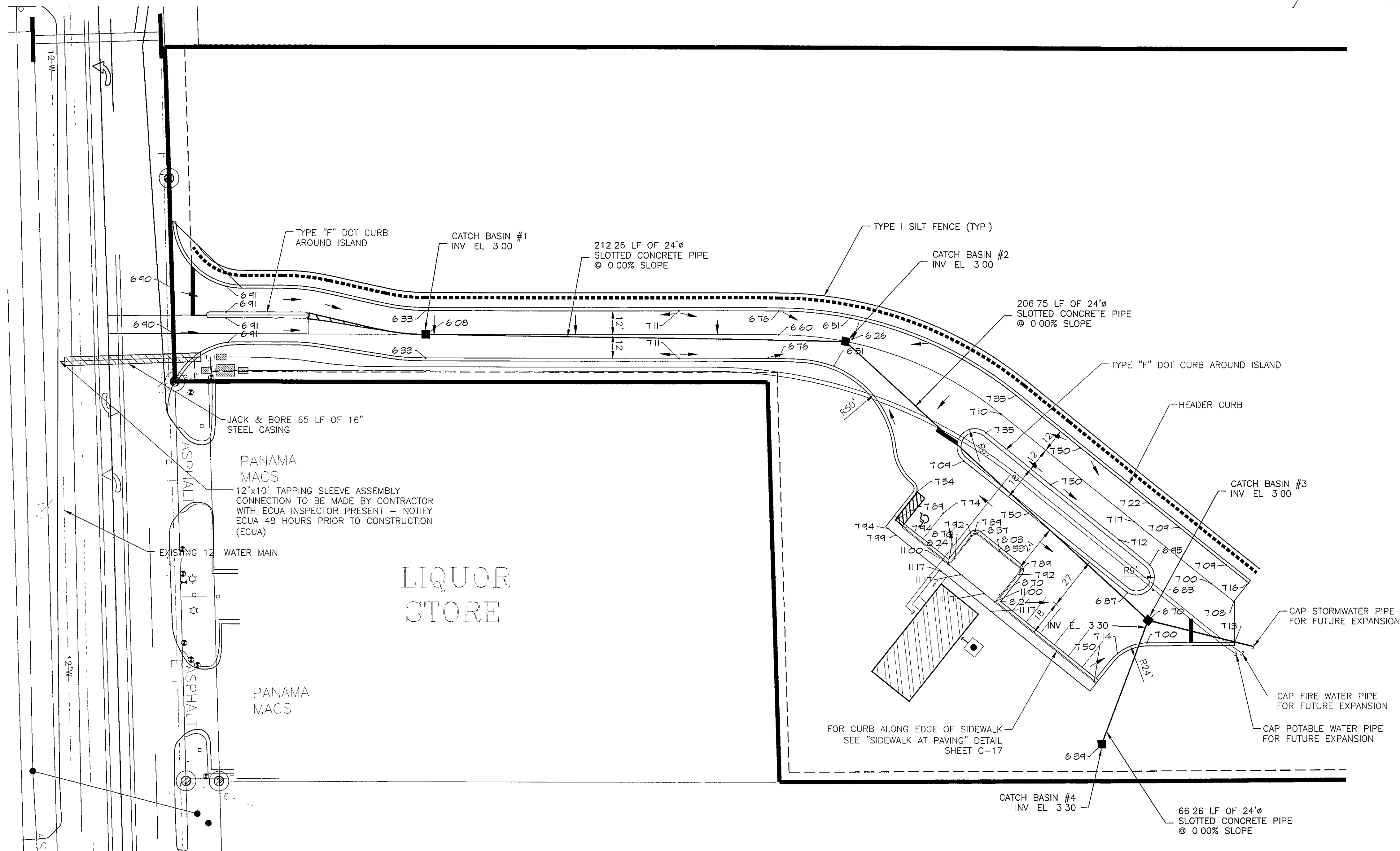


HANDICAPPED PARKING
SYMBOL DETAIL



LEGEND

- CATCH BASIN
- SURFACE FLOW
- SANITARY SEWER MANHOLE WITH SEWER MAIN
- SANITARY SEWER WITH DIRECTION OF FLOW
- 6" FM 6" FORCEMAIN
- 10" W PROPOSED PVC WATER MAIN AND SIZE
- 6.26 PROPOSED SPOT ELEVATION

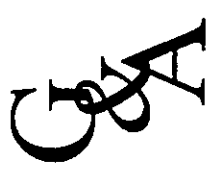


3/12/08

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.'S STANDARD SPECIFICATIONS.
WATER MAIN NOTE:
ALL NEW WATER MAIN SHALL BE 30" DIA. 30" PVC WATER PIPE WITH TRACED WIRE AND HAVE 30 MIN COVER AND A 5% MINIMUM COVER UNLESS APPROVED OTHERWISE BY E.C.U.A.
SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 30" DIA. 30" PVC SEWER PIPE, PROVIDE 6' MINIMUM CLEARANCE BETWEEN SEWER AND 25' DIA. CROSSING OR CONFINED TO E.C.U.A. DESIGN STANDARDS (SECTION 370 PART 3).

GECI & ASSOCIATES, INC.

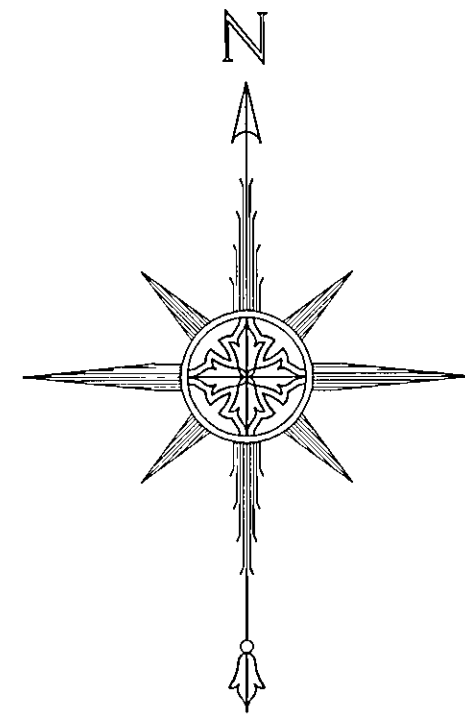
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail - gec@geciengineering.com



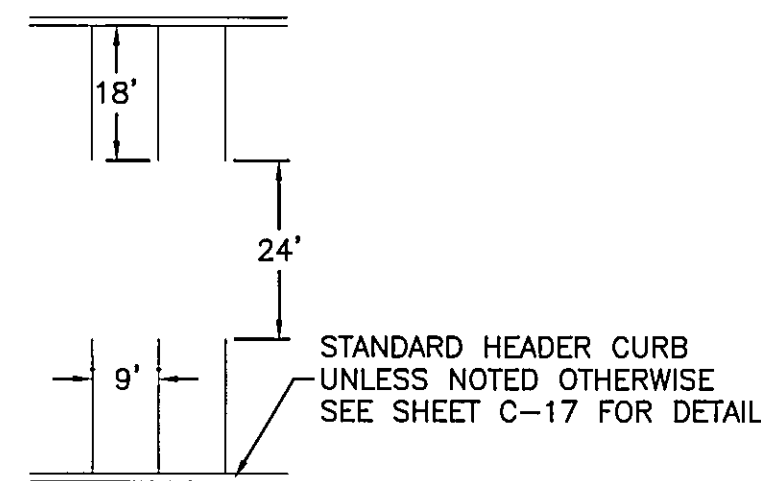
NOT RELEASED FOR CONSTRUCTION BY

SITE PLAN FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
TEMPORARY SALES TRAILER
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

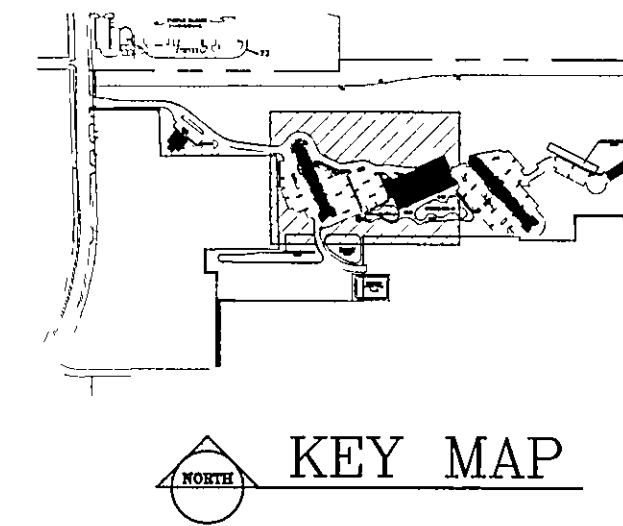
PROJECT NO 13201 SHEET NO C-9A OF 21



SCALE 1" = 30'-0"



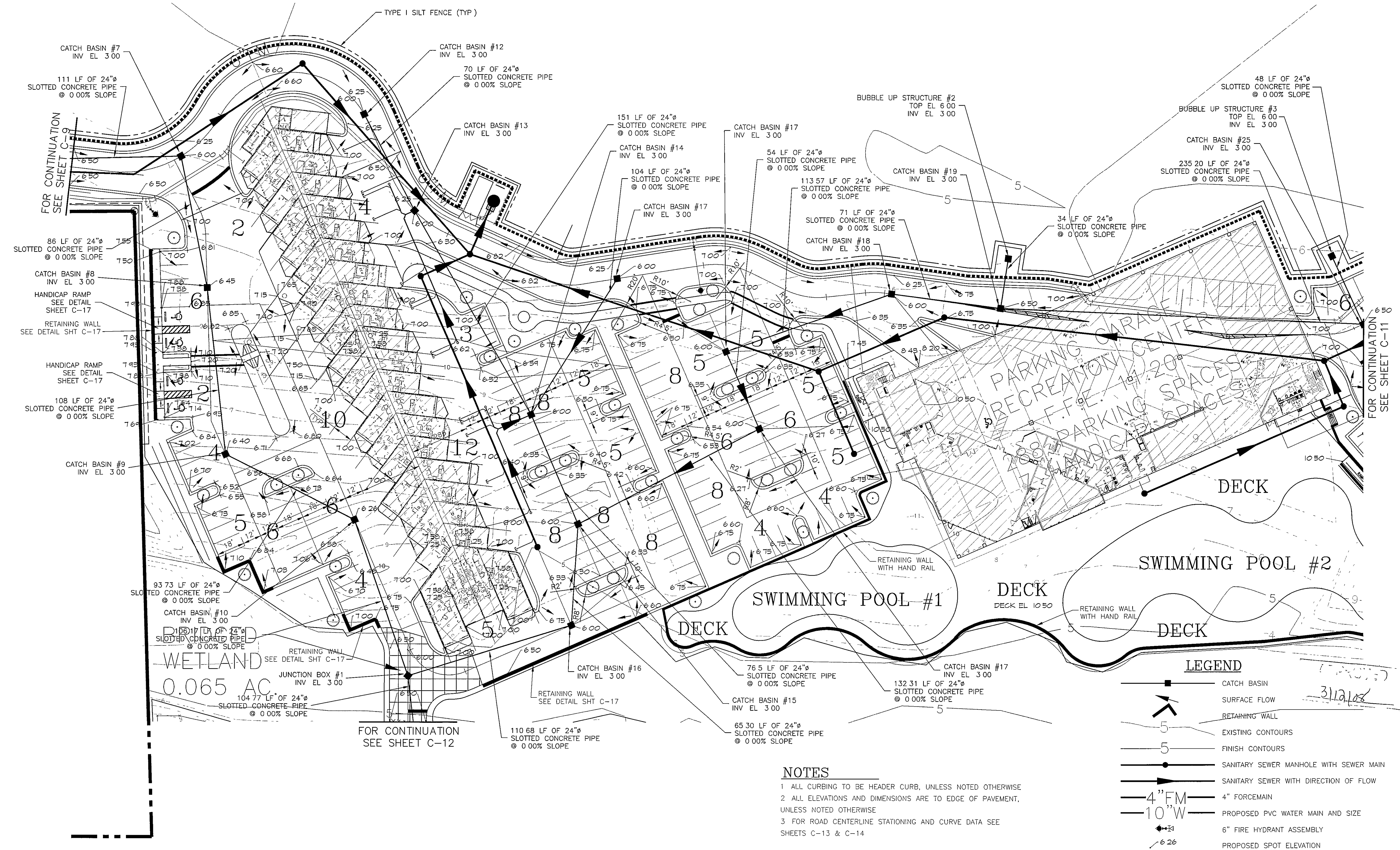
PARKING SPACE & DRIVEWAY
TYPICAL MEASUREMENTS
NOT TO SCALE



ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.D.A. STANDARD SPECIFICATIONS.

WATER MAIN NOTE:
ALL NEW WATER MAIN SHALL BE 30" DIA. 150 PSI WATER PIPE WITH TRACER WIRE AND HAVE 30' MIN. COVER AND A 15' MINIMUM COVER UNLESS APPROVED OTHERWISE BY E.C.D.A.

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 30" DIA. 150 PSI SANITARY PIPE, PROVIDE 6' MINIMUM CLEARANCE BETWEEN SANITARY AND STORM CROSSING OR CONFORM TO E.C.D.A. DESIGN STANDARDS (SECTION 575 PART 3).



GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
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CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gec@geciengineering.com

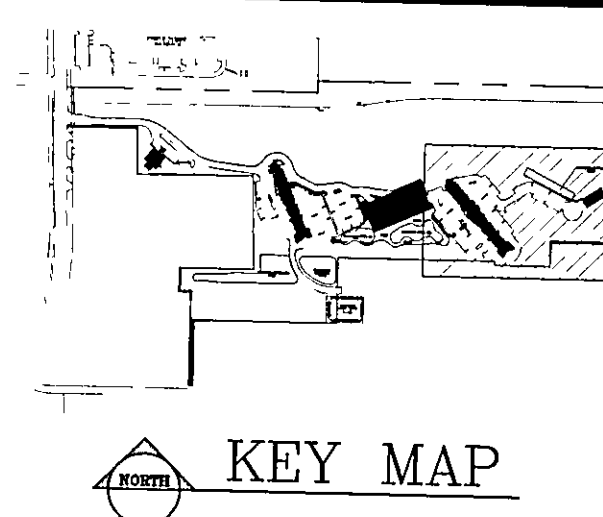
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DRAWN: SSM
CHECKED: SAG
DATE: 2/4/2008

PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
WEST BUILDING SITE PLAN

PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

PROJECT NO: 13201
SHEET NO: C-10 OF 21



ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED
ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A.
STANDARD SPECIFICATIONS

WATER MAIN NOTE

ALL NEW WATER MAIN SHOWN SHALL BE SOR NO. 2
PVC WATER PIPE WITH TRACER WIRE AND HAVE 30"
COVER AND A 36" MAXIMUM COVER UNLESS APPROVED
OTHERWISE BY E.C.U.A.

SANITARY SEWER NOTE

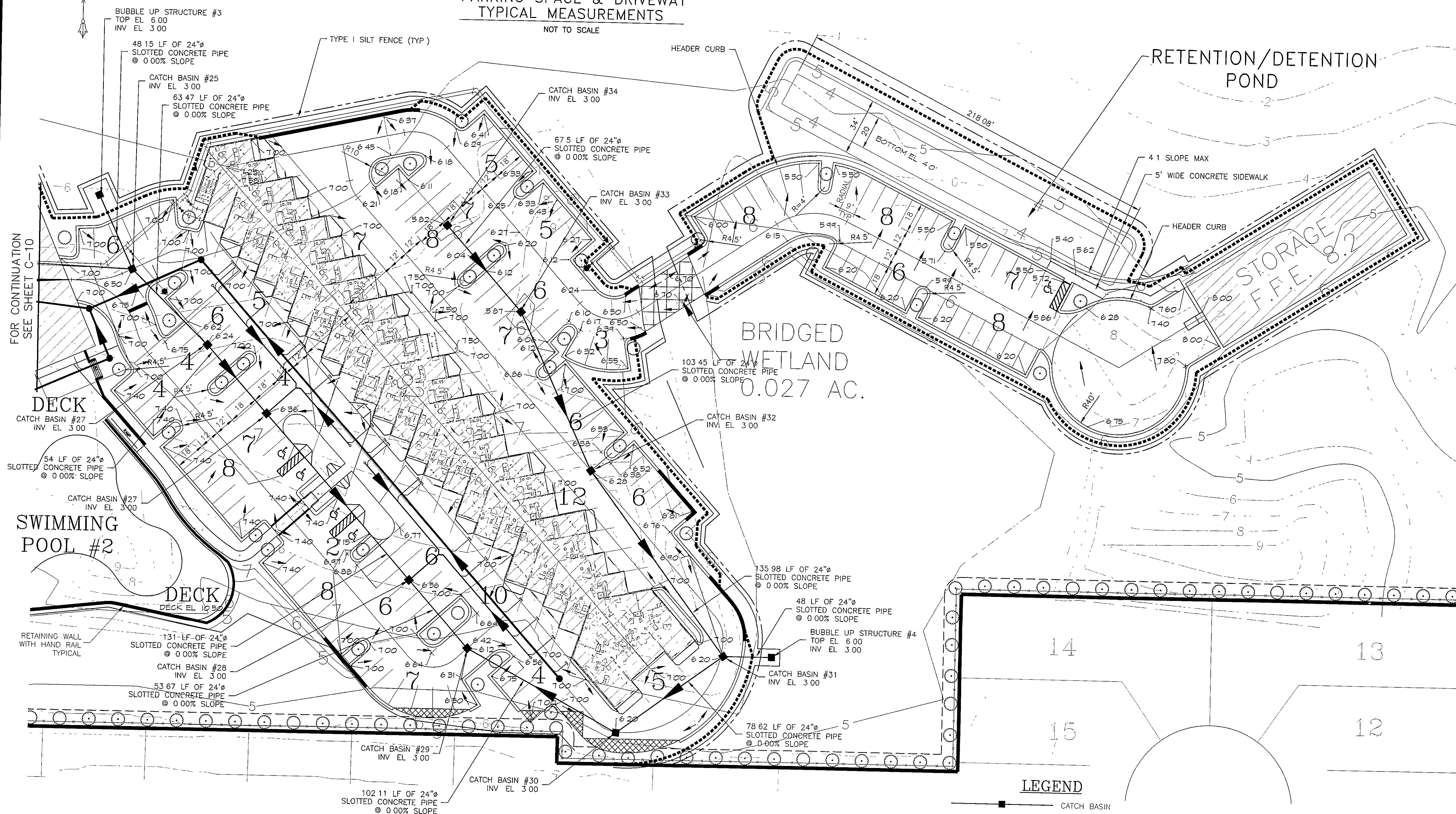
ALL NEW SANITARY SEWER SHOWN SHALL BE SOR NO. 1
35" PVC SEWER PIPE PROVIDE 6" MINIMUM CLEARANCE
BETWEEN SANITARY AND STORM CROSSING OR CONFORM
TO E.C.U.A. DESIGN STANDARDS (SECTION 520 PART 1)

PARKING SPACE & DRIVEWAY TYPICAL MEASUREMENTS








NOT TO SCALE

KEY MAP

RETENTION/DETENTION
POND



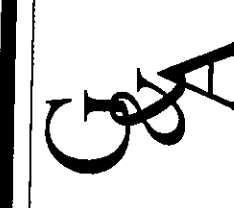
LEGEND

-
-  CATCH BASIN
 SURFACE FLOW
 RETAINING WALL
 5 EXISTING CONTOURS
 5 FINISH CONTOURS
 SANITARY SEWER MANHOLE WITH SEWER MAIN
 SANITARY SEWER WITH DIRECTION OF FLOW

NOTES

1 ALL CURBING TO BE HEADER CURB, UNLESS NOTED OTHERWISE
2 ALL ELEVATIONS AND DIMENSIONS ARE TO EDGE OF PAVEMENT,
UNLESS NOTED OTHERWISE
3 FOR ROAD CENTERLINE STATIONING AND CURVE DATA SEE
SHEETS C-13 & C-14

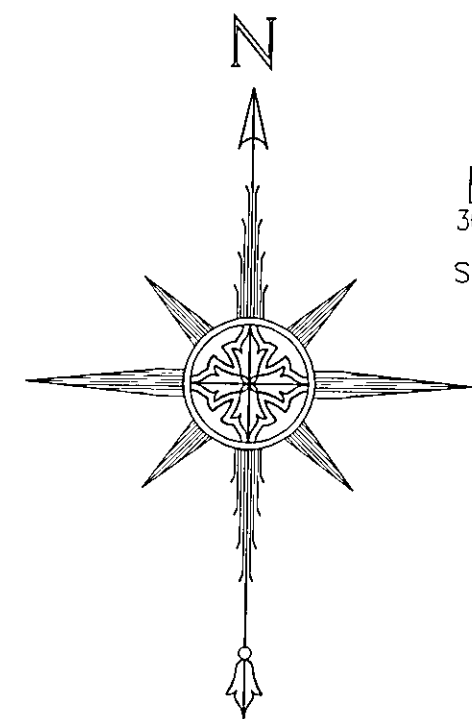
GECI & ASSOCIATES, INC.



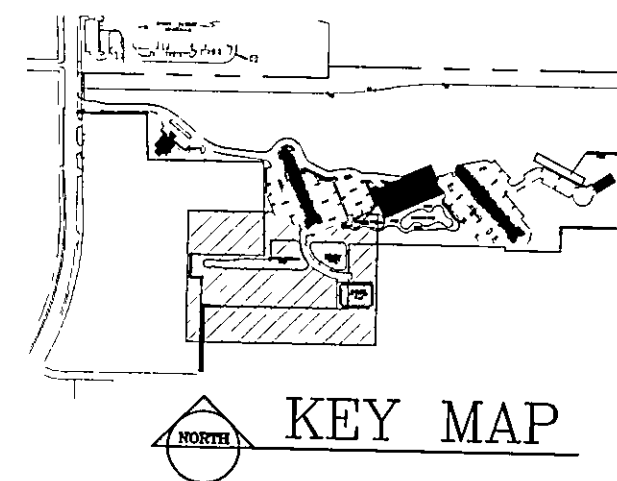
SITE PLAN
FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
EAST BUILDING SITE PLAN

PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

PROJECT NO	SHEET NO
13201	C-11 OF 21

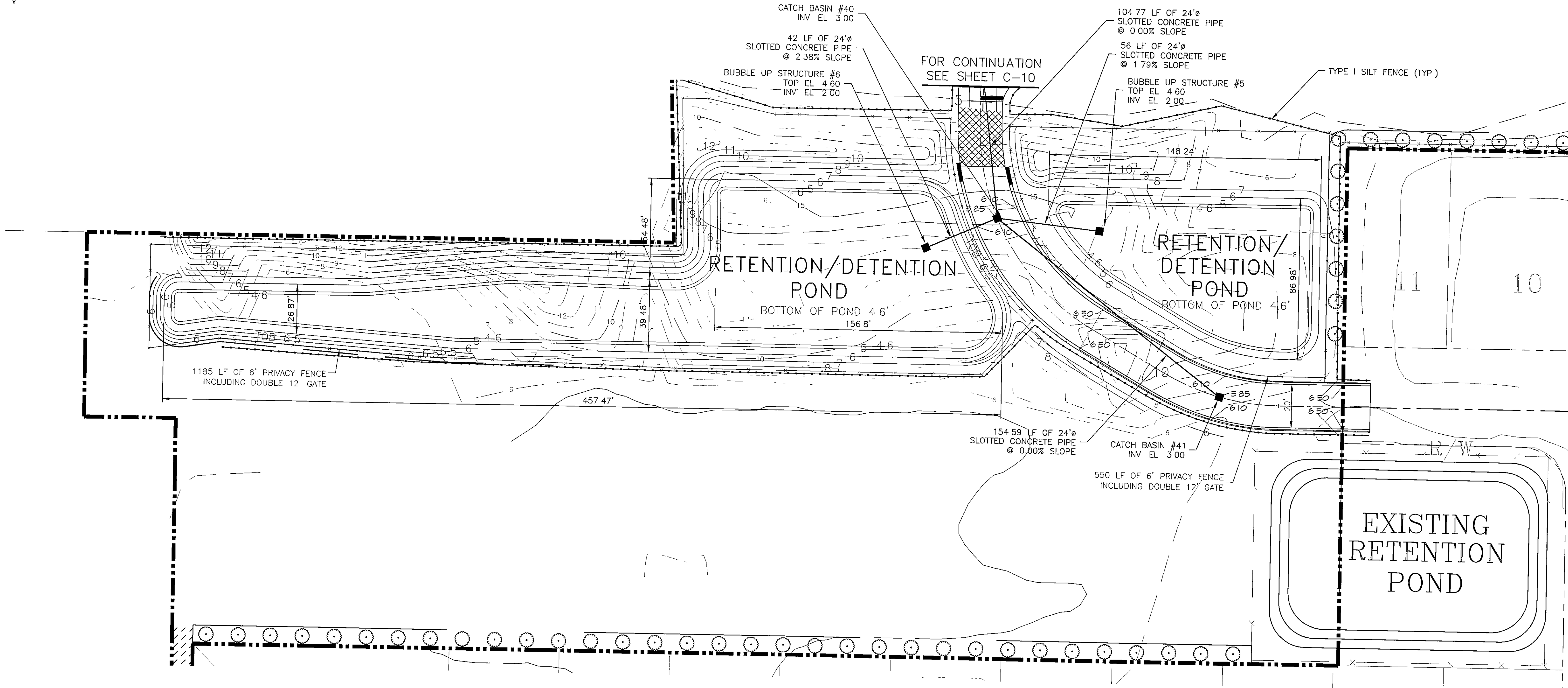


SCALE 1" = 30'-0"



ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF CUA 5 STANDARD SPECIFICATIONS
WATER MAIN NOTE:
ALL NEW WATER MAIN SHALL BE TOP 10' 25' PVC WATER PIPE WITH TRUCKED WIRE AND HAWK NO. 100 COVER AND A 24" MANHOLE COVER UNLESS APPROVED OTHERWISE BY E.C.A.
SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 6" 10' 25' 30' PVC WATER PIPE, PROVIDE 4' MINIMUM CLEARANCE BETWEEN SANITARY AND STORM CROSSING OR CONTAIN TO E.C.A. DESIGN STANDARDS (SECTION 210 PART 3)

NO	REVISION	DATE	APPR
1			
2			
3			
4			
5			



NOTES.

- 1 ALL CURBING TO BE HEADER CURB, UNLESS NOTED OTHERWISE
- 2 ALL ELEVATIONS AND DIMENSIONS ARE TO EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE
- 3 FOR ROAD CENTERLINE STATIONING AND CURVE DATA SEE SHEETS C-13 & C-14

LEGEND

- CATCH BASIN
- SURFACE FLOW
- RETAINING WALL
- EXISTING CONTOURS
- FINISH CONTOURS
- SANITARY SEWER MANHOLE WITH SEWER MAIN
- SANITARY SEWER WITH DIRECTION OF FLOW
- 6" FM 6" FORCEMAIN
- 10" W PROPOSED PVC WATER MAIN AND SIZE
- 6" FIRE HYDRANT ASSEMBLY
- PROPOSED SPOT ELEVATION

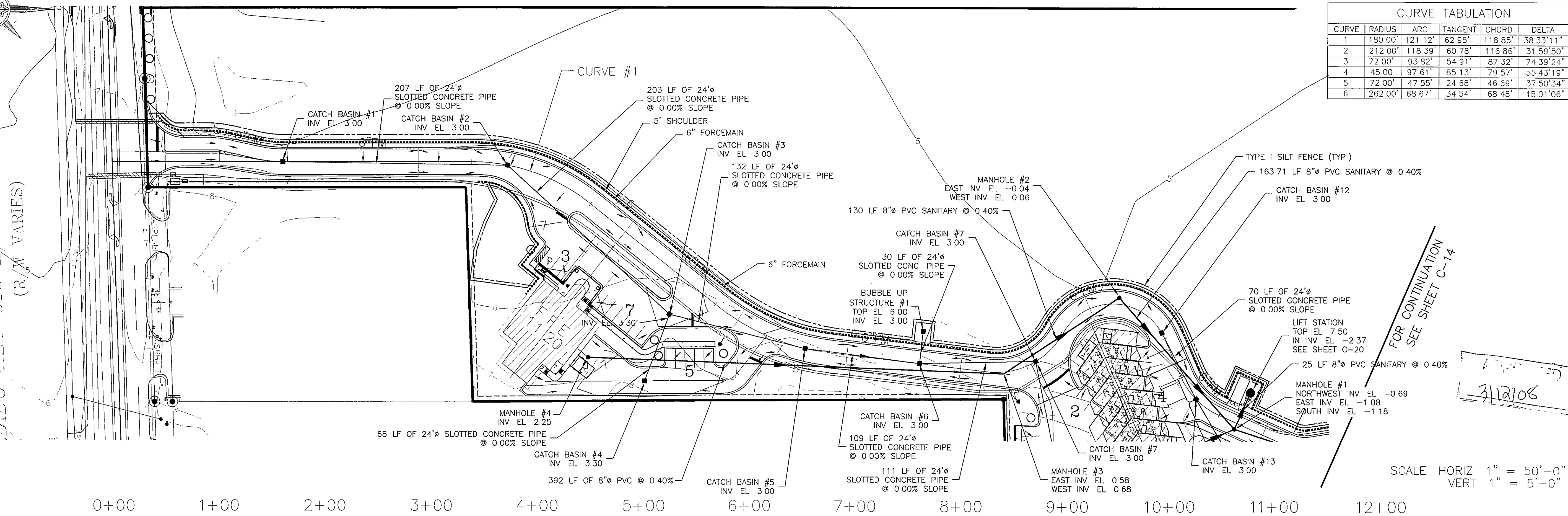
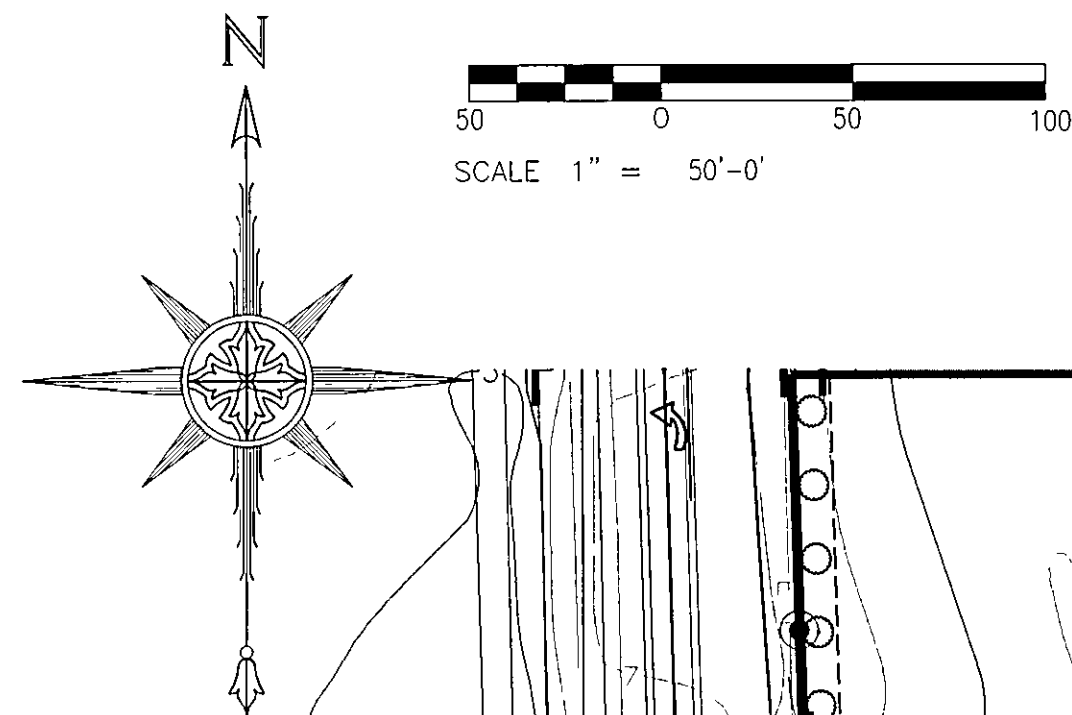
GECI & ASSOCIATES, INC.
ENGINEERS
2950 N 12th Ave PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gec@geciengineering.com

DESIGNED BY: *[Signature]* DATE: 2/4/2008
CHECKED BY: *[Signature]* DATE: 2/4/2008
DRAWN BY: *[Signature]* DATE: 2/4/2008
SCALE: AS SHOWN

NOT RELEASED FOR CONSTRUCTION

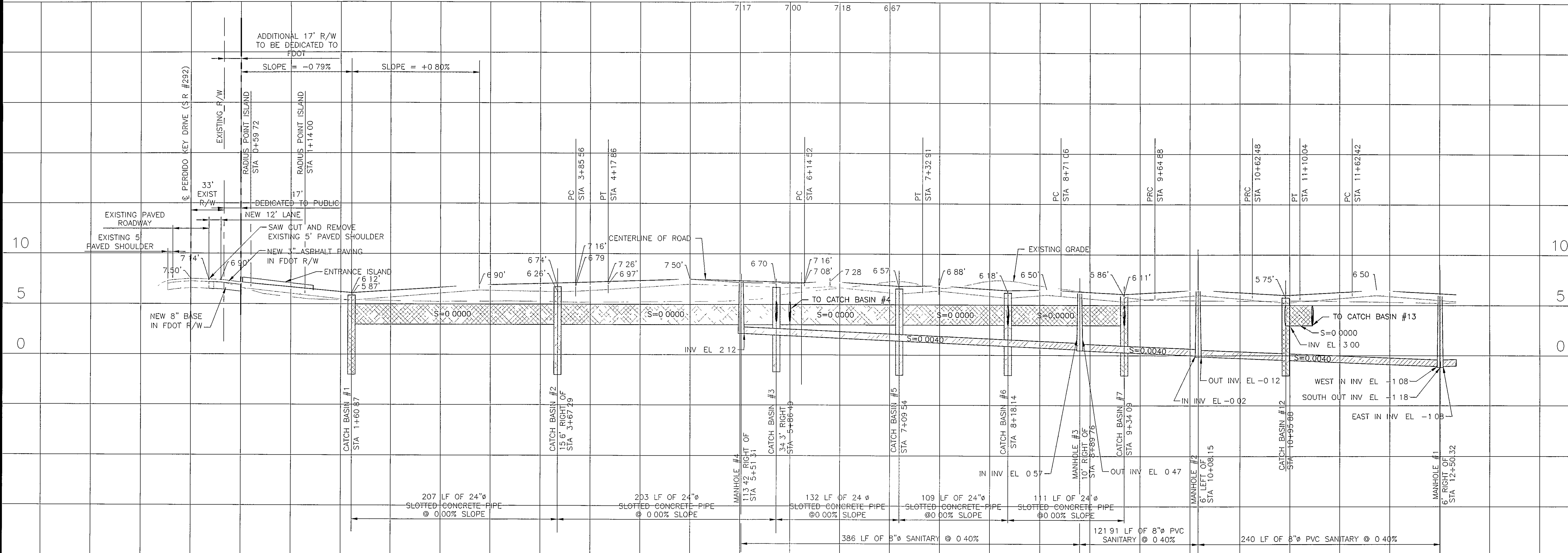
FLORIDA PE# 33688

SITE PLAN FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
SOUTHWEST PARKING LOT
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS



CURVE TABULATION					
CURVE	RADIUS	ARC	TANGENT	CHORD	DELTA
1	180.00'	121.12'	62.95'	118.85'	38.33°11"
2	212.00'	118.39'	60.78'	116.86'	31.59°50"
3	72.00'	93.82'	54.91'	87.32'	74.39°24"
4	45.00'	97.61'	85.13'	79.57'	55.43°19"
5	72.00'	47.55'	24.68'	46.69'	37.50°34"
6	262.00'	68.67'	34.54'	68.48'	15.01°06"

SCALE HORIZ 1" = 50'-0"
VERT 1" = 5'-0"



ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF E.C.U.A. STANDARD SPECIFICATIONS.
WATER MAIN NOTE:
ALL NEW WATER MAIN SHOWN SHALL BE 30" DIA. 30" PVC WATER PIPE WITH TRIGGER WIRE AND HAVE 30" MIN. COVER AND A 36" MINIMUM COVER UNLESS APPROVED OTHERWISE BY E.C.U.A.
SANITARY JENSEL NOTE:
ALL NEW SANITARY SEWER SHOWN SHALL BE 30" DIA. 30" PVC SEWER PIPE, PROVIDE A MINIMUM CLEARANCE BETWEEN SANITARY AND STORM CROSSING, OR CONFORM TO E.C.U.A. DESIGN STANDARDS (SECTION 570 PART 3).

PROJECT NO
13201

SHEET NO
C-13 OF 21

DATE
APPR

REVISION

NO
1
2
3
4
5

DATE
2/8/2008

DATE

SCALE AS SHOWN

DESIGNED

DRAWN

CHECKED

BY

NOT RELEASED FOR CONSTRUCTION

BY

PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
PLAN & PROFILE

PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

SITE PLAN FOR

PARADISE ISLAND

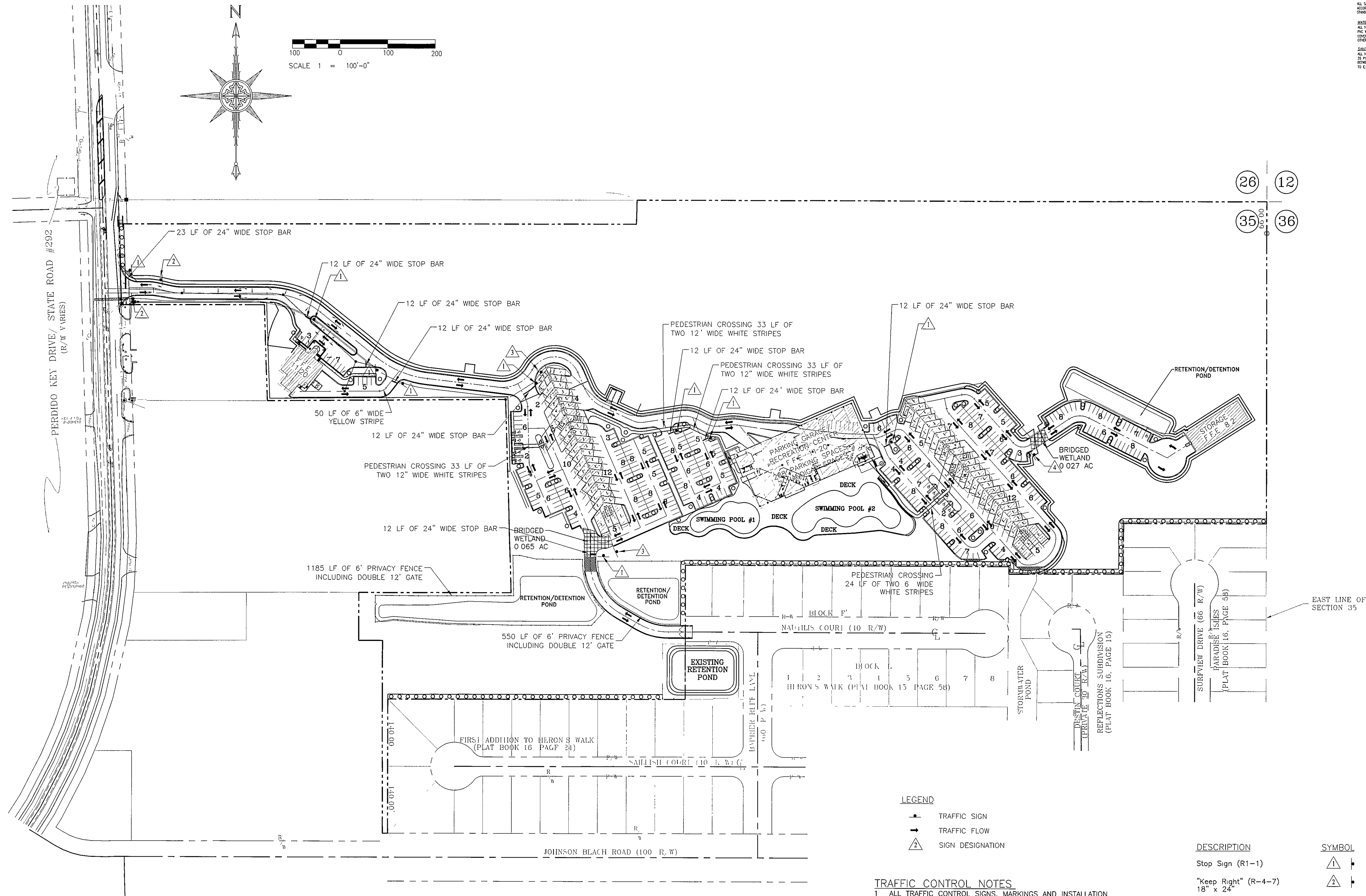
ESCAMBIA COUNTY, FLORIDA

PLAN & PROFILE

FLORIDA P.E.# 33658

GEI & ASSOCIATES, INC.

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail - gei@geiengineering.com



- LEGEND**
- ▲ TRAFFIC SIGN
 - TRAFFIC FLOW
 - △ SIGN DESIGNATION

- TRAFFIC CONTROL NOTES**
- ALL TRAFFIC CONTROL SIGNS, MARKINGS AND INSTALLATION WILL CONFORM WITH ESCAMBIA COUNTY STANDARDS, MUTCD, AND FHWA LATEST EDITION
 - ALL PAVEMENT MARKING SHALL BE THERMOPLASTIC PER SECTION 711 FDOT STANDARDS
 - THE CONTRACTOR SHALL, AT ALL TIMES, MAINTAIN TRAFFIC ON STATE ROAD 292 (PERDIDO KEY DRIVE) IN ACCORDANCE WITH SECTION 102 OF THE FDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, FDOT (LATEST EDITION)
 - THE CONTRACTOR SHALL, AT ALL TIMES, MAINTAIN TRAFFIC ON NAUTILUS COURT AND BARRIER REEF LANE IN ACCORDANCE WITH PART 6 OF THE MUTCD (LATEST EDITION). NO OBSTRUCTIONS WILL BE ALLOWED TO INTERFERE WITH SIGHT DISTANCE (SIGNS, BERMS, ETC.)
 - ALL NON-HANDICAP PARKING SPACE LINES WILL BE WHITE

DESCRIPTION	SYMBOL
Stop Sign (R1-1)	▲
"Keep Right" (R-4-7) 18" x 24"	△
"NO OUTLET" (W-14-2)	△
"DEAD END" (W-14-1)	△
24" wide white thermoplastic stop bar (per FDOT spec 711)	—

APPROVED
3/12/08

WATER MAIN NOTE:
ALL NEW WATER MAIN SHALL BE 30" HD 35 P.C. WATER PIPE WITH TRUSSEL WIRE AND HAVE 30 MIN COVER MIN. A 30 MINIMUM COVER UNLESS APPROVED OTHERWISE BY E.C.I.A.

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 30" HD 35 P.C. SEWER PIPE, PROVIDE 6' MINIMUM CLEARANCE BETWEEN SEWER AND 25' MIN. DISTANCE TO E.C.I.A. DESIGN STANDARDS (SECTION 570 PART 3)

PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA

TRAFFIC CONTROL PLAN

PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS

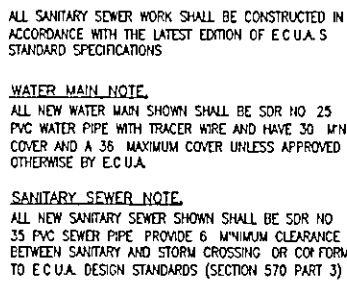
GECI & ASSOCIATES, INC.
ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 • Fax (850) 432-2875
E-Mail: geci@geciengineering.com

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

REVISION		DATE	APPR
NO	1		
	2		
	3		
	4		
	5		

SCALE	AS SHOWN	DESIGNED	SAC	DRAWN	SGM	CHECKED	SAC	DATE	2/4/2008
NOT RELEASED FOR CONSTRUCTION									








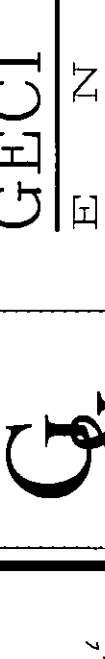

TRE	TYPE	DIAMETER	STATUS	REPLACEMENT	TRE_CREDITS
234	SAND_LIVE_OAK	13"	EXEMPT	0	0
235	SAND_LIVE_OAK	11"	REMOVE	0	0
236	SAND_LIVE_OAK	13"	REMOVE	2	0
237	SAND_LIVE_OAK	10"	REMOVE	0	0
238	SAND_LIVE_OAK	10"	REMOVE	0	0
239	SAND_LIVE_OAK	13"	REMOVE	0	0
240	SAND_LIVE_OAK	15"	PRESERVE	0	0
241	SAND_LIVE_OAK	16"	PRESERVE	3	0
242	SAND_LIVE_OAK	16"	PRESERVE	0	0
243	SAND_LIVE_OAK	18"	REMOVE	2	0
244	SAND_LIVE_OAK	18"	REMOVE	0	0
245	SAND_LIVE_OAK	18"	REMOVE	2	0
246	SAND_LIVE_OAK	18"	REMOVE	0	0
247	SAND_LIVE_OAK	12"	REMOVE	2	0
248	SAND_LIVE_OAK	10"	REMOVE	0	0
249	SAND_LIVE_OAK	10"	REMOVE	0	0
250	SAND_LIVE_OAK	11"	REMOVE	0	0
251	SAND_LIVE_OAK	12"	REMOVE	0	0
252	SAND_LIVE_OAK	12"	REMOVE	0	0
253	SAND_LIVE_OAK	13"	PRESERVE	0	0
254	SAND_LIVE_OAK	13"	PRESERVE	0	0
255	SAND_LIVE_OAK	13"	PRESERVE	0	0
256	SAND_LIVE_OAK	14"	PRESERVE	0	0
257	SAND_LIVE_OAK	14"	PRESERVE	0	0
258	SAND_LIVE_OAK	12"	PRESERVE	0	0
259	SAND_LIVE_OAK	13"	PRESERVE	0	0
260	SAND_LIVE_OAK	13"	PRESERVE	0	0
261	SAND_LIVE_OAK	13"	REMOVE	2	0
262	SAND_LIVE_OAK	14"	PRESERVE	0	0
263	SAND_LIVE_OAK	10"	PRESERVE	0	0
264	SAND_LIVE_OAK	11"	PRESERVE	0	0
265	SAND_LIVE_OAK	11"	PRESERVE	0	0
266	SAND_LIVE_OAK	11"	PRESERVE	0	0

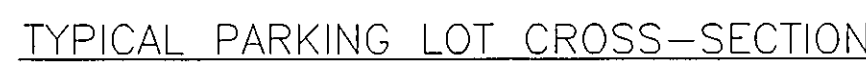
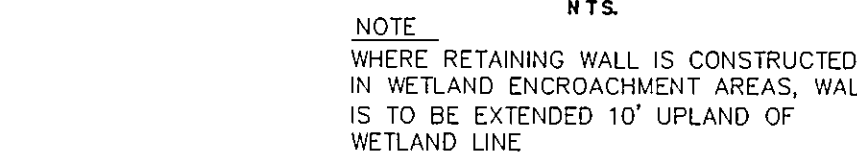
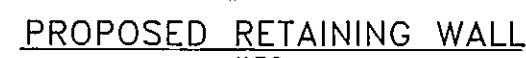
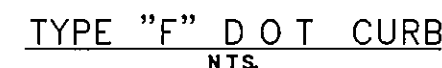
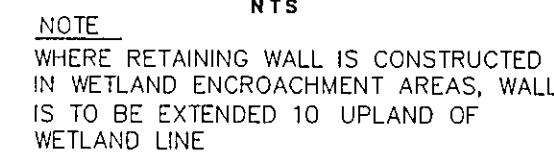
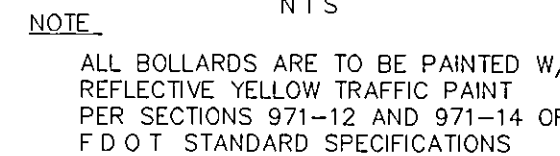
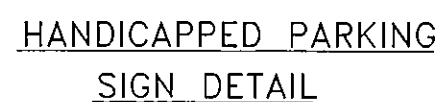
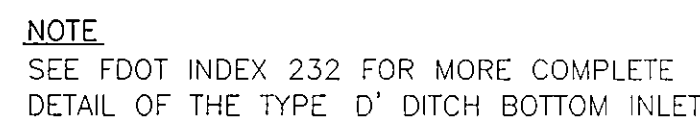
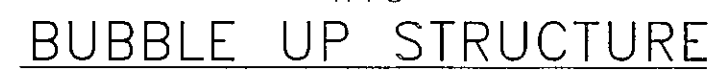
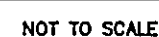
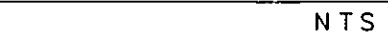
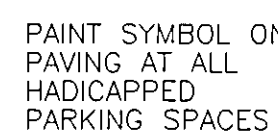
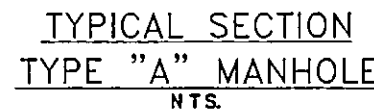
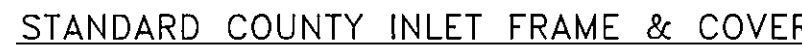
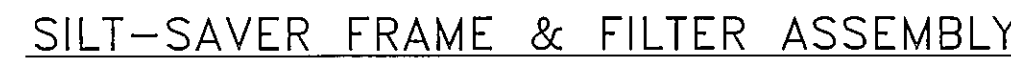
TRF#	TYPE	QAMETER	STATUS	REPLACEMENT	TRE CREDITS
267	SAND LIVE OAK	12	PRESERVE	0	0
268	SAND LIVE OAK	13	PRESERVE	0	0
269	SAND LIVE OAK	14	PRESERVE	0	0
270	SAND LIVE OAK	15*	REMOVE	2	0
272	SAND LIVE OAK	24	PRESERVE	0	0
273	SAND LIVE OAK	13	PRESERVE	0	0
274	SAND LIVE OAK	10	PRESERVE	0	0
276	SAND LIVE OAK	11*	EXEMPT	0	0
277	SAND LIVE OAK	10*	EXEMPT	0	0
278	SAND LIVE OAK	10*	EXEMPT	0	0
279	SAND LIVE OAK	10*	EXEMPT	0	0
280	SAND LIVE OAK	10*	EXEMPT	0	0
281	SAND LIVE OAK	10*	EXEMPT	0	0
282	SAND LIVE OAK	12	PRESERVE	0	0
283	SAND LIVE OAK	13*	REMOVE	2	0

Existing tree diameter	Number of replacement trees
12 - 17 inches	2
18 - 23 inches	3
24 - 29 inches	5
30 - 35 inches	7
36 inches and above	10


LEGEND

	IRRIGATION LINE
	EXISTING SAND LIVE OAK TREE
	TREE TO REMAIN
	NEW CANOPY TREE MIN 9' AT TIME OF PLANTING
	MITIGATION TREE (41 REQUIRED)

PROJECT NO		SHEET NO	
13201		C-16 OF 21	
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS VEGETATIVE PLAN ESCAMBA COUNTY, FLORIDA PARADISE ISLAND FOR SITE PLAN			
			
			
GECI & ASSOCIATES, INC. ENGINEERS 2950 N 12th Ave PENSACOLA, FL 32503 Phone (850) 432-2929 - Fax (850) 432 2875 CERTIFICATE OF AUTHORIZATION NUMBER 00005149 E-Mail - gec@geciengineering.com			
SCALE AS SHOWN		DESIGNED	DRAWN
		SAG	SBM
		CHECKED	DATE
		SAG	2/4/2008
NOT RELEASED FOR CONSTRUCTION BY DATE			
FLORIDA PE# 33658			



GECI & ASSOCIATES, INC.
2950 N 12th Ave PENSACOLA, FL 32503
Phone (850) 433-2929 Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E M A I L : GECI@GECI.COM



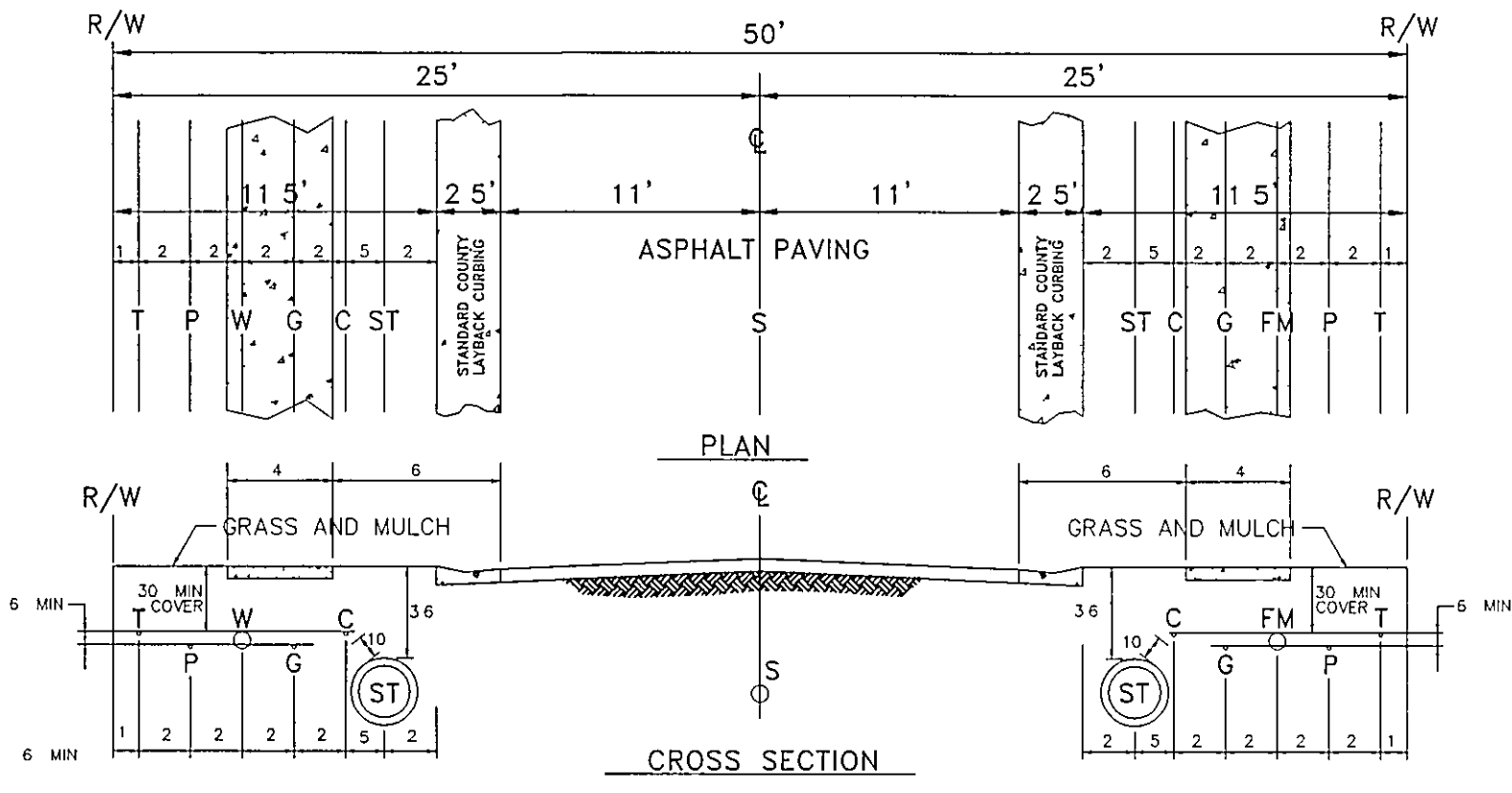
FLORIDA PE# 33658

<p style="text-align: center;">SITE PLAN FOR PARADISE ISLAND ESCAMBIA COUNTY, FLORIDA</p>		<p>PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS</p>	
PROJECT NO	13201	SHEET NO	C-170F 21

CHLORINE REQUIRED FOR STERILIZATION					
PIPE SIZE	SPEC	ID INCHES	GALLS/100' INCHES	CHLORINE REQUIRED PER 100' for 25 ppm	CHLORINE REQUIRED PER 100' for 50 ppm
2"	D2241 DR26	2.193	20	0.10 oz	0.20 oz
3"	"	3.230	43	0.22 oz	0.44 oz
4"	C-900 DR18	4.230	73	0.37 oz	0.75 oz
6"	DR25	4.390	79	0.40 oz	0.81 oz
8"	DR18	6.090	151	0.78 oz	1.55 oz
12"	DR25	6.300	162	0.83 oz	1.66 oz
16"	DR18	7.980	260	1.33 oz	2.67 oz
20"	DR25	8.280	280	1.44 oz	2.87 oz
24"	DR18	11.650	554	2.84 oz	5.69 oz
30"	DR25	12.080	595	3.06 oz	6.12 oz
36"	C-905 DR18	15.470	977	5.01 oz	10.03 oz
42"	DR25	16.010	1,046	5.37 oz	10.74 oz
48"	DR18	19.200	1,504	7.72 oz	15.45 oz
54"	DR25	19.870	1,611	8.27 oz	16.55 oz
60"	DR18	N/A	N/A	N/A	N/A
72"	DR25	23.742	2,300	11.81 oz	23.62 oz

NOTES
16 20 AND 24" PIPE SIZES ARE C10D FOR HTH WITH 65% AVAILABLE CHLORINE
1 US GALLON WEIGHS 8.345 #
APPROX 1 oz/100 gal FOR 50 ppm
APPROX 0.5 oz/100 gal FOR 25 ppm

NOTES
All proposed utilities within R/W's utility conduit for road crossings shall be installed prior to paving. No streets or roads under the two (2) year warranty will be allowed to be open-cut or jack-and-bored, unless specifically approved by the county engineer. To accomplish this requirement, Common Trenching is required whenever possible. If common trenching is not a feasible option, the developer shall install conduit for the utility not participating in the common trenching for all road crossings and the utility company will be required to use the conduit. This shall require planning between the developer and the utility.

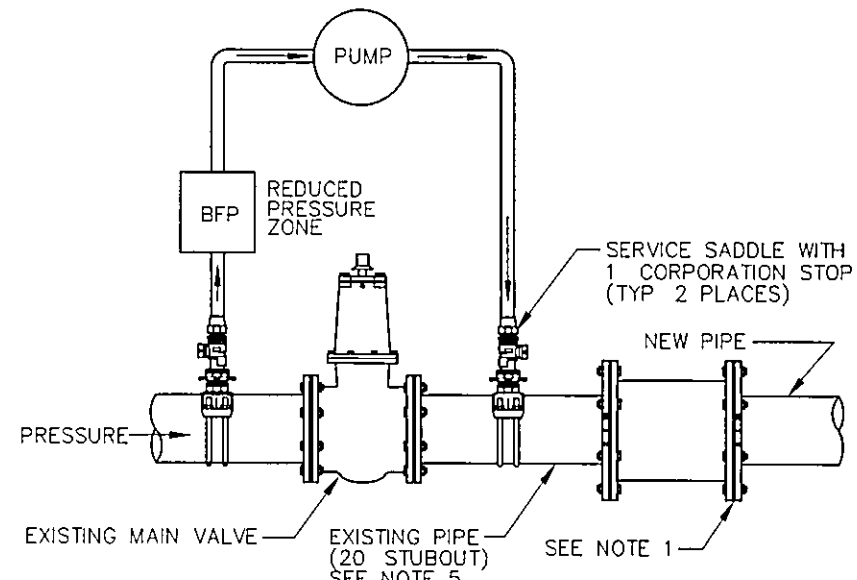


- LEGEND**
- R/W RIGHT-OF-WAY LINE
 - C CENTER LINE
 - G GAS MAIN
 - P UNDERGROUND POWER CABLE
 - T UNDERGROUND TELEPHONE CABLE
 - C UNDERGROUND TELEVISION CABLE
 - W WATER MAIN
 - ST 24" STORM SEWER
 - S SANITARY SEWER
 - FM FORCE MAIN
- NOTES**
- THIS IS A TYPICAL LOCATION PLAN. SEE CONSTRUCTION PLANS TO DETERMINE WHICH SIDE OF THE R/W ACTUALLY RECEIVES UTILITIES. SOME UTILITIES WILL ONLY BE ON ONE SIDE (I.E. WATER & FORCE MAIN).
 - MINIMUM COVER ON ALL UTILITIES SHALL BE 30 INCHES.
 - ALL RIGHTS-OF-WAY SHALL BE ROUGH GRADED PRIOR TO COMMON TRENCH OR PLACING ANY UNDERGROUND UTILITIES.

WATER MAIN COVER NOTE:

ALL WATER MAINS AND FITTINGS ARE TO HAVE A MINIMUM OF 30" COVER AND 36" MAXIMUM COVER.

- NOTES**
- NEW PIPE SHALL BE CAPPED OR PLUGGED FOR PRESSURE TEST. ONCE TEST IS SATISFACTORILY COMPLETED, NEW MAIN IS TO BE CONNECTED TO EXISTING MAIN IN A MANNER ACCEPTABLE TO E.C.U.A.
 - THE CONTRACTOR SHALL FLUSH LINE PRIOR TO STARTING THE CHLORINATION PROCEDURE. ALL FLUSHING SHALL BE DONE THROUGH THE EXISTING VALVE WITH ALL HYDRANTS AND SERVICE LINES OPEN. E.C.U.A. INSPECTOR SHALL BE THE ONLY PERSON ALLOWED TO OPERATE THE VALVE AND SHALL BE PRESENT DURING FLUSHING OPERATION. ONCE FLUSHING IS COMPLETE, THE INSPECTOR SHALL CLOSE THE VALVE.
 - ONCE SATISFACTORY BACTERIOLOGICAL SAMPLES ARE OBTAINED, THE CONTRACTOR SHALL CLOSE BOTH CORPORATION STOPS AND REMOVE SERVICE TUBING, PUMP AND BACK FLOW PREVENTER. CAP CORPORATION STOPS WITH BRASS CAPS.
 - CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR FILLING, CHLORINATING AND TESTING PROCEDURES. CONTRACTOR SHALL PROVIDE SAMPLING TAPS AT THOSE LOCATIONS APPROVED BY THE E.C.U.A. INSPECTOR. E.C.U.A. SHALL COLLECT TEST SAMPLES.
 - IF 20" STUB OUT IS NOT PRESENT, SPECIAL ARRANGEMENTS WILL HAVE TO BE MADE TO DEPRESSURIZE THE EXISTING MAIN TO MAKE CONNECTION TO THE EXISTING VALVE.

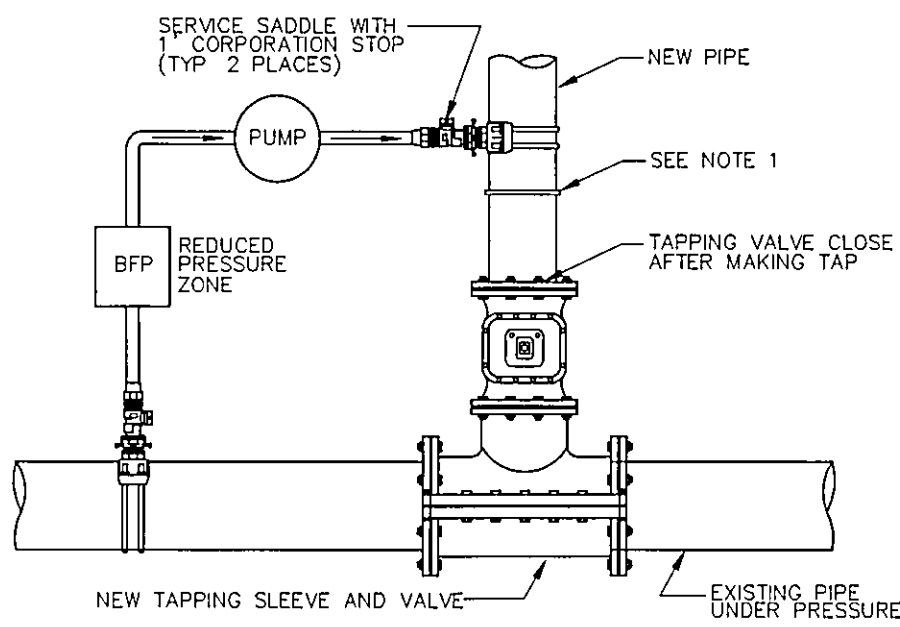


TYPICAL CONNECTION FOR NEW LINE FILLING, PRESSURE TESTING, FLUSHING AND CHLORINATION (EXISTING STUBOUT)

WATER MAIN PROTECTION NOTE:

WHERE WATER MAINS CAN NOT BE RELOCATED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10 FEET AND A MINIMUM VERTICAL SEPARATION OF 18 INCHES ABOVE THE OUTSIDE OF SEWER MAINS AND JOINTS, THE CONTRACTOR SHALL PLACE THE SEWER MAIN IN A STEEL SLEEVE OR ENCASE THE SEWER MAIN IN CONCRETE ACCORDING TO SEWER/WATER SEPARATION & CLEARANCES DETAIL SHEET C-11.

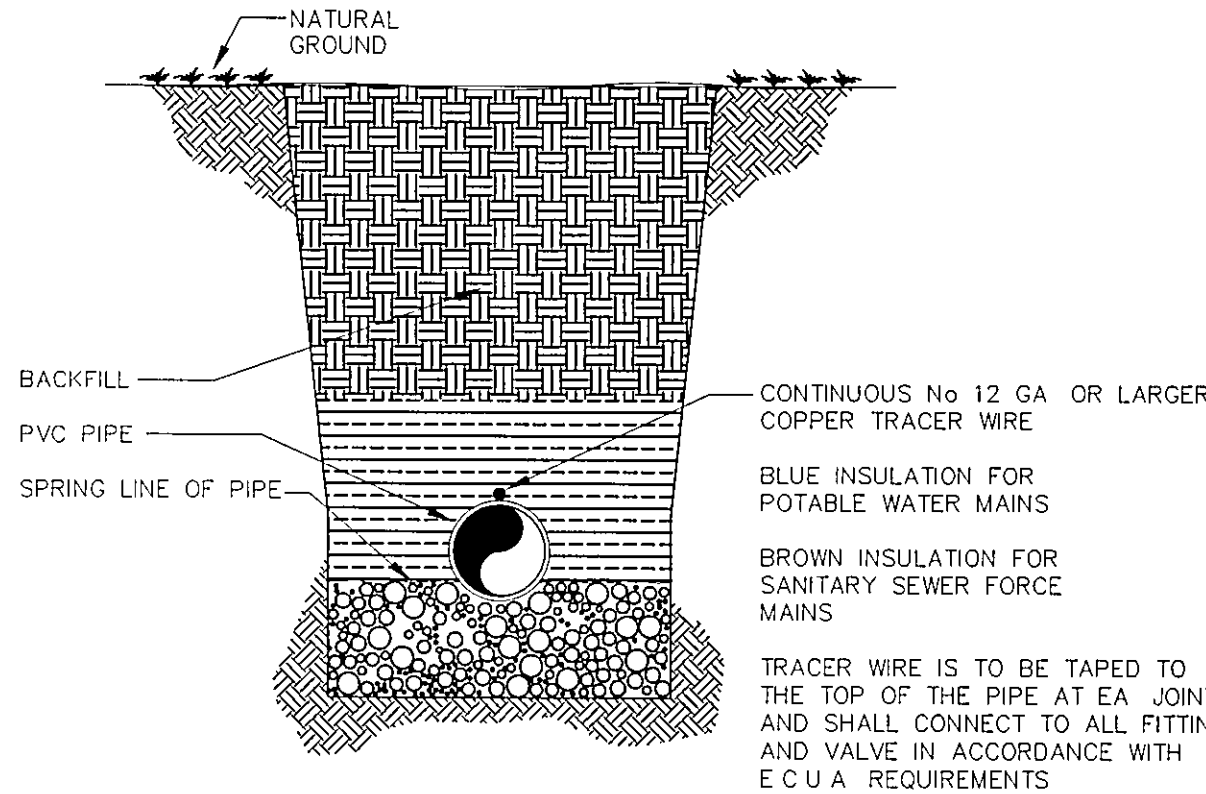
- NOTES**
- NEW PIPE SHALL BE CAPPED OR PLUGGED FOR PRESSURE TEST. ONCE TEST IS SATISFACTORILY COMPLETED, NEW MAIN IS TO BE CONNECTED TO TAPPING VALVE. TAPPING VALVE IS TO REMAIN CLOSED.
 - THE CONTRACTOR SHALL FLUSH LINE PRIOR TO STARTING THE CHLORINATION PROCEDURE. ALL FLUSHING SHALL BE DONE THROUGH THE TAPPING VALVE WITH ALL HYDRANTS AND SERVICE LINES OPEN. E.C.U.A. INSPECTOR SHALL BE THE ONLY PERSON ALLOWED TO OPERATE THE VALVE AND SHALL BE PRESENT DURING FLUSHING OPERATION. ONCE FLUSHING IS COMPLETE, THE INSPECTOR SHALL CLOSE THE VALVE.
 - ONCE SATISFACTORY BACTERIOLOGICAL SAMPLES ARE OBTAINED, THE CONTRACTOR SHALL CLOSE BOTH CORPORATION STOPS AND REMOVE SERVICE TUBING, PUMP AND BACK FLOW PREVENTER. CAP CORPORATION STOPS WITH BRASS CAPS.
 - CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR FILLING, CHLORINATING AND TESTING PROCEDURES. CONTRACTOR SHALL PROVIDE SAMPLING TAPS AT THOSE LOCATIONS APPROVED BY THE E.C.U.A. INSPECTOR. E.C.U.A. SHALL COLLECT TEST SAMPLES.



TYPICAL CONNECTION FOR NEW LINE FILLING, PRESSURE TESTING, FLUSHING AND CHLORINATION (TAPPING SLEEVE AND VALVE)

DISINFECTION & CHLORINATION

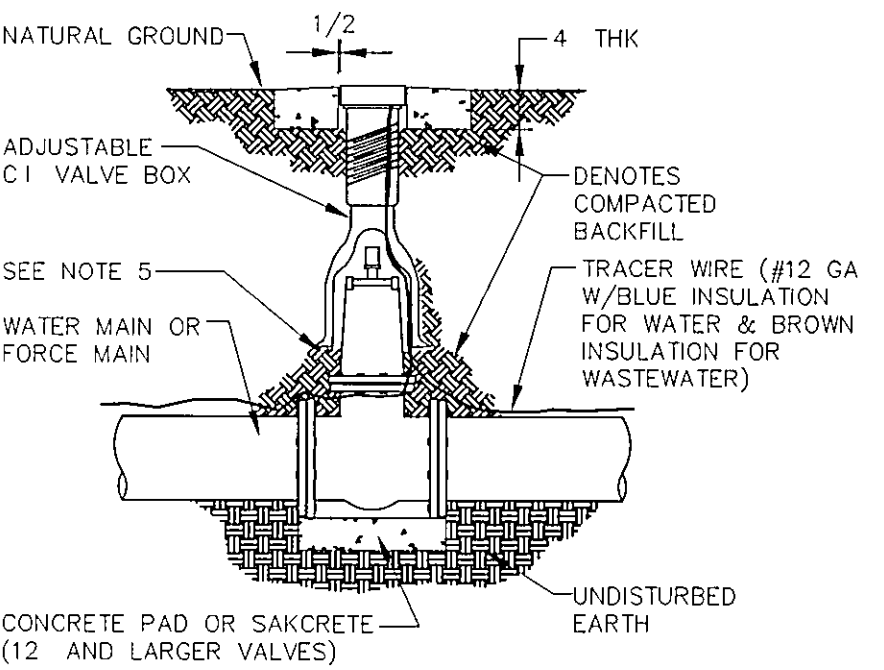
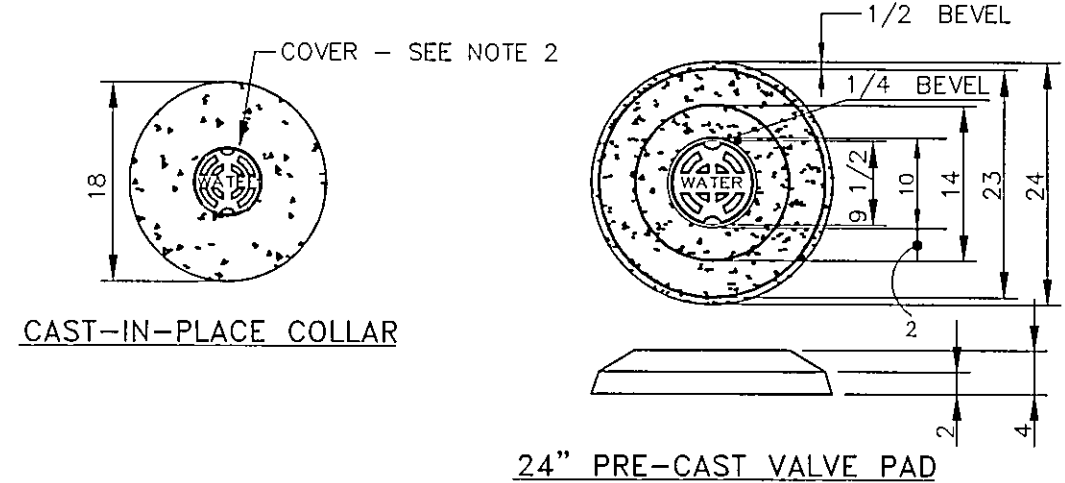
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TRACER WIRE DETAIL

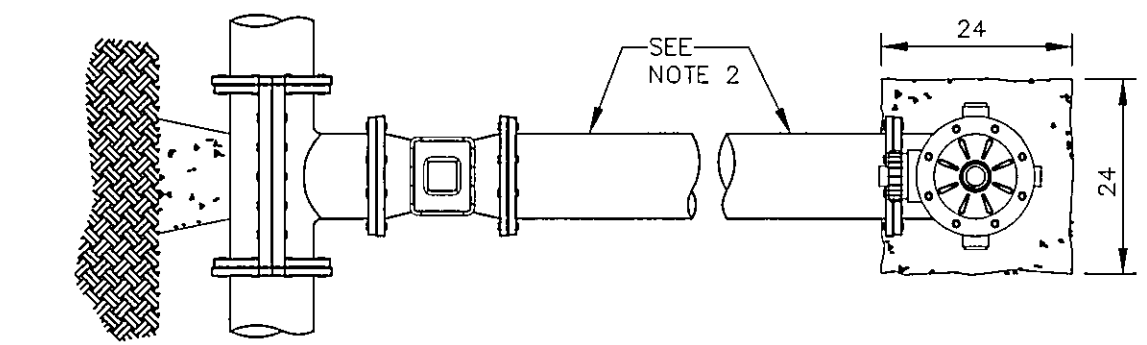
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- NOTES**
- VALVE BOX AND BOOT SHALL BE CAST IRON.
 - VALVE COVER SHALL BE MARKED WATER OR SEWER AS APPLICABLE.
 - VALVE BOX TOP SHALL BE FLUSH WITH FINISHED GRADE OR 1/2" ABOVE NATURAL GROUND LEVEL.
 - GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUAL.
 - EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.

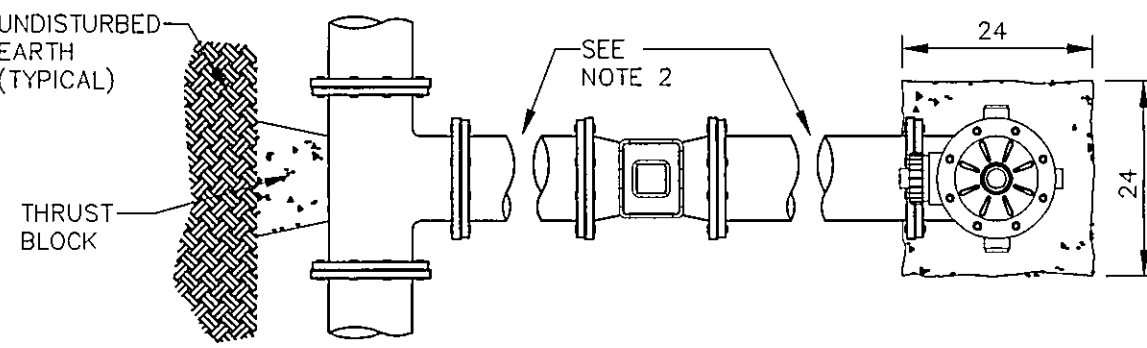


TYPICAL VALVE & BOX INSTALLATION

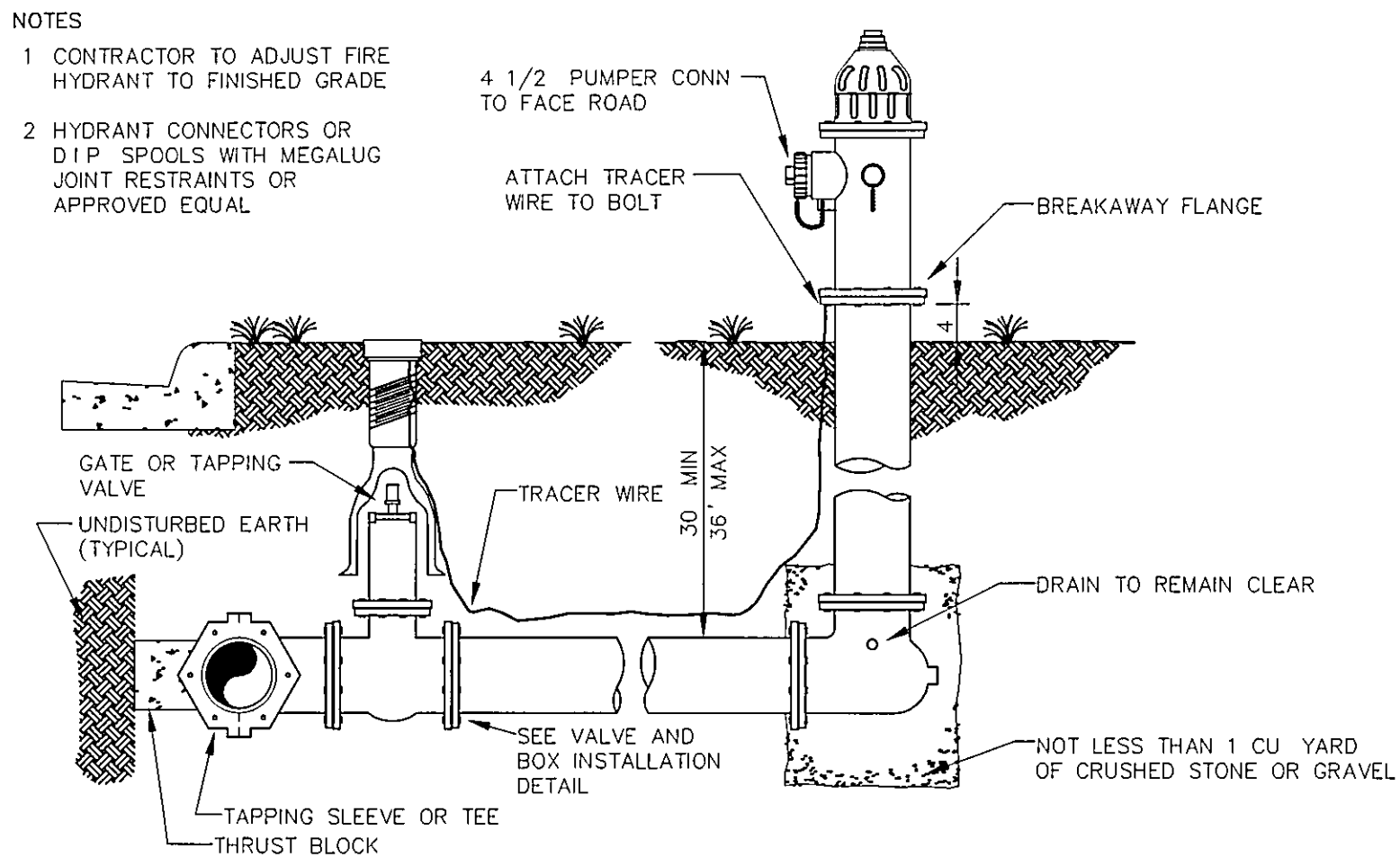
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TYPICAL TAPPING SLEEVE AND VALVE W/HYDRANT



TYPICAL TEE & VALVE WITH HYDRANT



TYPICAL FIRE HYDRANT INSTALLATION: TAPPING SLEEVE & VALVE and TEE CONNECTION

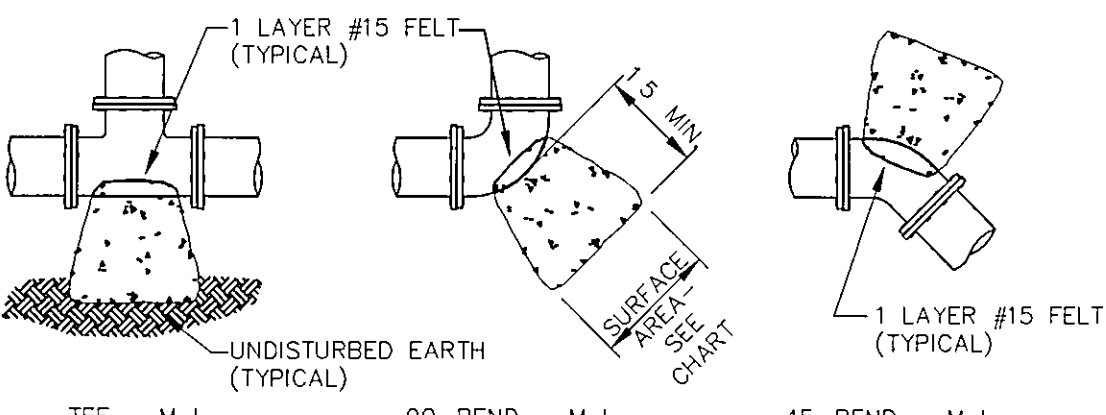
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PIPE JOINT RESTRAINT TABULATION SHEET

SHOWING DISTANCES IN FEET FROM THE FITTING TO BE RESTRAINED TO THE LAST RESTRAINING LAND REQUIRED.

PIPE SIZE AND TYPE	HORIZONTAL BENDS				DEAD ENDS	EQUAL TEES SEE NOTE 3
	90 DEG	45 DEG	22.5 DEG	11.25 DEG		
3" DI	18	8	4	2	33	1
4" DI	22	9	4	2	39	1
6" DI	31	13	6	3	55	1
8" DI	40	17	8	4	72	1
10" DI	48	20	9	5	86	1
12" DI	56	23	11	5	101	1
16" DI	70	29	14	7	129	1
20" DI	84	35	17	8	156	1
24" DI	96	40	19	9	181	41
4" PVC	28	12	6	3	62	1
6" PVC	39	16	8	4	87	1
8" PVC	50	21	10	5	114	1
10" PVC	60	25	12	6	136	1
12" PVC	70	29	14	7	160	1
16" PVC	88	36	17	9	205	1
20" PVC	105	43	21	10	247	29
24" PVC	120	50	24	12	287	64

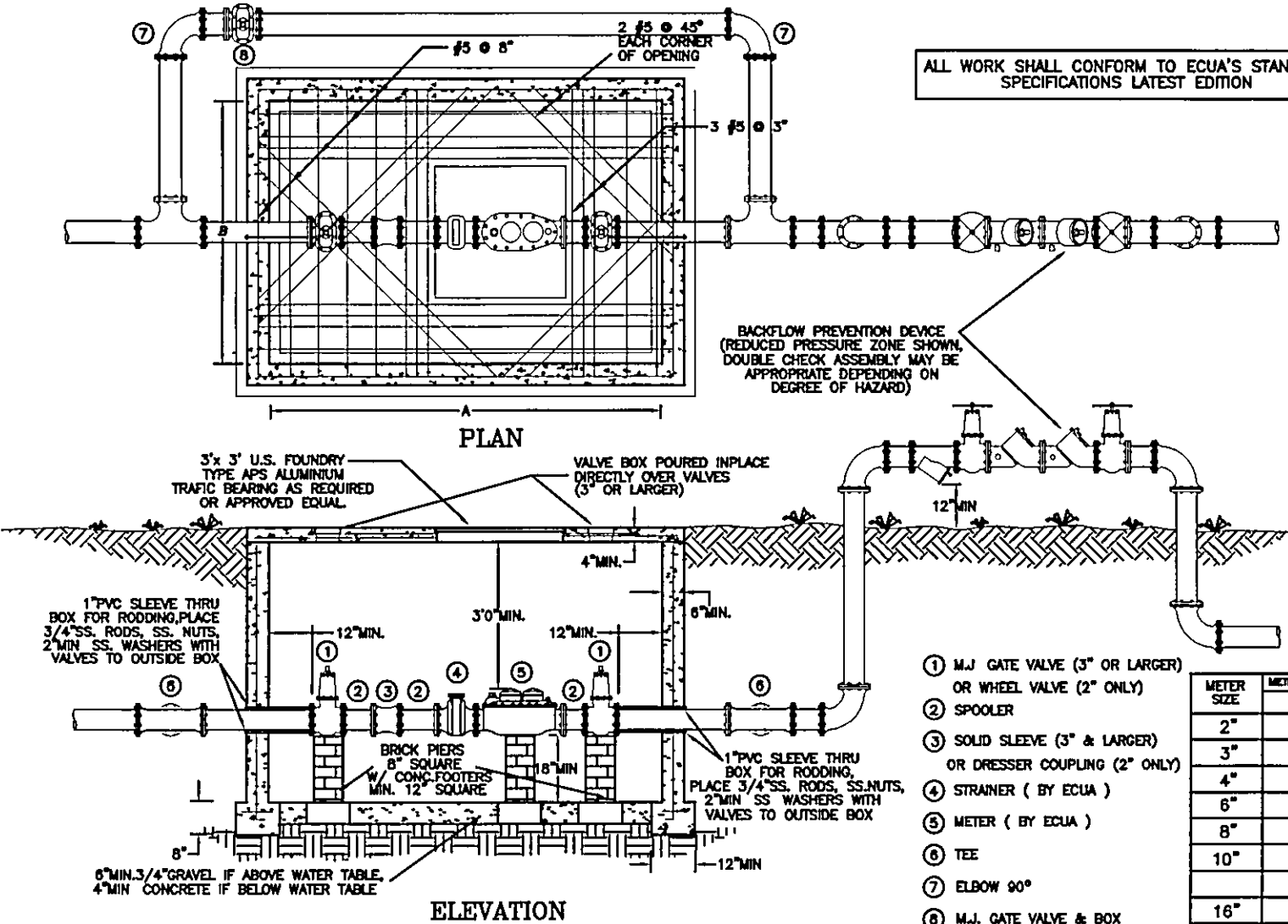
- NOTES**
- TEST PRESSURE = 150 psi. SOIL GROUP = SM. TRENCH TYPE = 3. DEPTH = 2.5. SAFETY FACTOR = 2.
 - RESTRAINED LENGTHS FOR VERTICAL OFFSETS, REDUCERS AND UNEQUAL SIZE TEES MUST BE INDIVIDUALLY CALCULATED.
 - WITH EQUAL TEES, THE DISTANCES SHOWN ARE WITH A RUN LENGTH OF 40' AS AN EXAMPLE ONLY. FOR OTHER LENGTHS AND FOR UNEQUAL TEES, INDIVIDUAL CALCULATIONS MUST BE MADE.



TYPICAL THRUST BLOCK INSTALLATIONS

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CARRIER PIPE SIZE (INCHES)	CARRIER PIPE SIZE (INCHES)	STEEL CASING SIZE (INCHES)	STEEL CASING MIN. WALL THK. (INCHES)	STEEL CASING MIN. WALL THK. (INCHES)	PVC PIPE SIZE	HOPE PIPE SIZE
4	NA	10	0.188	0.188	6	6 (USE 8 HDPE)
6	4	12	0.188	0.188	8	8 (USE 10 HDPE)
8	6	14	0.250	0.250		
10	8	16	0.250	0.250		
12	10	18	0.250	0.250		
14	12	20	0.250	0.250		
16	14	22	0.281	0.281		
18	16	24	0.312	0.312		
20	18	26	0.344	0.344		



METER SIZE	METER BOX (UNDER GROUND)	METER BOX (ON GROUND)
2"	5" x 8"	4" x 8"
3"	8" x 8"	4" x 8"
4"	8" x 8"	5" x 8"
6"	9" x 8"	6" x 8"
8"	10" x 8"	6" x 8"
10"	10" x 8"	6" x 8"
16"	11" x 8"	6" x 8"

GECI & ASSOCIATES, INC.

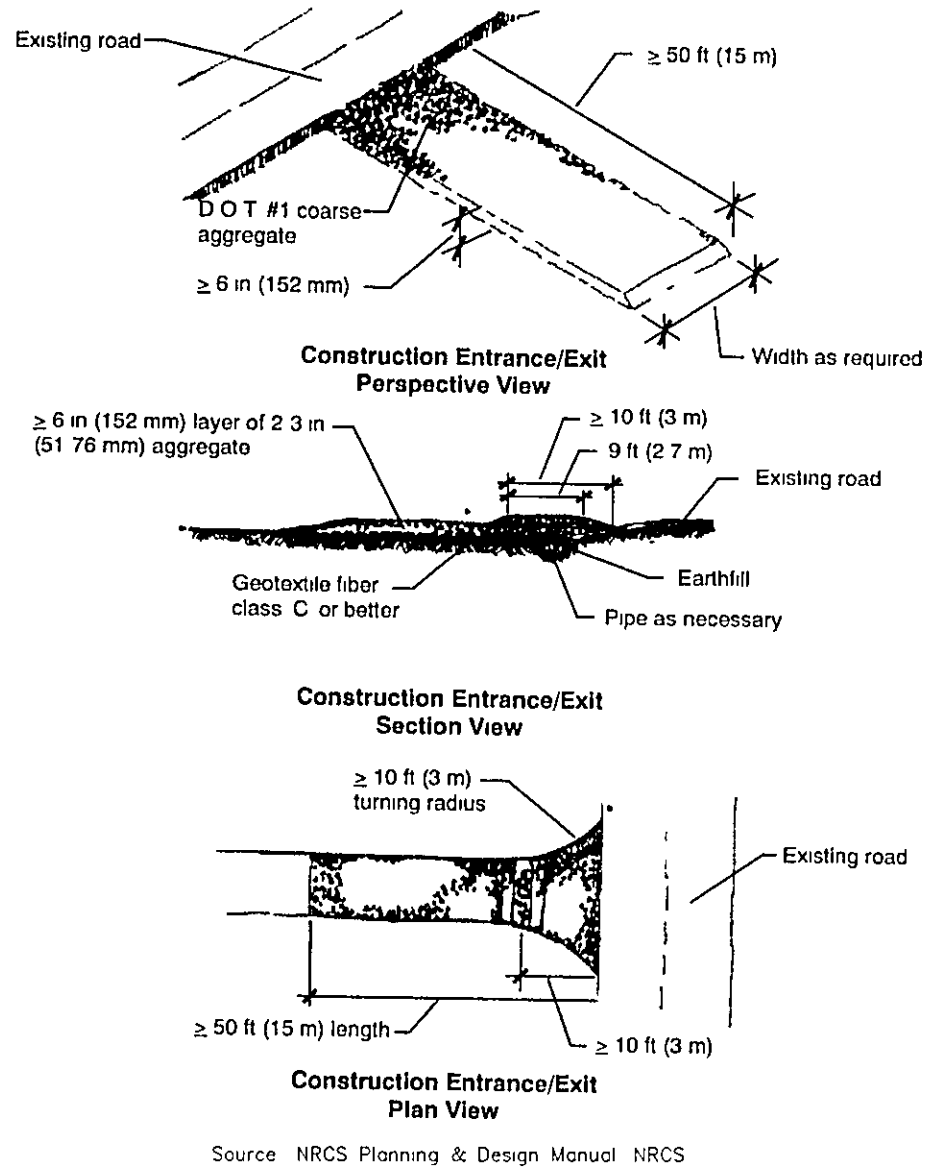
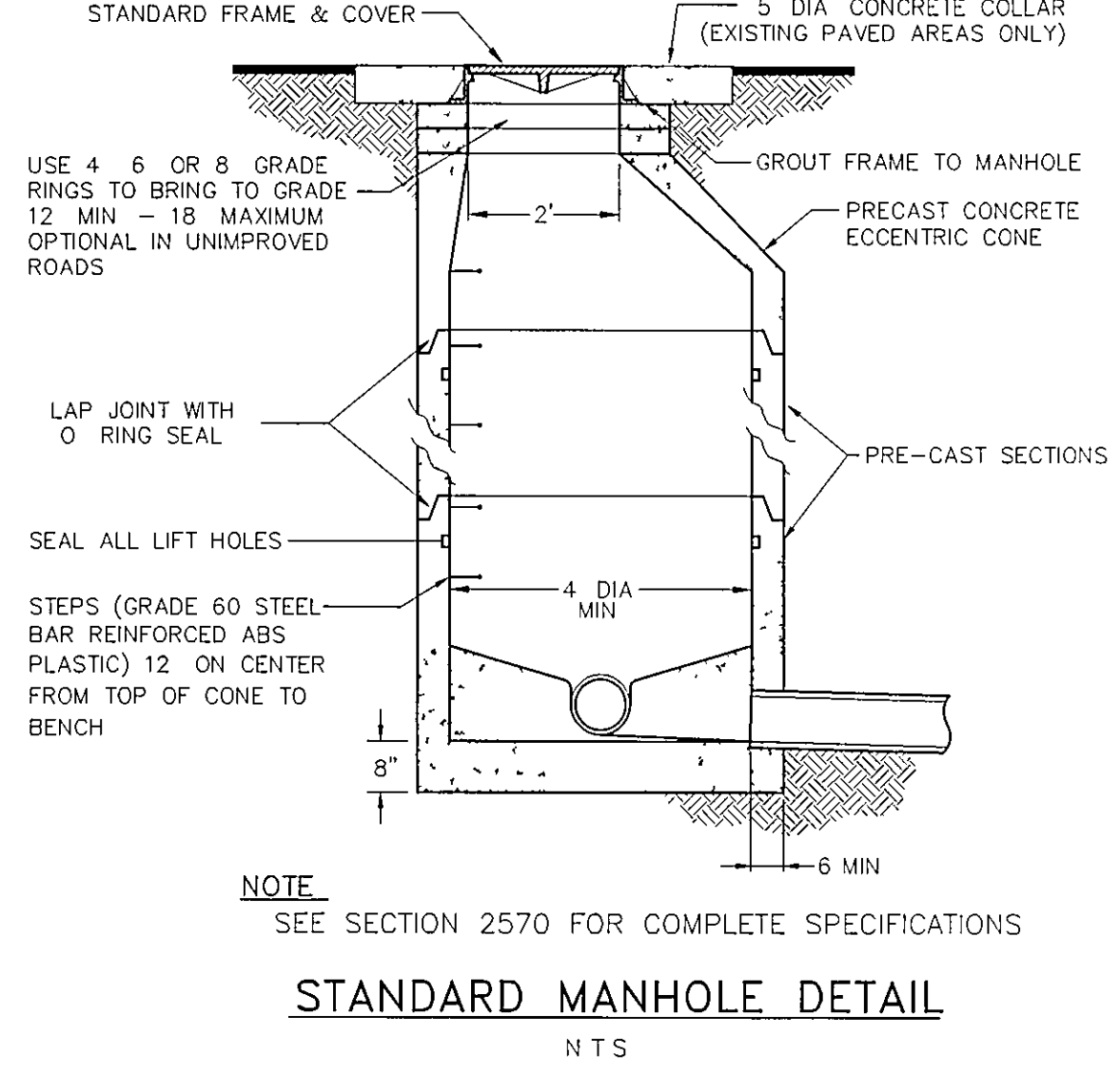
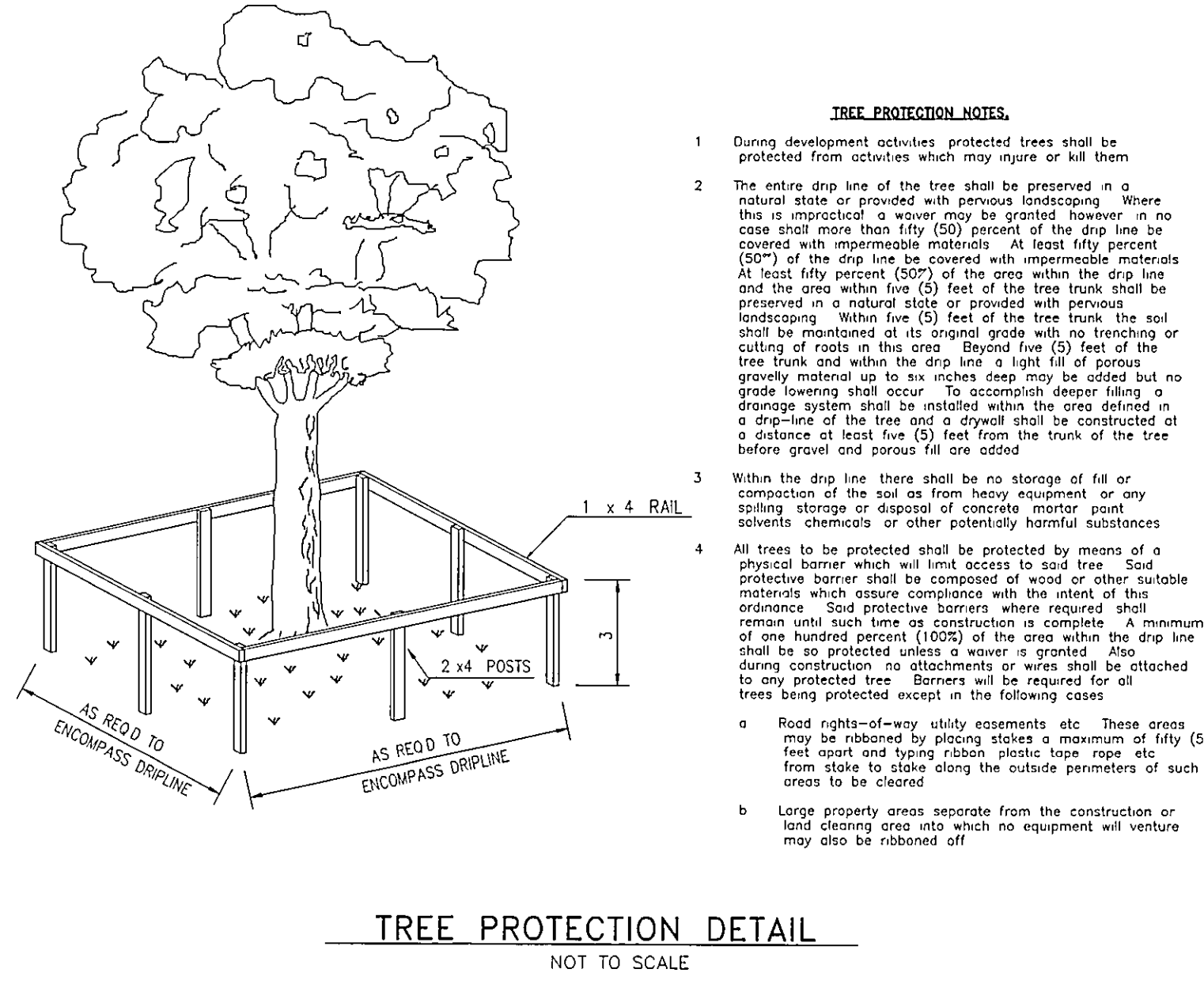
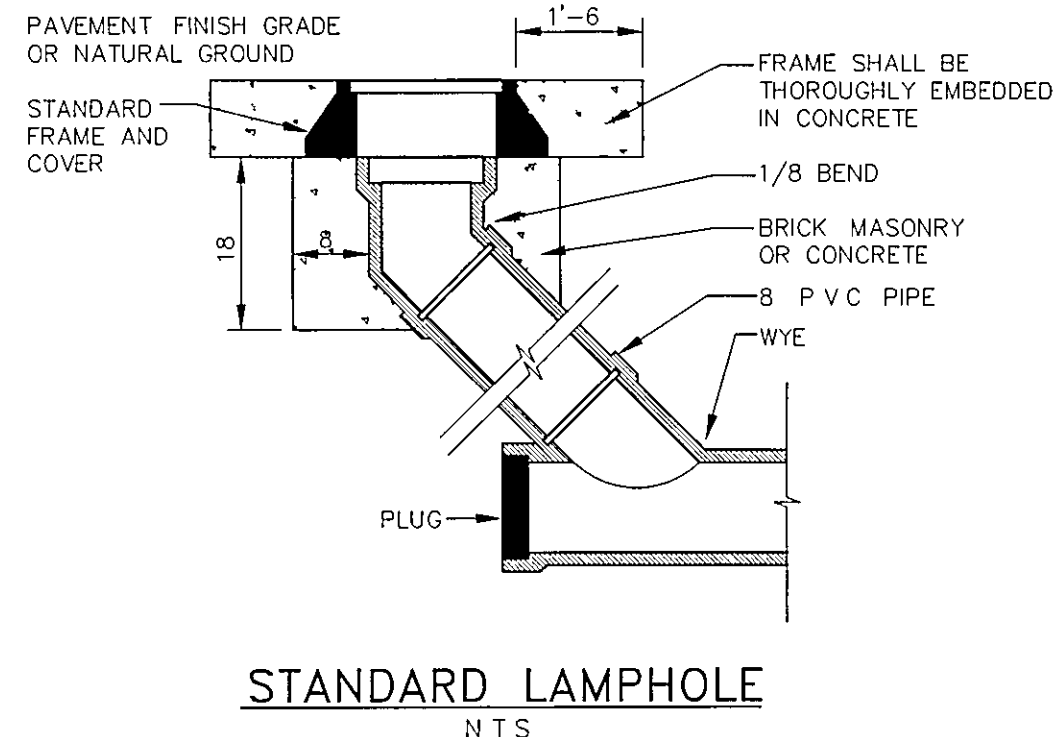
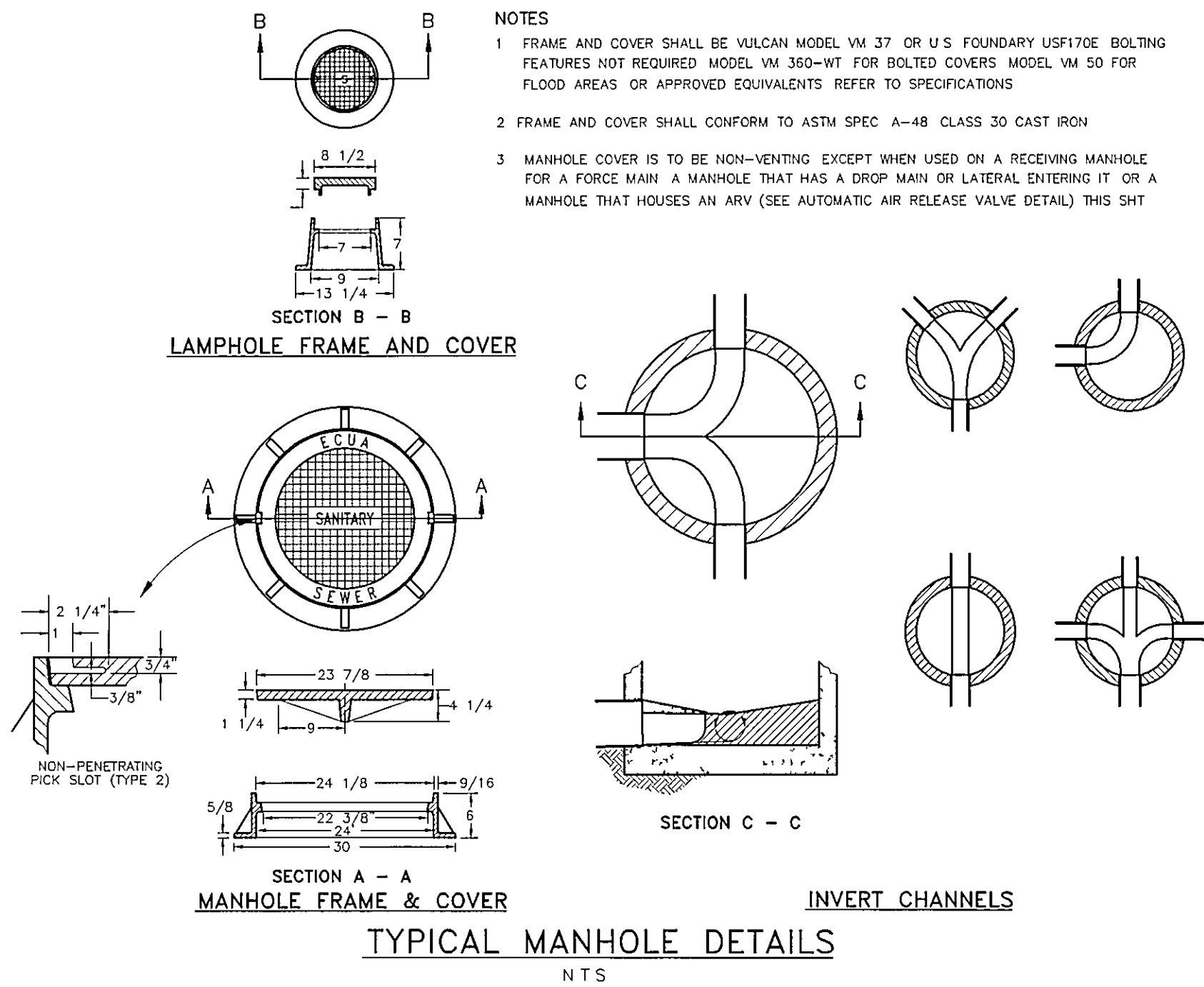
2950 N 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 • Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail - gec@geciengineering.com

NOT RELEASED FOR CONSTRUCTION BY

FLORIDA PE# 33658

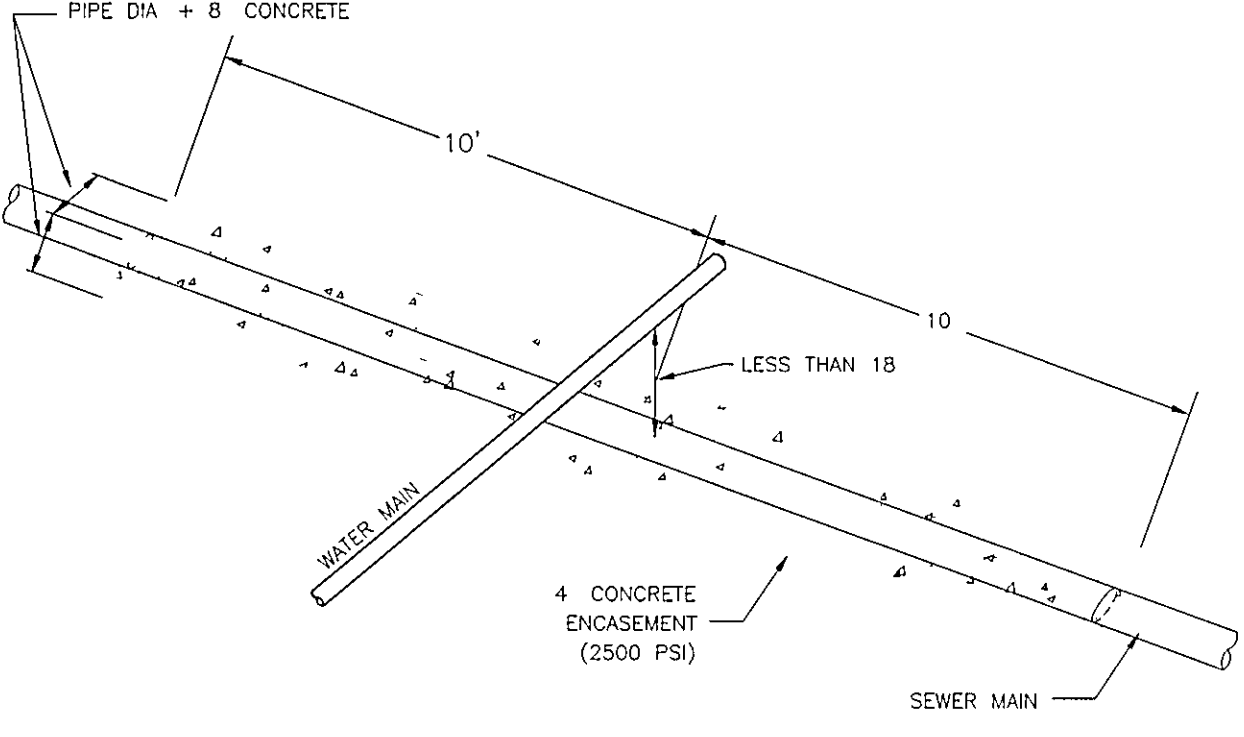
SITE PLAN FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA

PROJECT NO 13201
SHEET NO C-180F 21



CONSTRUCTION ENTRANCE DETAIL

SANITARY SEWER LINES (GRAVITY OR PRESSURE) SHALL HAVE 18" OR GREATER VERTICAL CLEARANCE BELOW ANY POTABLE WATER LINE WHEN CROSSING A MINIMUM OF 6" VERTICAL CLEARANCE IS REQUIRED FOR OTHER UTILITIES. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER LINE THAT IS PARALLEL TO AND LESS THAN 18" BELOW A POTABLE WATER LINE SHALL BE 10" OR GREATER. A MINIMUM OF 30" IS REQUIRED FOR OTHER UTILITIES. IF THIS IS NOT POSSIBLE OR PRACTICAL SEE NOTES BELOW

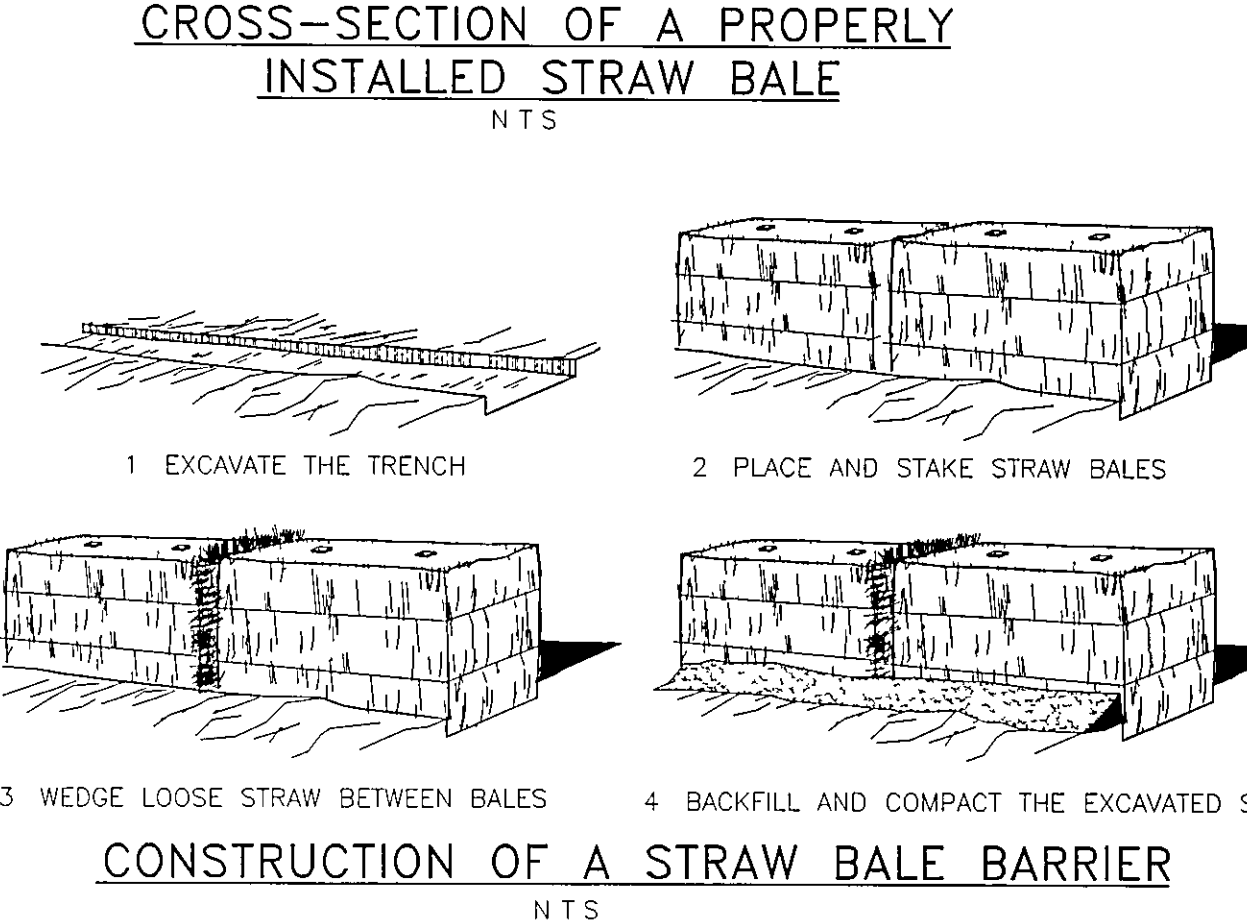
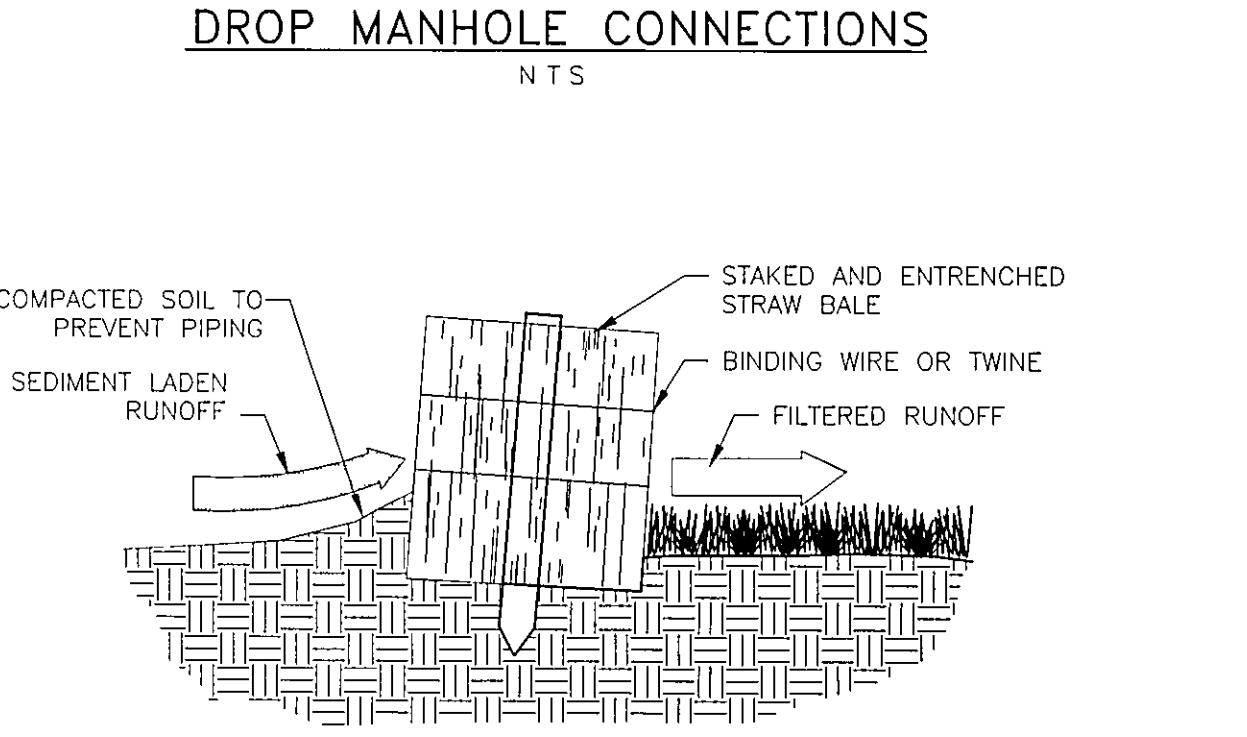
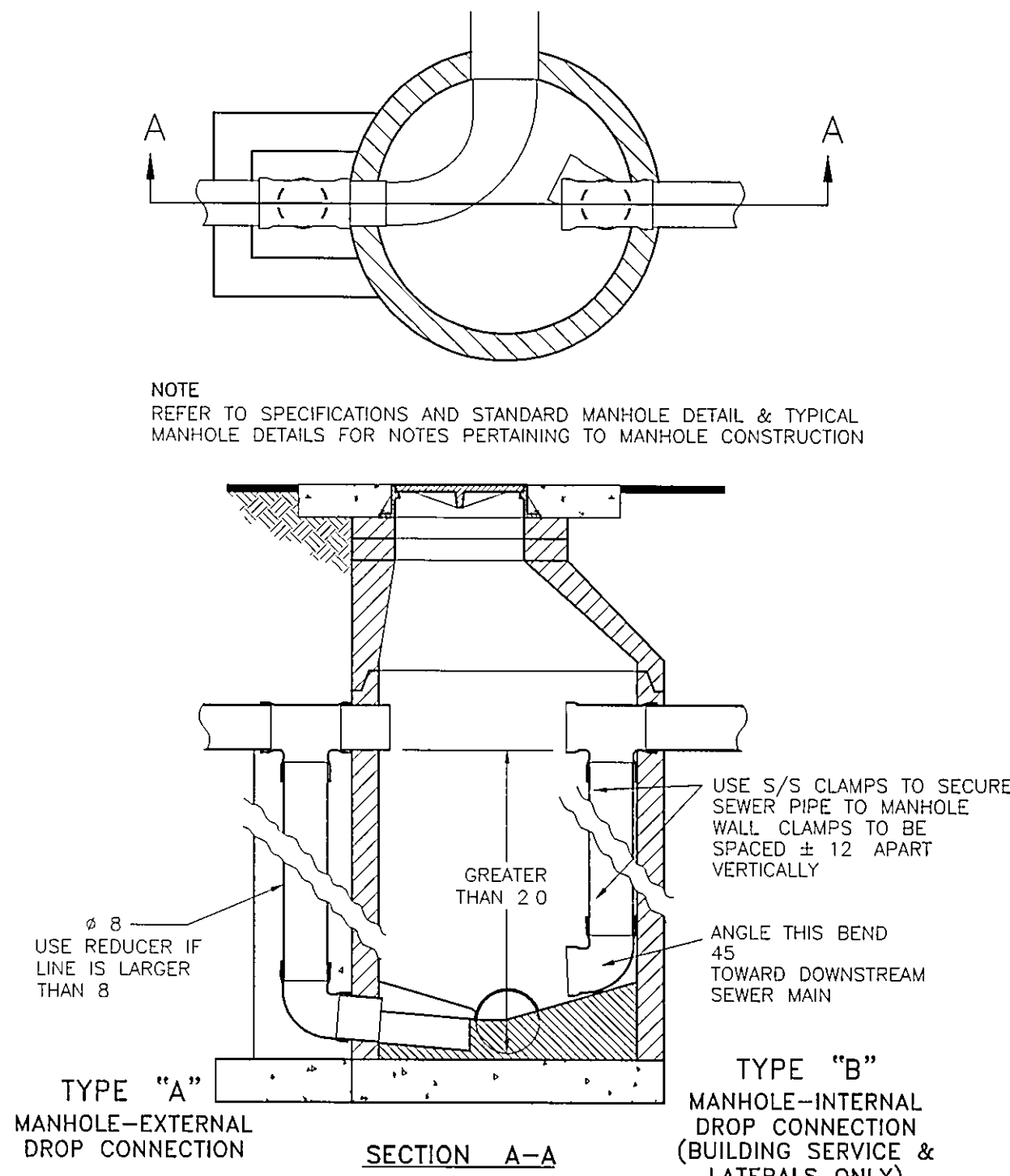


FOR CROSSING ENCASE AS ABOVE SO THAT THE ENDS OF ENCASEMENT ARE AT LEAST 12" FROM ANY WATER LINE JOINT. WATER LINE JOINT MUST NOT BE CLOSER THAN 5" TO THE POINT OF CROSSING OR IT MUST ALSO BE ENCASED

ALTERNATE 1 USE EQUALLY (OR HIGHER) RATED PRESSURE PIPE FOR SEWER WITH NO JOINTS CLOSER THAN 12" APART AND 6" VERTICAL

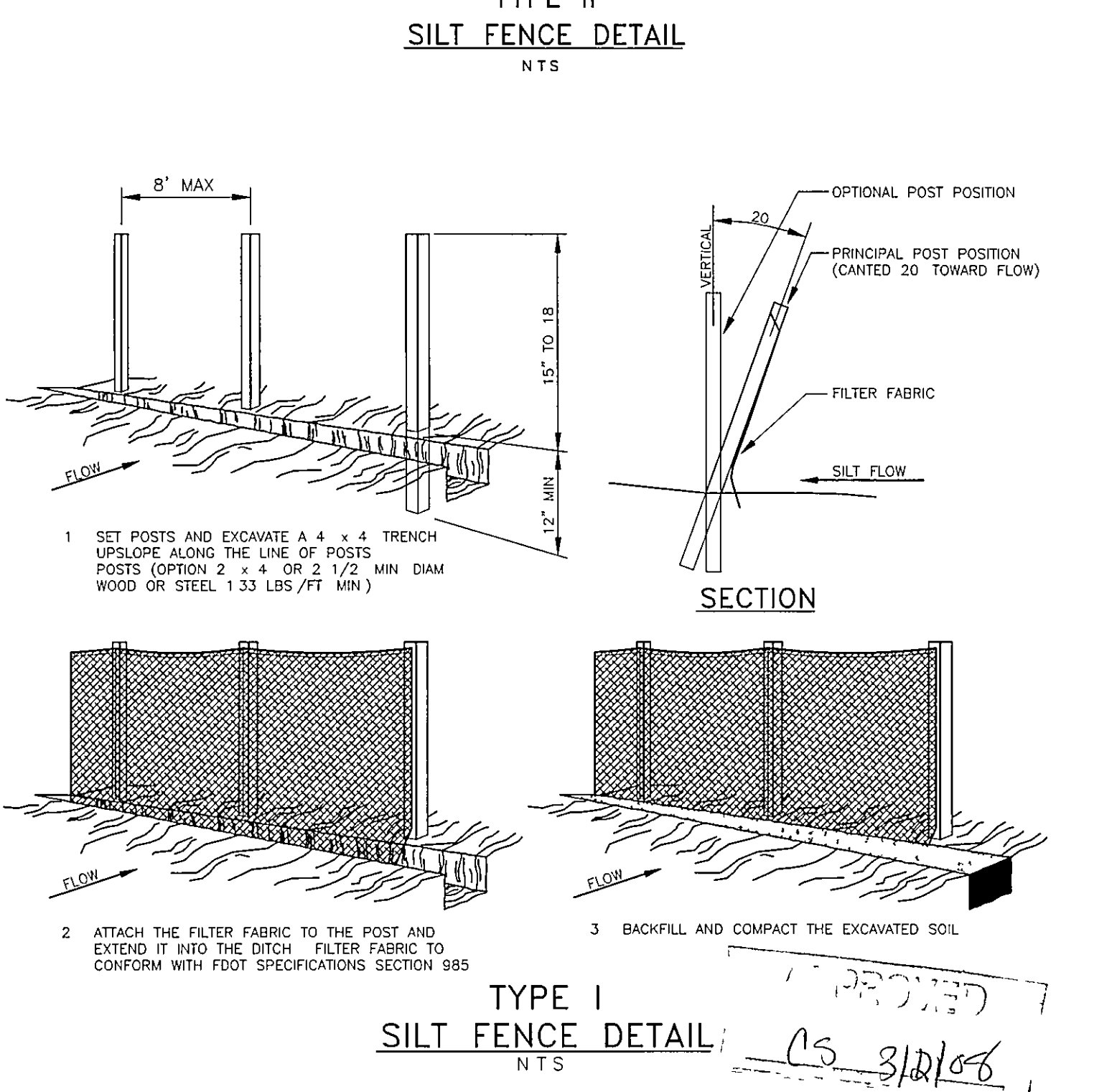
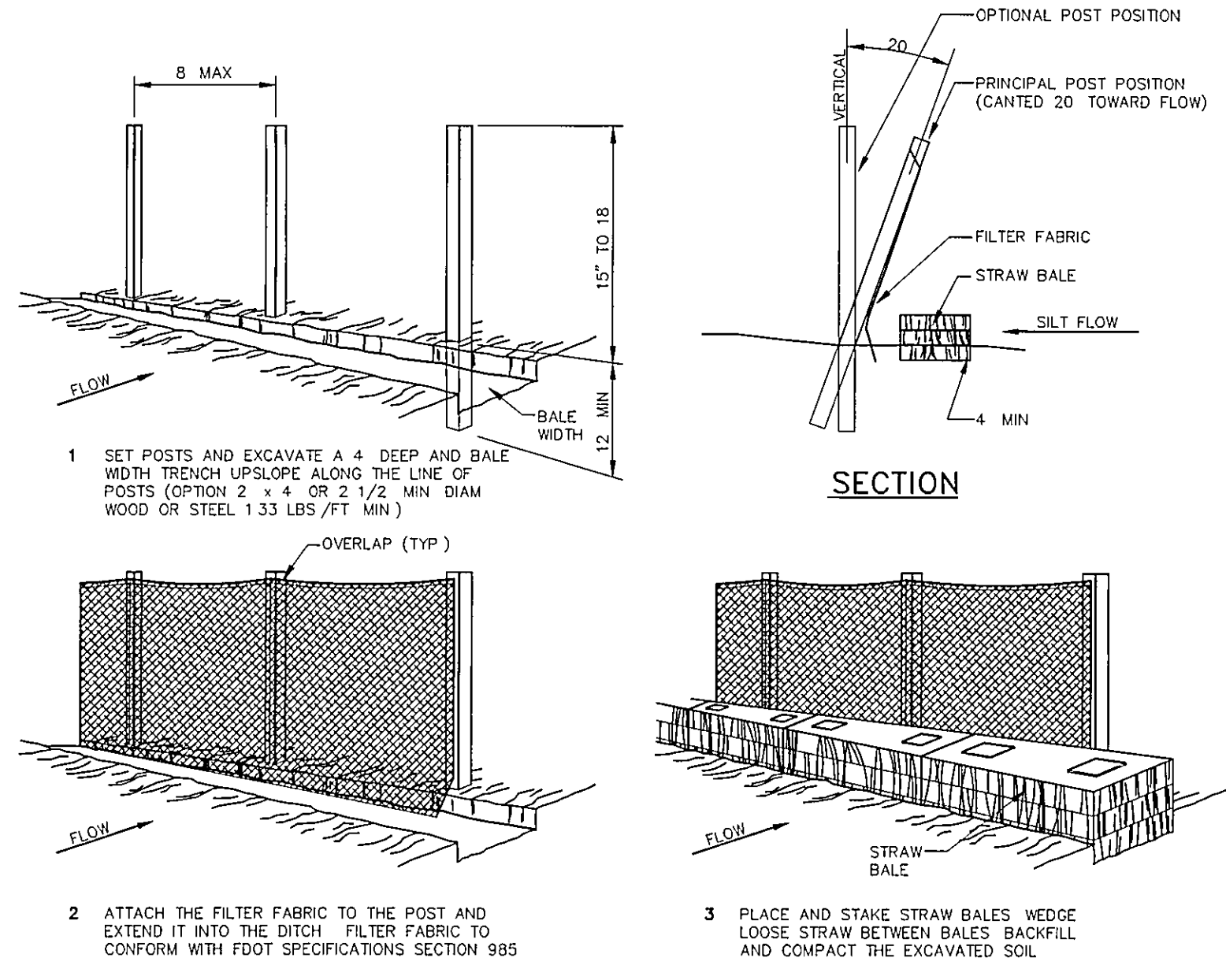
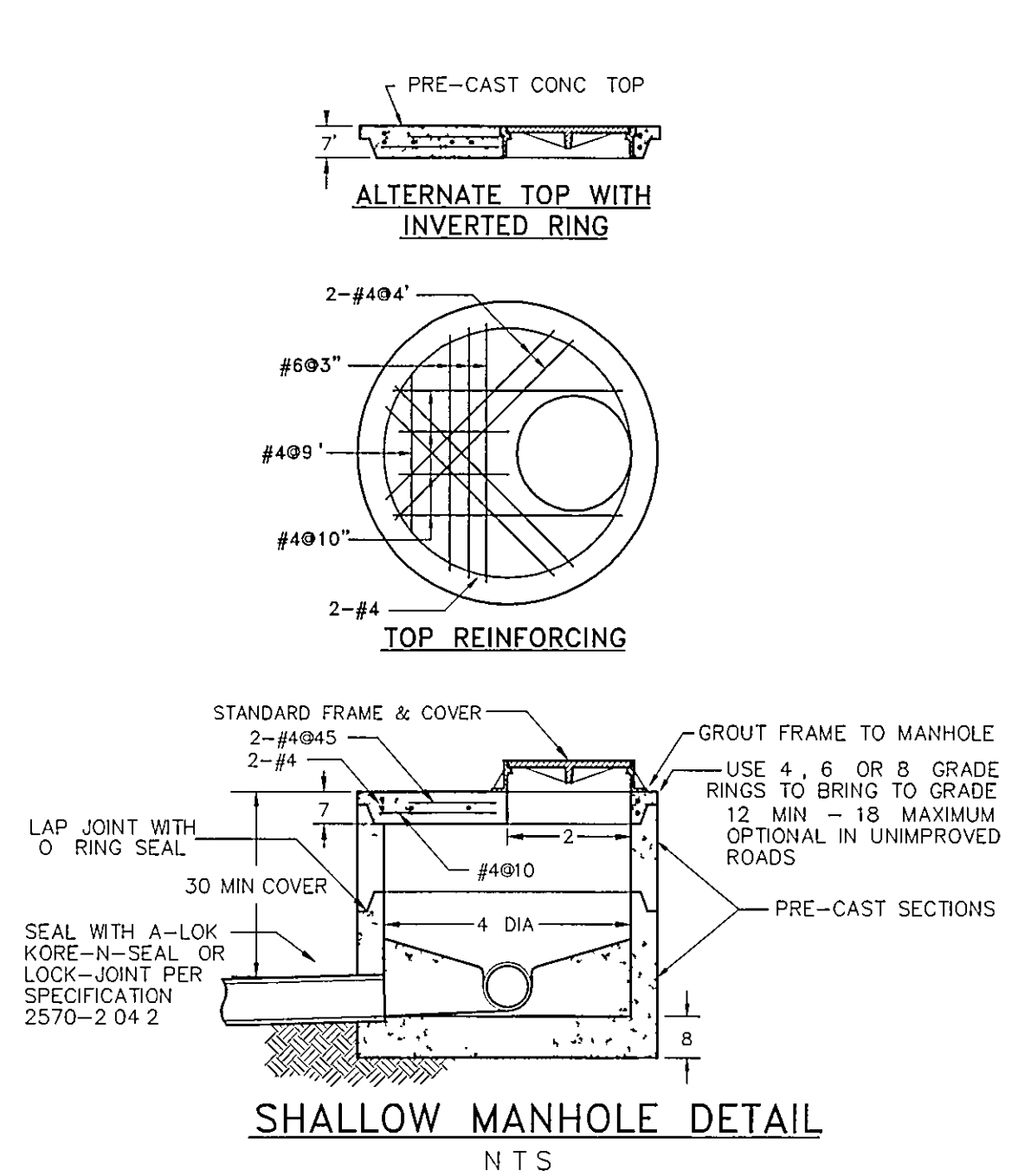
ALTERNATE 2 PLACE SEWER LINE INTO STEEL CASING AND CENTER 20" PIECE WITH 4" VERTICAL CLEARANCE AND SEAL ENDS

FOR PARALLEL AND 6" TO 10" APART USE ALTERNATE 2 BUT IF MORE THAN 40" IN LENGTH ALTERNATE 1 MUST BE USED AND JOINTS ARE TO BE STAGGERED IF LINES MUST BE 3" TO 6" APART ALTERNATE 1 MUST BE USED WITH A HIGHER RATED PRESSURE PIPE FOR SEWER (i.e. WATER LINE IS DR25 THEN USE DR18 OR 21" FOR SEWER)



EROSION AND SEDIMENTATION CONTROL NOTES

- BALES SHALL BE PLACED IN A SINGLE ROW LENGTHWISE ON THE CONTOUR WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER PRIOR TO EARTHWORK OPERATIONS
- ALL BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED. STRAW BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES (IN ORDER TO PREVENT DETERIORATION OF THE BINDINGS)
- THE BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4" INCHES AFTER THE BALES ARE STACKED AND CHINKED. THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHALL CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO 4" INCHES AGAINST THE UPHILL SIDE OF THE BARRIER
- EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES
- THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES. (LOOSE STRAW SCATTERED OVER THE AREA IMMEDIATELY UPHILL FROM A STRAW BALE BARRIER TENDS TO INCREASE BARRIER EFFICIENCY)
- STRAW BALE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED
- STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES. END RUNS AND UNDERCUTTING BENEATH BALES
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED



ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECDA'S STANDARD SPECIFICATIONS

WATER MAINS NOTE:
ALL NEW WATER MAINS SHALL BE 12" OR 18" DIAMETER. ALL EXISTING WATER MAINS SHALL BE 12" OR 18" DIAMETER. ALL WATER MAINS SHALL BE 12" OR 18" DIAMETER. ALL WATER MAINS SHALL BE 12" OR 18" DIAMETER.

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWER SHALL BE 12" OR 18" DIAMETER. ALL EXISTING SANITARY SEWER SHALL BE 12" OR 18" DIAMETER. ALL SANITARY SEWER SHALL BE 12" OR 18" DIAMETER.

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SCALE		DESIGNED		SAG		DRAWN		CHECKED		DATE	
AS SHOWN								SBM		2/14/2008	

NOT RELEASED FOR CONSTRUCTION		BY		DATE	
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SITE PLAN FOR		PARADISE ISLAND		ESCAMBIA COUNTY, FLORIDA	
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS		FLORIDA PE# 33658			

PROJECT NO		SHEET NO		DATE		REVISION		NO	
13201		C-190F 21						1	
								2	
								3	
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								5	

SCALE		DESIGNED		SAG		DRAWN		CHECKED		DATE	
AS SHOWN								SBM		2/14/2008	

NOT RELEASED FOR CONSTRUCTION		BY		DATE	
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SITE PLAN FOR		PARADISE ISLAND		ESCAMBIA COUNTY, FLORIDA	
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS		FLORIDA PE# 33658			

PROJECT NO		SHEET NO		DATE		REVISION		NO	
13201		C-190F 21						1	
								2	
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SCALE		DESIGNED		SAG		DRAWN		CHECKED		DATE	
AS SHOWN								SBM		2/14/2008	

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PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS		FLORIDA PE# 33658			

PROJECT NO		SHEET NO		DATE		REVISION		NO	
13201		C-190F 21						1	
								2	
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SCALE		DESIGNED		SAG		DRAWN		CHECKED		DATE	
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SITE PLAN FOR		PARADISE ISLAND		ESCAMBIA COUNTY, FLORIDA	
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PROJECT NO		SHEET NO		DATE		REVISION		NO	
13201		C-190F 21						1	
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SITE PLAN FOR		PARADISE ISLAND		ESCAMBIA COUNTY, FLORIDA	
PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS		FLORIDA PE# 33658			

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13201		C-190F 21						1	
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SCALE		DESIGNED		SAG		DRAWN		CHECKED		DATE	
AS SHOWN								SBM		2/14/2008	

NOT RELEASED FOR CONSTRUCTION		BY		DATE	
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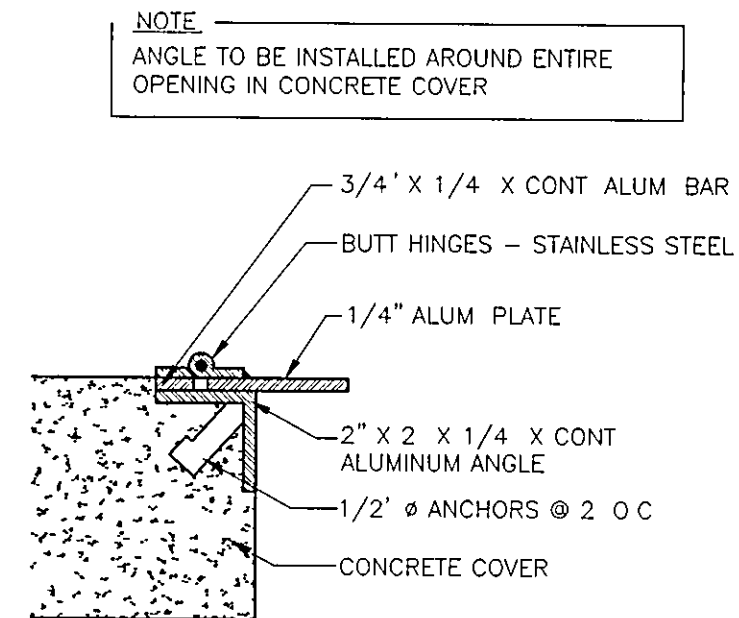
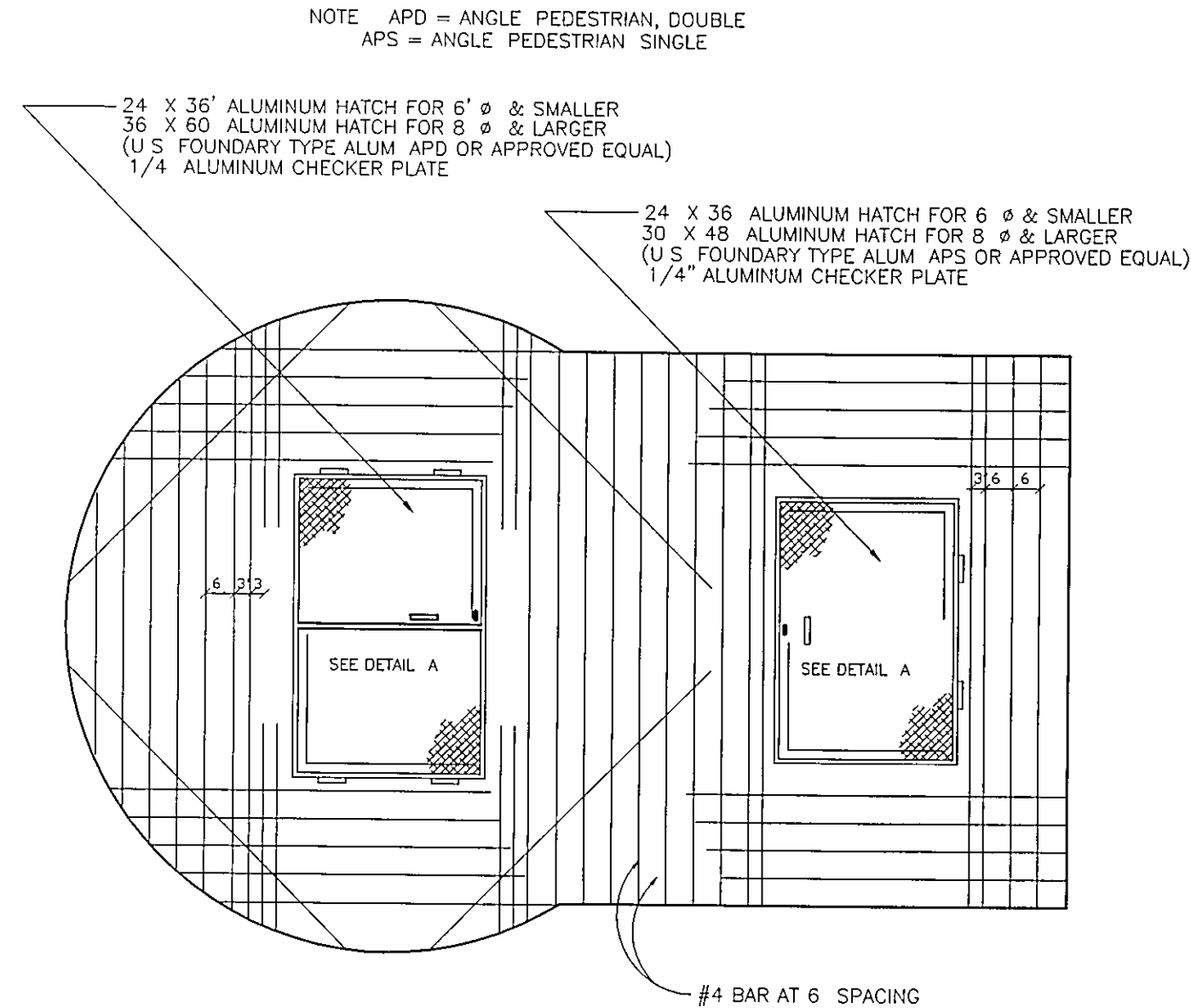
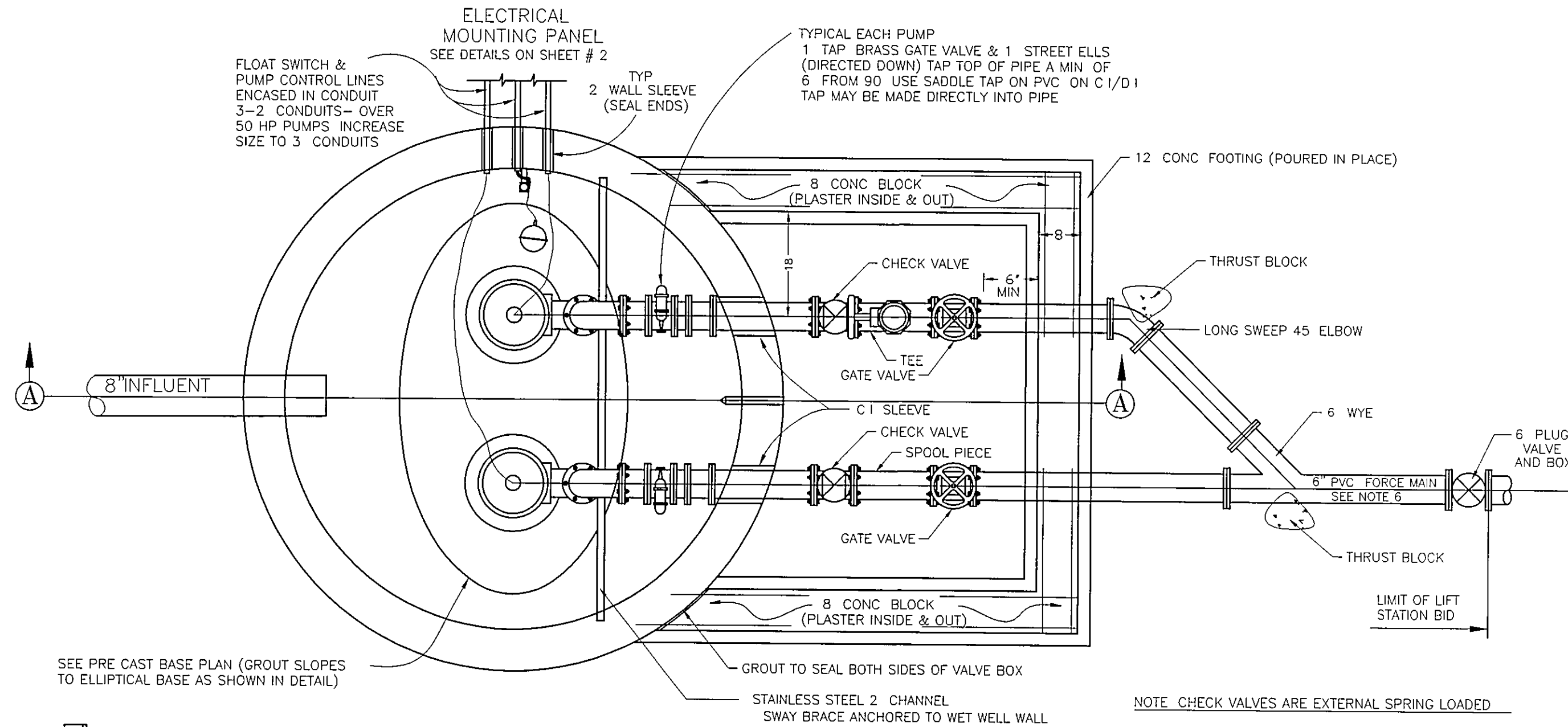
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PAVING, STORM DRAINAGE, POTABLE WATER AND SANITARY SEWER PLANS		FLORIDA PE# 33658			

PROJECT NO		SHEET NO		DATE		REVISION		NO	
13201		C-190F 21						1	
								2	
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ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECDA'S STANDARD SPECIFICATIONS.

WATER MARK NOTE:
ALL NEW WATER MAINS SHALL BE 10" MIN. DI. 20' PVC WATER PIPE WITH THREADED WIRE AND WIRE 30' MIN. COVER AND A 10' MINIMUM COVER UNLESS APPROVED OTHERWISE BY ECDA.

SANITARY SEWER NOTE:
ALL NEW SANITARY SEWERS SHALL BE 10" MIN. DI. 10' PVC SEWER PIPE WITH 1' MINIMUM COVER UNLESS OTHERWISE APPROVED BY ECDA.



DETAIL "A"
NTS

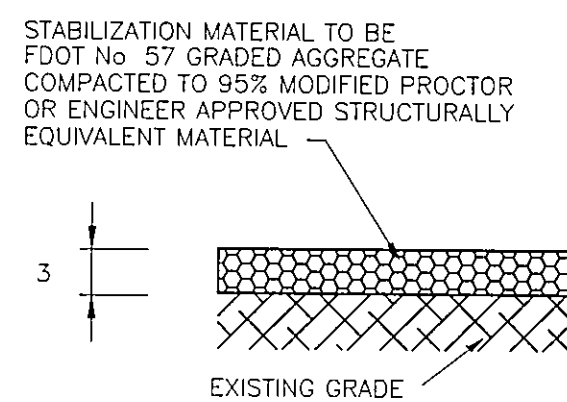
PUMP INFORMATION	
MANUFACTURER	HYDROMATIC
TYPE PUMP (DUPLEX)	SUBMERSTIBLE, NON-CLOG, 4", VORTEX
MODEL NO.	S4LVX
CAPACITY (GPM - TDH)	375GPM-29TDH
IMPELLOR SIZE & NO.	10"
DISCHARGE PIPE SIZE	6"
HP - RATED RPM	7.5HP/1150RPM
VOLT/PHASE	230V/3_PHASE

WET WELL INFORMATION	
WET WELL DIAMETER	10'-0"
WET WELL DEPTH	19.43'
INFLUENT DIA. / ELEV	8'-1.37'
FORCE MAIN DIA. / ELEV	6'-3.25'
BOTTOM ELEV OF STATION	-11.93
PUMPS OFF ELEV	-9.93
PUMP 1 ON (LEAD) ELEV	-8.06
PUMP 2 ON (LAG) ELEV	-7.06
HIGH LEVEL ALARM ELEV	-6.06
TOP ELEV OF STATION	7.50'

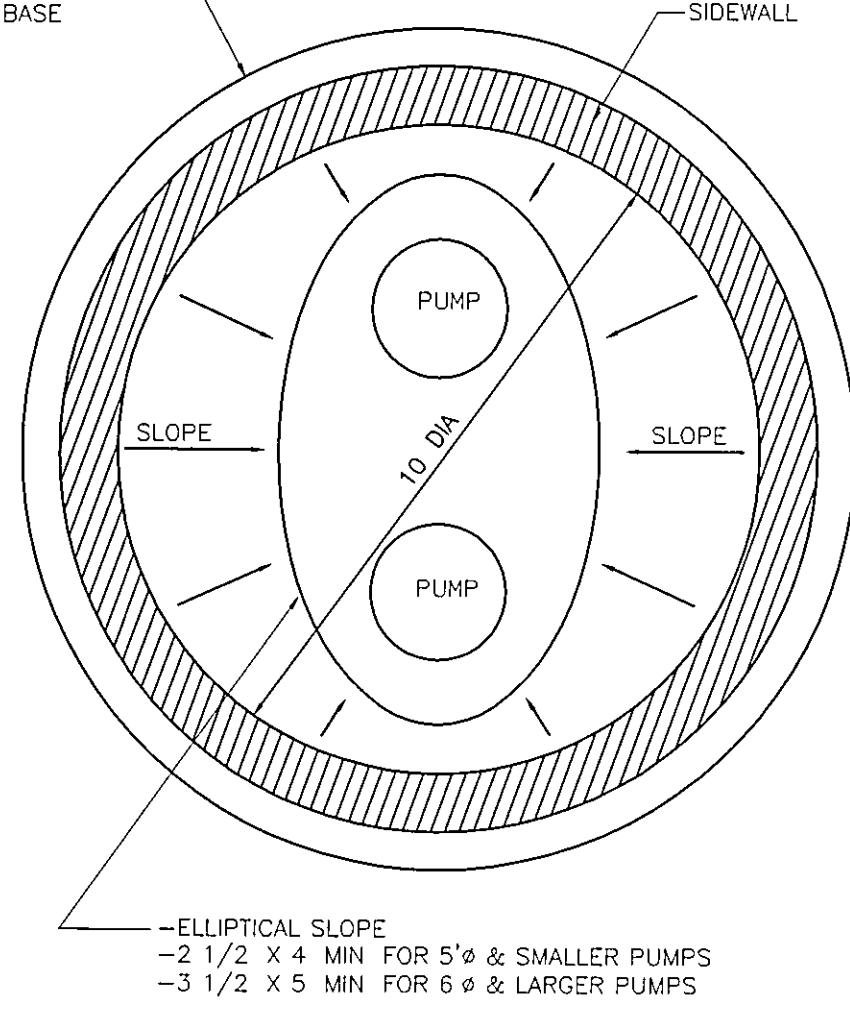
REDUCED PRESSURE PRINCIPLE
BACKFLOW PREVENTION ASSEMBLY
(3/4" WAITS - MODEL # 909)

GENERAL NOTES

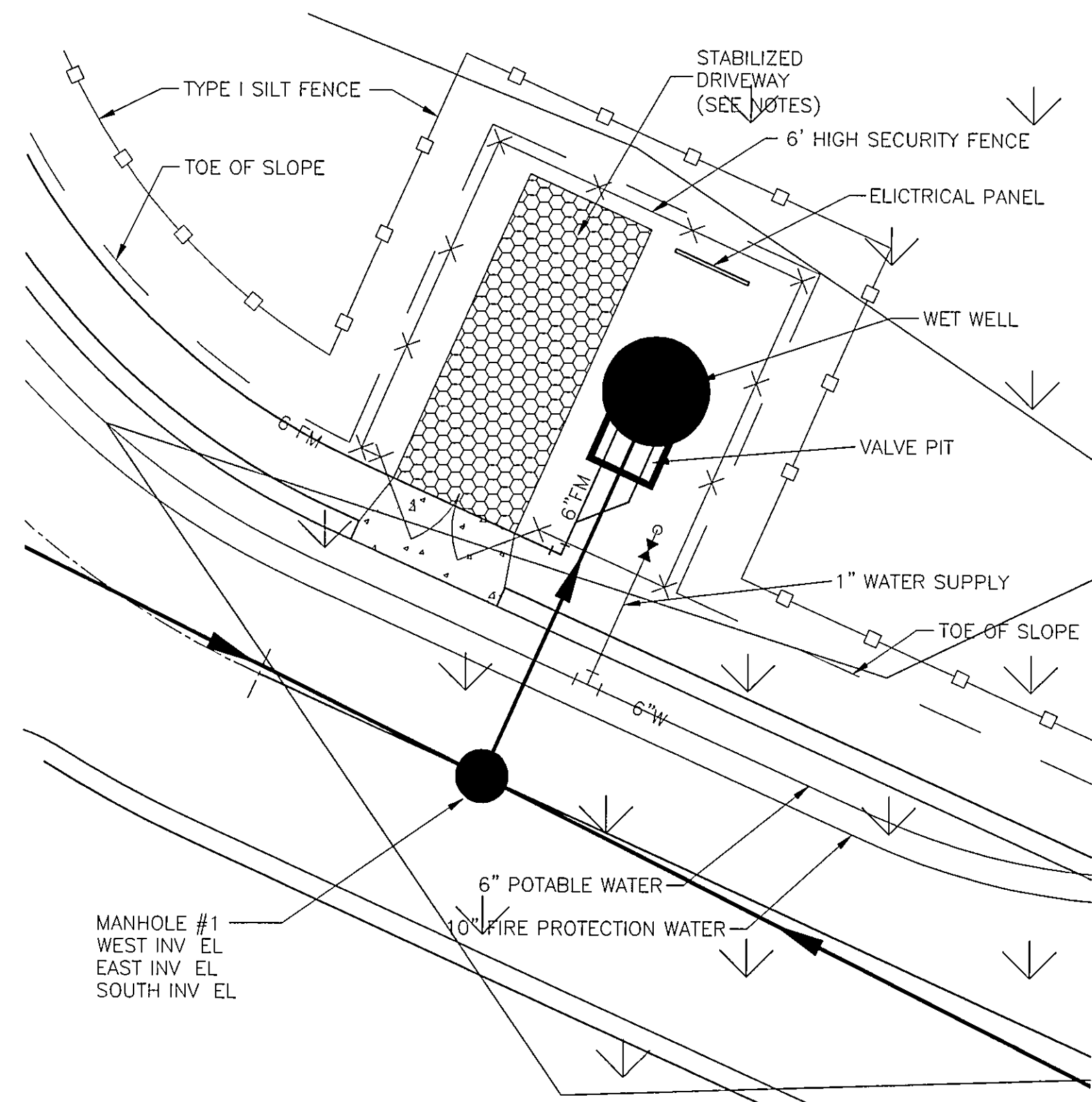
- THE LOCATION OF INFLUENT LINES, OVERFLOW CONTROL LINES, WATER SUPPLY, ETC. ARE DRAWN OUT OF ORIENTATION ON SECTIONAL VIEW. SEE PLAN VIEW FOR ORIENTATION.
- THE LIFT STATION SHALL BE EQUIPPED WITH A 1" FRESH WATER SUPPLY WITH RPZ & 3/4" HOSE BIB LOCATED NEAR LIFT STATION (METER BY ECUA).
- LIFT STATION WET WELL MAY BE CONSTRUCTED WITH REINFORCED CONC. C L III PIPE WALL, INTERIOR SURFACE PAINTED WITH 2 COATS OF COALTAR EPOXY PAINT, "O"-RING GASKET SHALL BE USED BETWEEN JOINTS.
- ALL BREAKS IN WET WELL WALL FOR PIPING, ELECTRICAL, ETC. SHALL BE SEALED & SLEEVED AS NOTED.
- TO PROTECT STANDPIPE FROM SWAY BRACE, EITHER WRAP PIPE WITH RUBBER OR INSERT ALL U-BOLTS THROUGH RUBBER HOSE.
- PVC FORCE MAIN TO MEET ASTM D-2241, SDR 26 BELL TYPE JOINTS WITH RING TYPE NEOPRENE GASKETS.
- THE ENTIRE AREA WITHIN THE LIFT STATION SITE OTHER THAN WET-WELL VALVE PIT AND DRIVEWAY, SHALL BE GRADED SMOOTH AND COVERED WITH ONE LAYER OF LANDSCAPING WEED BARRIER FABRIC TOP WITH 3" OF #57 GRADED AGGREGATE.



STABILIZATION MATERIAL DETAIL
NTS



PRE CAST BASE PLAN
NTS



LIFT STATION SITE PLAN
1" = 10'-0"

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N 12th Ave PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
E-Mail - geci@geciengineering.com



3/12/08

SITE PLAN FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA

- 1 Below 15HP, service entrance rating shall be 3 phase, 240VAC, 100A 15HP and above, service service entrance rating shall be 3 phase, 240VAC, 200A
- 2 All lift station back panels shall be mounted at least six (6) feet from the outer edge of the wet well

A Two (2) NEMA rated Ac magnetic full voltage starters, with two (2) Normally Open interlock contacts (auxiliary contacts) added to each starter. These starters shall be Square D Class 6536, size based upon Square D Mfg. recommendations for the motor horsepower selected.

B One (1) thermal magnetic circuit breaker for each pump. These circuit breakers shall be Square D Class 650 Type FAL32xxx (Actual amp rating of breaker should be sized based upon Square D Mfg recommendations for the motor horsepower selected.)

C Two (2) three position, maintained-contact, hand-off-automatic (H-O-A) switches. Each H-O-A switch must have two NO/NC contact blocks. These switches should be NEMA 4X rated and shall be Square D Class 9001, Type SKS43BH2. These switches should be labeled "PUMP 1" under and "HAND-OFF-AUTOMATIC" over.

D One 115VAC, single phase, 20Amp GFCI duplex receptacle, with 20 Amp single pole breaker This breaker shall be Square D Type QOU120

E One 115 VAC single pole, 15 Amp breaker to be used for SCADA power This breaker shall be a Square D Type QOU115

One 240 VAC, single phase, 20 Ampere, simplex receptacle mounted externally on the lift station control panel enclosure, to be used for Mechanics air compressor. One 20 Ampere 2 pole breaker for this receptacle. This breaker shall be a Square D Type QOU220.

G One 115 VAC, single pole, 10 Ampere breaker to be used for lift station control power
This breaker shall be a Square D Type QOU110

H One octal base plug-in DIN rail mounted three phase power monitor that senses loss of

incoming power/loss of phase from the power company. This power monitor should be protected by input fusing. This power monitor shall be a Timemark model 257B-240VAC or approved equivalent. Fuses shall be Bussman KTK-1 or approved equivalent.

Each stop, lead, and lag float switch must be isolated from the control circuits by a four pole double throw (4PDT) relay. One of the relay contacts is to be used for reporting float status to the SCADA system. Refer to this drawing for appropriate connection of the other relay contacts. This relay shall be a Potter & Brumfield KHAU-17A11-120 with P&B socket type 27E894.

J One pump alternator that is "cross-wired" This alternator should be a Time Mark Model 261DX, or an approved equivalent

K Two indicating lights to indicate local/remote(SCADA) operation. The local lens should be green in color. The remote lens should be red in color. These indicating lights must be NEMA 4X rated with 120VAC lamp module and MB120 bulb and shall be Square D.

Class 9001 type SKP38G31/SKP38K31. These lights should be labeled "CONTROL" under both and "LOCAL" over the green light and "REMOTE" over the red light. These lamps are to be operated by a relay of the same type used for float and pump control. The other contacts of this relay will be used by the SCADA system to switch the pump.

L One NEMA 4X rated two position sustained contact switch, Square D Class 9001 Type SKS11BH2 This switch shall be labeled "MECHANIC PRESENT" under and "YES NO" over

N All SCADA input/output points will be wired to a common terminal strip and appropriately identified as per figure 1 or 2 as applicable to ensure standardization between panels. This terminal strip will utilize terminals made to Standard 2, Class 2000

0 AC input power will be connected to the control panel via approved terminal blocks. Below 15HP the line power terminal block will be Square D class 9080, type LBA160106. For 15HP and above

line terminal block will be a Square D Class 9080, Type LBA363106. The neutral terminal block will be a Square D Class 9080, Type LBA163104. The ground lead shall be connected to the back panel via an approved bonding lug.

P Connections to simplex and gfi receptacles to be by spade lug

A Three phase breaker for use as service entrance

1 Below 15HP

One (1) ea Molded Case Thermal-Magnetic Circuit Breakers, 100 Ampere, 240 Volt, 100 Ampere Frame, Three Pole This breaker shall be Square D Catalog Number FA32100 with the following enclosures and accessories

One (1) ea Circuit Breaker Enclosure, NEMA 3R, Square D, Class 610, Catalog Number FA100RB

One (1) ea Equipment Ground Bar Kit, Square D, Class 610, Catalog Number PK0GTA2

One (1) ea Insulated Groundable Neutral Assembly, Square D, Class 610, Catalogue Number SNF100FA

2 15HP and above

One (1) ea Molded Case Thermal-Magnetic Circuit Breakers, 200 Ampere, 600 Volt, 250 Ampere Frame, Three Pole This breaker shall be Square D Catalog Number KAL36200 with the following enclosures and accessories

One (1) ea Circuit Breaker Enclosure, NEMA 3R, Square D, Class 610, Catalog Number KA225RB
One (1) ea Equipment Ground Bar Kit, Square D, Class 610, Catalog Number PK0GTA2
One (1) ea Insulated Groundable Neutral Assembly, Square D, Class 610, Catalogue Number SN225KA

3 When lift stations are located within 1000 feet of brackish or salt water, circuit breaker enclosure shall be stainless steel construction and rated NEMA 4X

B MANUAL TRANSFER SWITCH

1 Below 15HP
One (1) ea 100 Ampere, 3 Pole, Double Throw, Non-fused, NEMA 3R enclosure, 240 VAC, Suitable for service entrance, Safety Switch with appropriate Equipment Ground Kit and Insulated Neutral Kit This safety switches shall be Square D, Class 3140, Catalog number DTU323NRB with appropriate equipment ground kit and neutral kit

2 15HP and above
One (1) ea 200 Ampere, 3 Pole, Double Throw, Non-fused, NEMA 3R enclosure, 240 VAC, Suitable for service entrance, Safety Switch with appropriate Equipment Ground Kit and Insulated Neutral Kit This safety switches shall be Square D, Class 3140, Catalog number DTU324NRB with appropriate equipment ground kit and neutral kit.

3 When lift stations are located within 1000 feet of brackish or salt water, manual transfer switch shall be stainless steel construction and rated NEMA 4X

C RECEPTACLE

One (1) ea 100 Ampere weatherproof receptacle with angle adapter and mounting box for surface mount. The receptacle provided must be one of the following manufacturers and catalog numbers:

2 Crouse-Hinds - Catalog Number AR1041 with angle adapter and box
Appleton - Catalog Number AR10044 with angle adapter and box
15HP and above

The receptacle provided must be one of the following manufacturers and catalog numbers

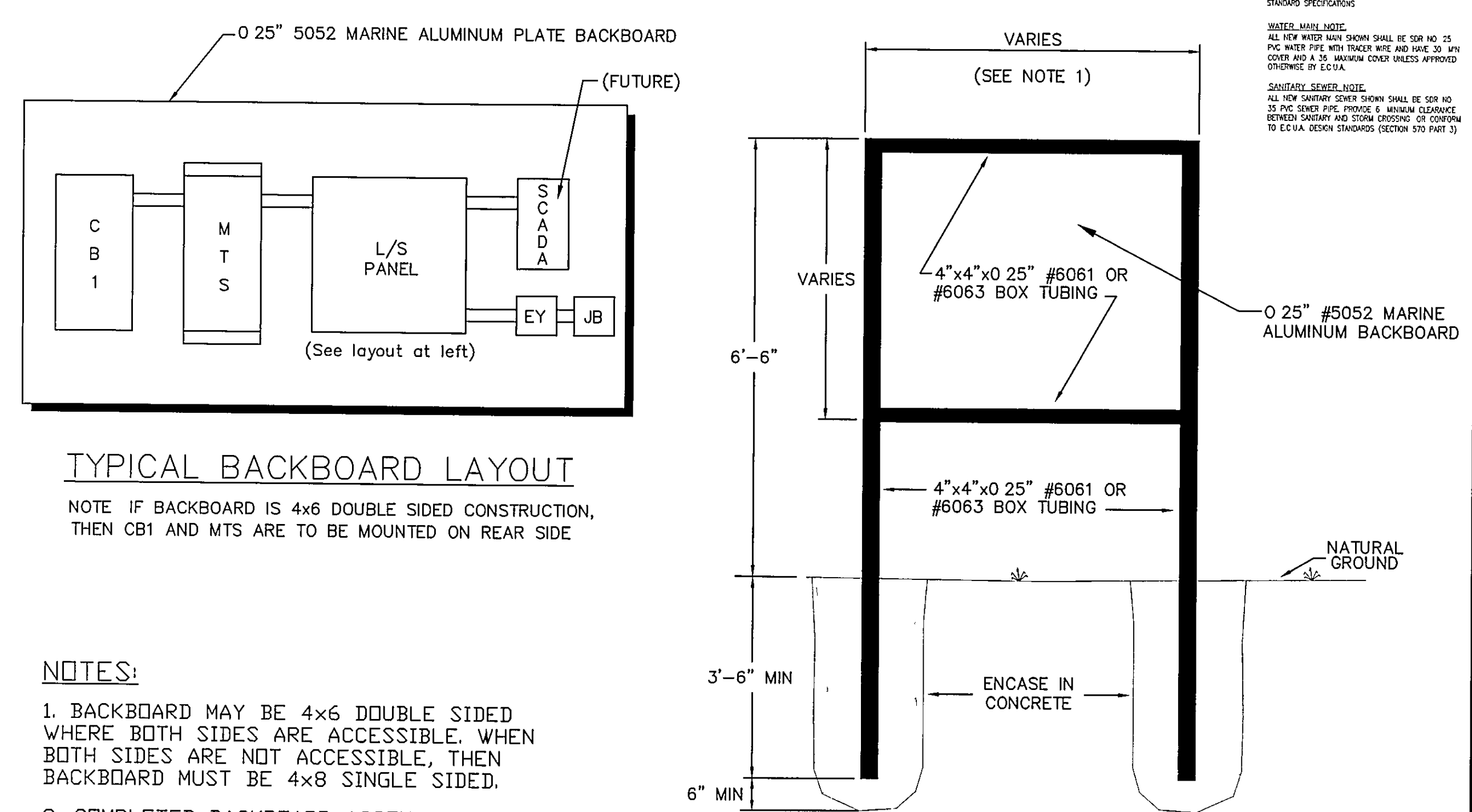
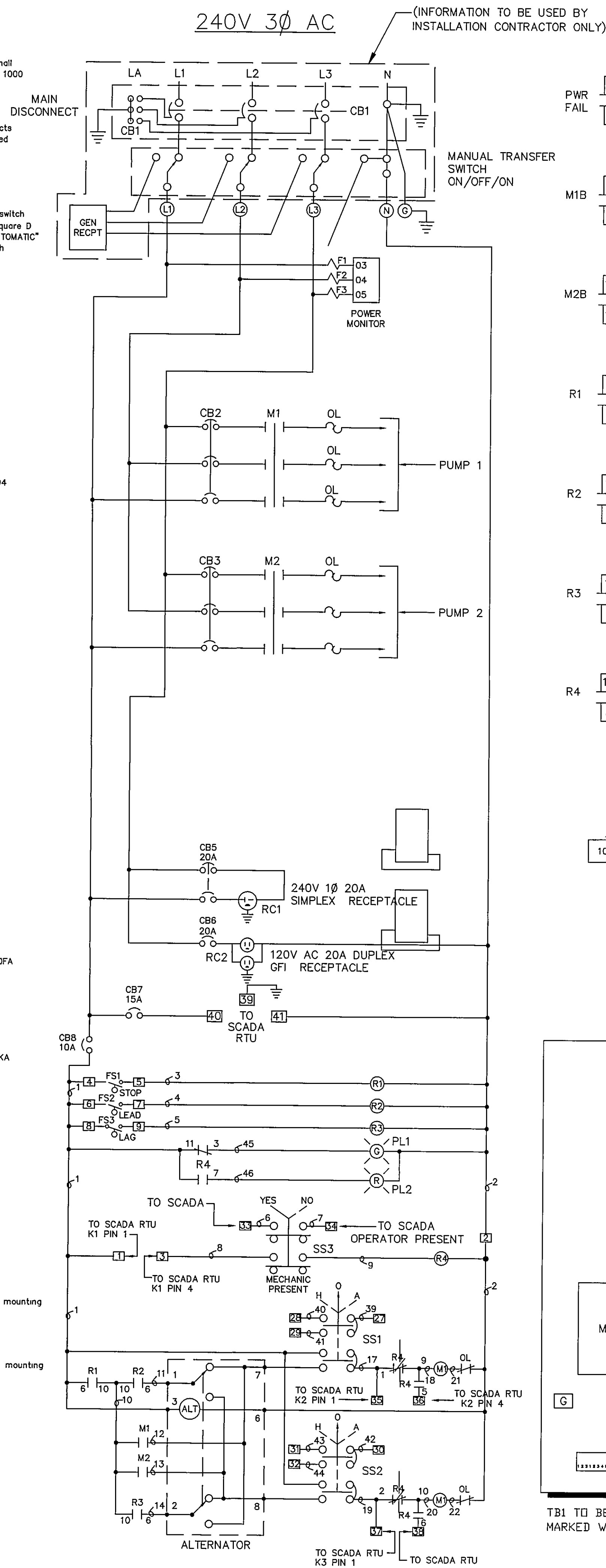
Crouse-Hinds - Catalog Number AR2041 with angle adapter
 Appleton - Catalog Number AP20041 with angle adapter

D Junction Box
One (1) ea corrosion resistant, NEMA 4X enclosures with back panel This enclosure/panel shall be

When located within 1000 ft of salt or brackish water enclosure/panel shall be stainless steel and shall be Hoffman A1614CUN5555 (A-1614C5555).

E SCADA (FUTURE)

Drawings of this RTU are available from ECUA and several local panel contractors. The RTU will include 1½"x20" 304 stainless steel SCH40 antenna pole with stainless steel mineralite mounting attachment straps, one MAXRAD model MYA4506N Yagi antenna with an installed female type N connector, and 25 foot coaxial cable with type N male connectors installed on each end. The cable



(INFORMATION TO BE USED BY INSTALLATION CONTRACTOR ONLY)

1. BACKBOARD MAY BE 4x6 DOUBLE SIDED WHERE BOTH SIDES ARE ACCESSIBLE. WHEN BOTH SIDES ARE NOT ACCESSIBLE, THEN BACKBOARD MUST BE 4x8 SINGLE SIDED.

2. COMPLETED BACKBOARD ASSEMBLY IS TO BE OF A WELDED CONSTRUCTION.

8	7	6	5
4	3	2	1
14			13
12	11	10	9

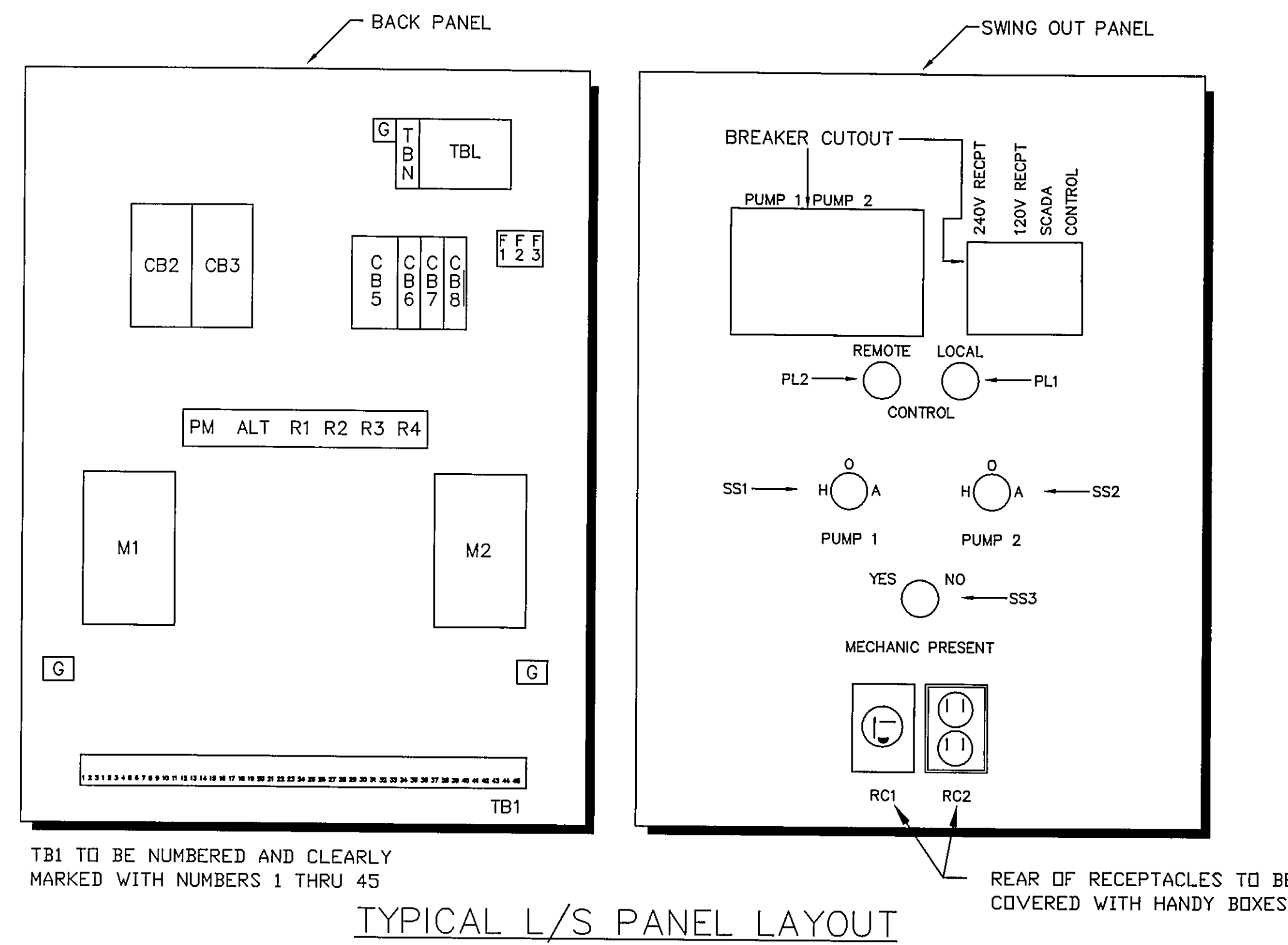
SYM	DEVICE
CB	CIRCUIT BREAKER
F	FUSE
CT	CONTROL TRANSFORMER
EN	ENCLOSURE
FS	FLOAT SWITCH
LA	LIGHTNING ARRESTOR
M	MOTOR STARTER OR CONTACT
OL	OVERLOAD
TB1	TERMINAL BLOCK
TBL	LINE TERMINAL BLOCK
R	RELAYS (NOTE 1)
PL	PILOT LIGHT
SS	SELECTOR SWITCH, MECHANIC PRESENT
T	TRANSFORMER
<input type="checkbox"/>	TERMINAL NUMBER
<input checked="" type="checkbox"/>	WIRE NUMBER

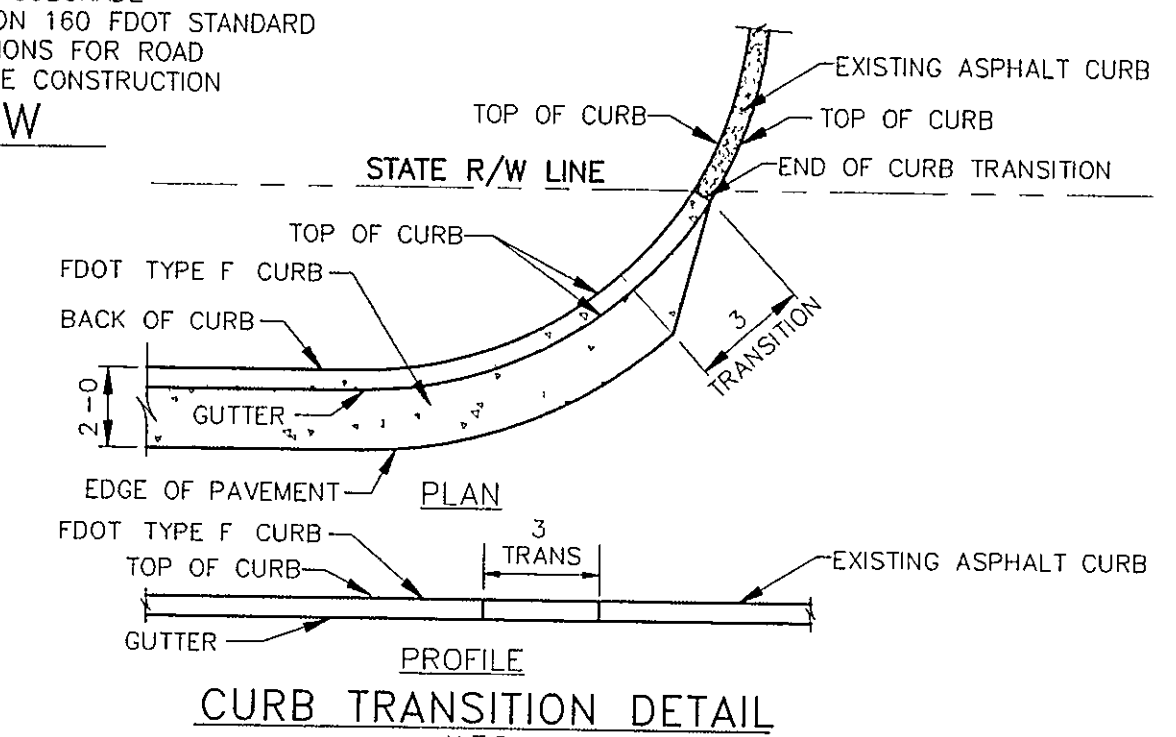
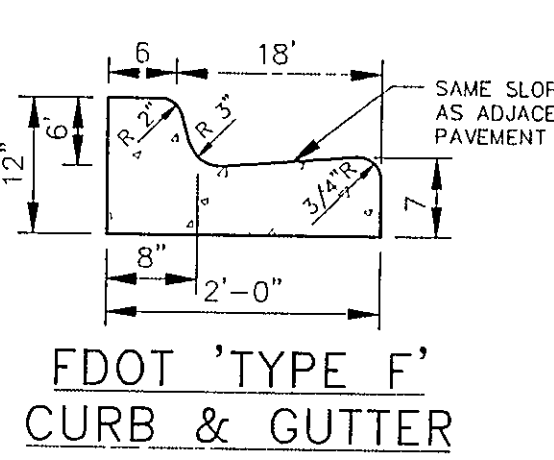
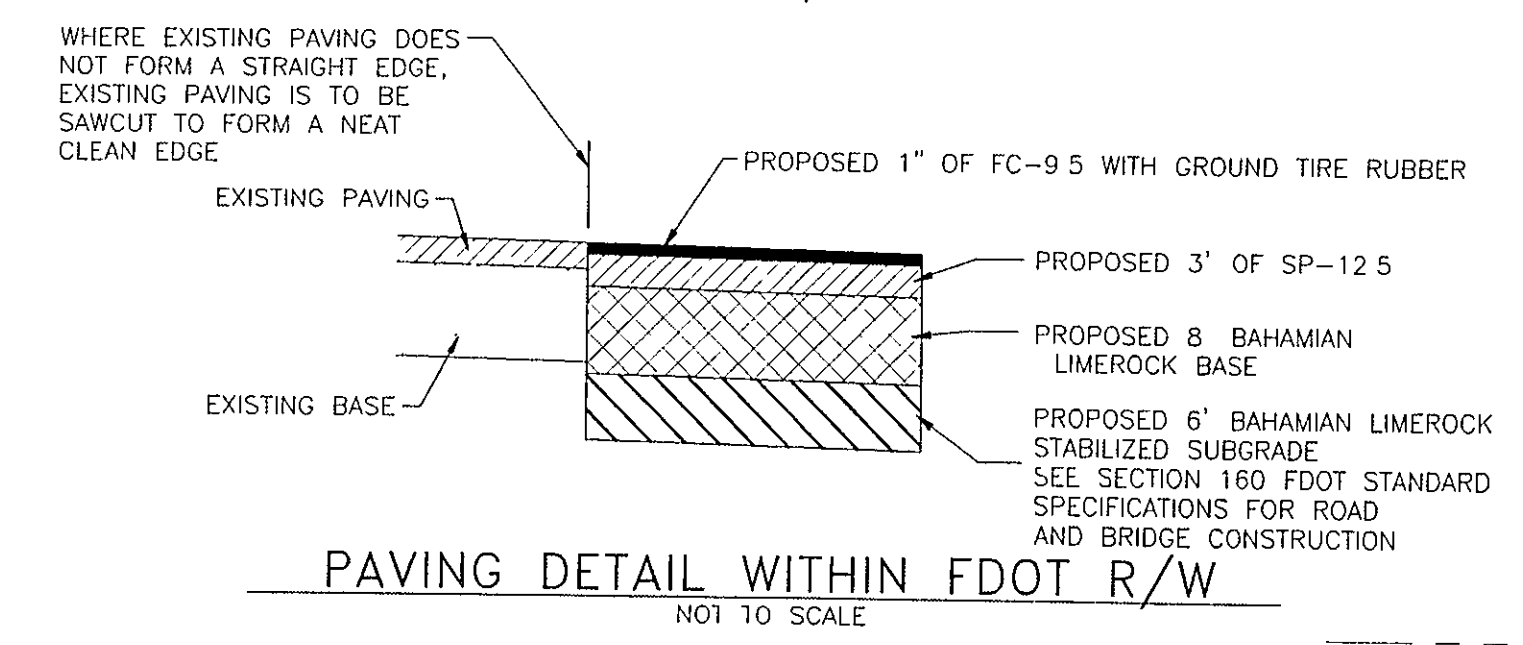
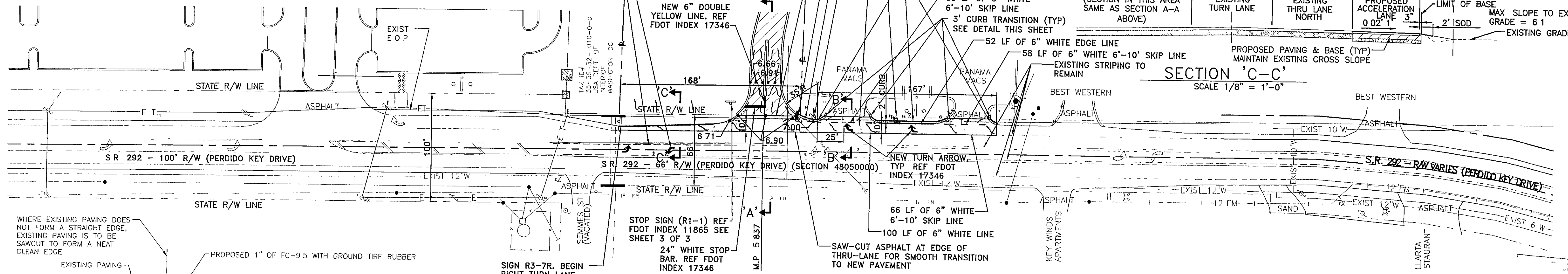
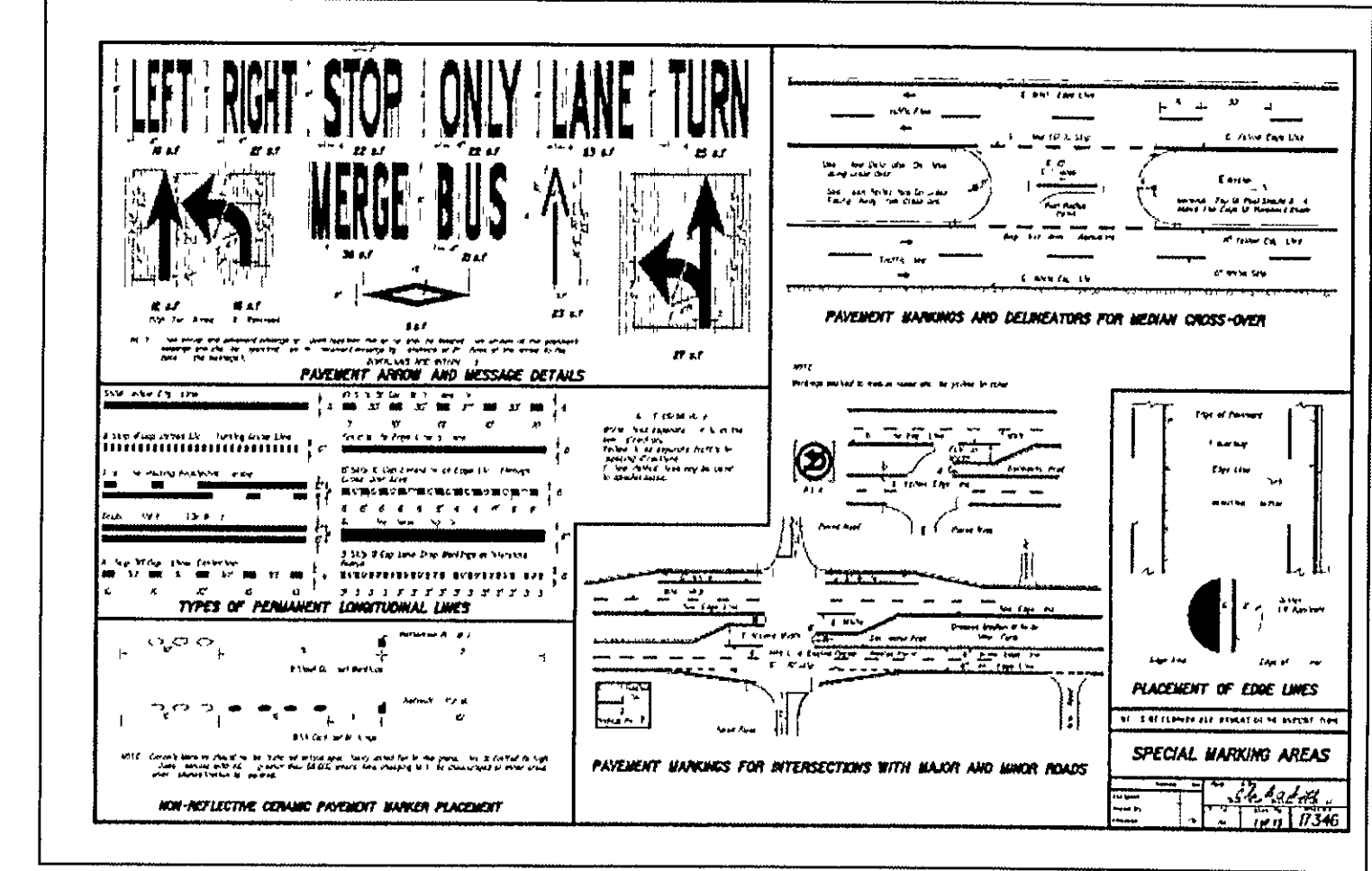
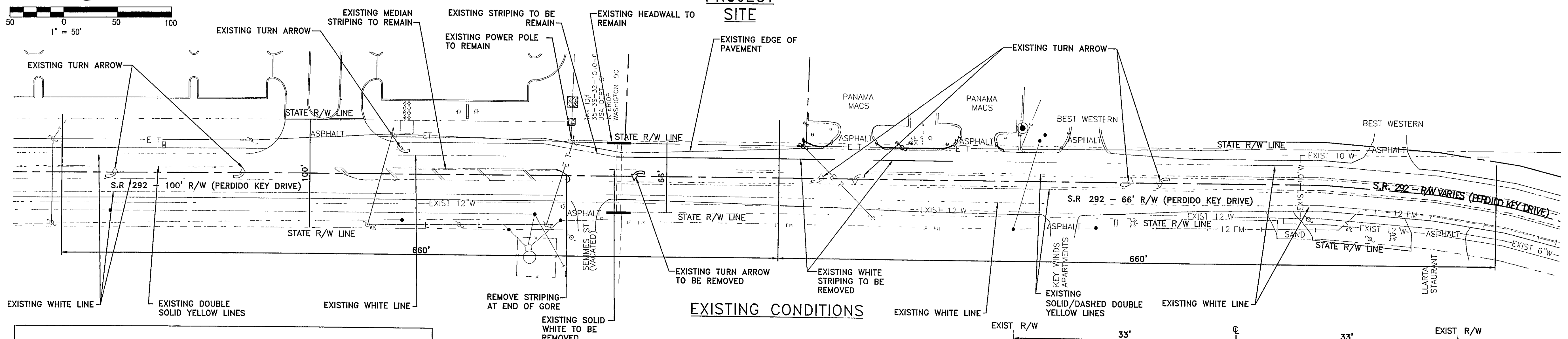
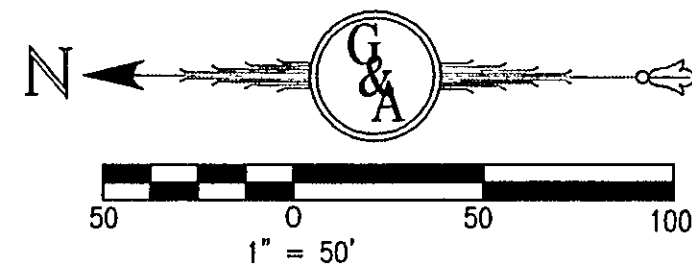
NOTE 1 ALL RELAY SOCKETS TO BE DIN RAIL MOUNTED

DRAWING REVISED 3-09-04

NOTE: The Owner/Developer is required to submit a minimum of six (6) submittal packages consisting of data sheets for all lift station parts and components. Submittals shall be delivered to ECUA at least 30 days prior to procurement or fabrication of lift station components. Only after ECUA submittal approval has been received can the actual lift station construction begin.

If 12 months has passed since ECUA project approval, the Owner/Developer will be required to conform to ECUA's most current lift station drawings. Submittals shall conform to these drawings at the time submittals are received by ECUA for approval.





PARADISE ISLAND PROJECT SITE

PERDIDO KEY DRIVE/ STATE ROAD #292 (R/W VARIES)

NOTES

- ALL TRAFFIC MARKINGS TO BE THERMOPLASTIC PER FDOT DESIGN STANDARDS
- ALL PAVING WITHIN FDOT R/W SHALL BE FULL DEPTH ASPHALT OR AS SHOWN BELOW
 - BAHAMIAN LIME ROCK STABILIZATION
 - BAHAMIAN LIME ROCK BASE
 - 3\"/>
 - 1\"/>
- ALL TRAFFIC CONTROL PAVEMENT MARKINGS, SIGNS AND INSTALLATIONS TO CONFORM TO FDOT DESIGN STANDARDS AND THE FHWA'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- FDOT LANE CLOSURE CONSTRAINT NO LANE CLOSURES DURING THE HOURS OF 6:00 A.M. - 9:00 A.M. AND 3:00 P.M. - 6:00 P.M.
- NO LANE CLOSURES ON HOLIDAY WEEKENDS INCLUDING THE DAY PRECEDING AND FOLLOWING
- ALL TRAFFIC REFLECTIVE PAVEMENT MARKING ACCORDING TO FDOT DESIGN STANDARD INDEX NO. 17352
- ALL EXISTING PAVEMENT MARKINGS DISTURBED BY CONSTRUCTION SHALL BE RE-STRIPED TO FDOT STANDARDS
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RETURNED TO ORIGINAL OR BETTER CONDITION
- FOR WORK ZONE TRAFFIC CONTROL PLAN SEE FDOT DESIGN STANDARD INDEX NO. 600 AND 604 ON SHEETS 3 OF 4 AND 4 OF 4
- STABILIZED SUBGRADE SHALL MEET FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 160

LEGEND

- RCP ~ DENOTES REINFORCED CONCRETE PIPE
CMP ~ DENOTES CORRUGATED METAL PIPE
DE ~ DENOTES LAMP HOLE
MB ~ DENOTES MAIL BOX
W ~ DENOTES EXISTING WATER VALVE
F ~ DENOTES EXISTING FIRE HYDRANT
M ~ DENOTES EXISTING WATER METER
P ~ DENOTES POWER POLE
G ~ DENOTES GAS VALVE
EOP ~ DENOTES EDGE OF PAVING
OHV ~ DENOTES OVERHEAD WIRE
T ~ DENOTES TURN ARROW
S ~ DENOTES EXISTING SPOT ELEVATIONS
T ~ DENOTES EXISTING TELEPHONE CONDUIT

NO	REVISION	DATE	APPR
1	REVISED PER FDOT COMMENTS	1/25/05	SAG
2	REVISED PER FDOT COMMENTS	3/23/05	SAG
3	REVISED PER FDOT COMMENTS	6/1/06	SAG
4	REVISED PER FDOT COMMENTS	8/7/06	SAG
5	REVISED PER FDOT COMMENTS	10/25/06	SAG

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail - geci@geciengineering.com

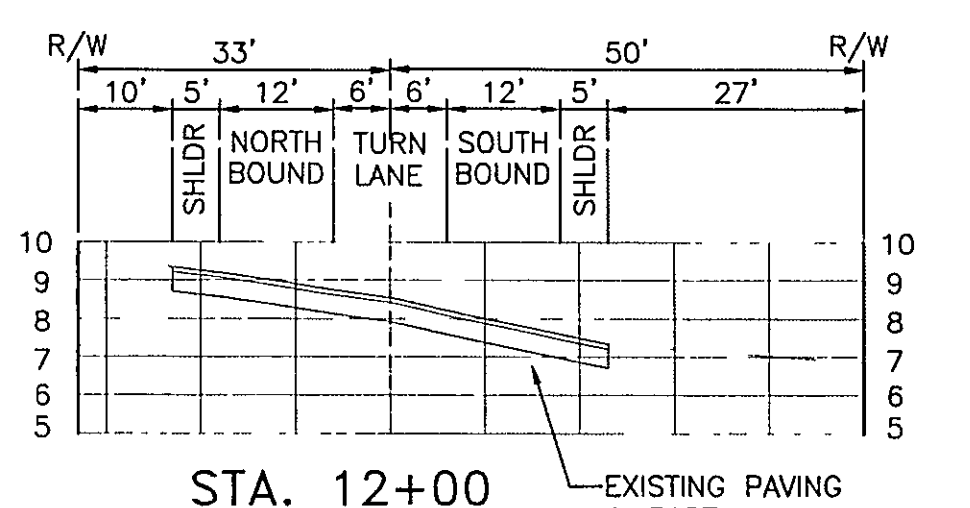
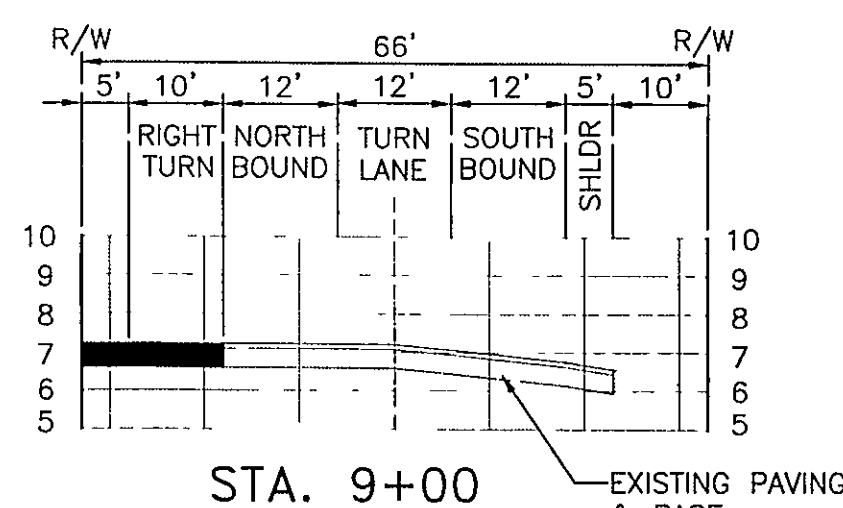
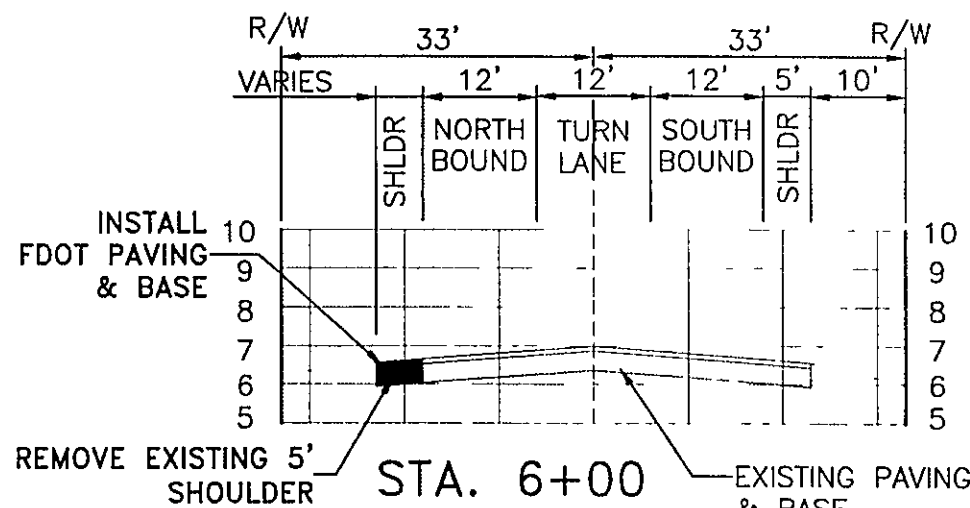
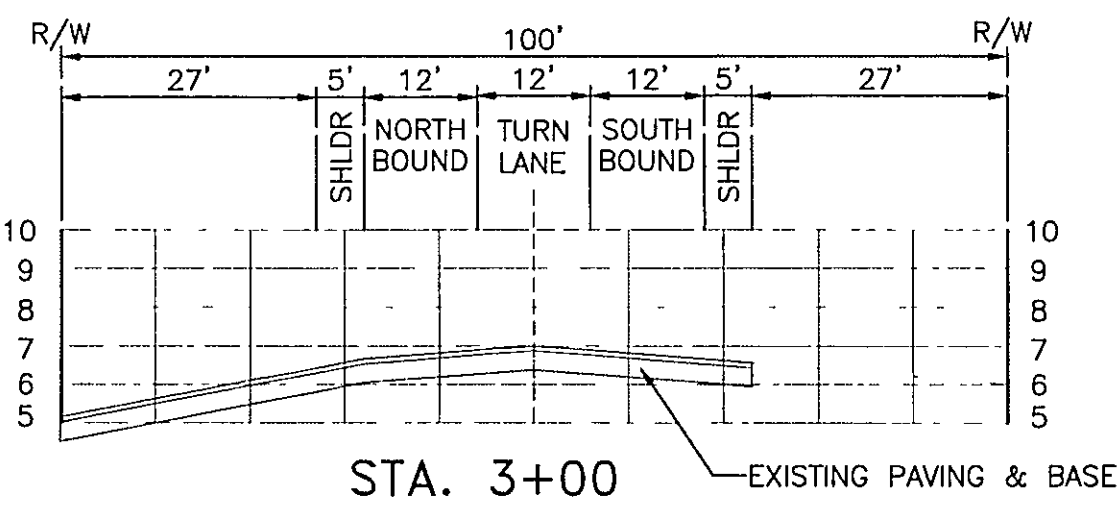
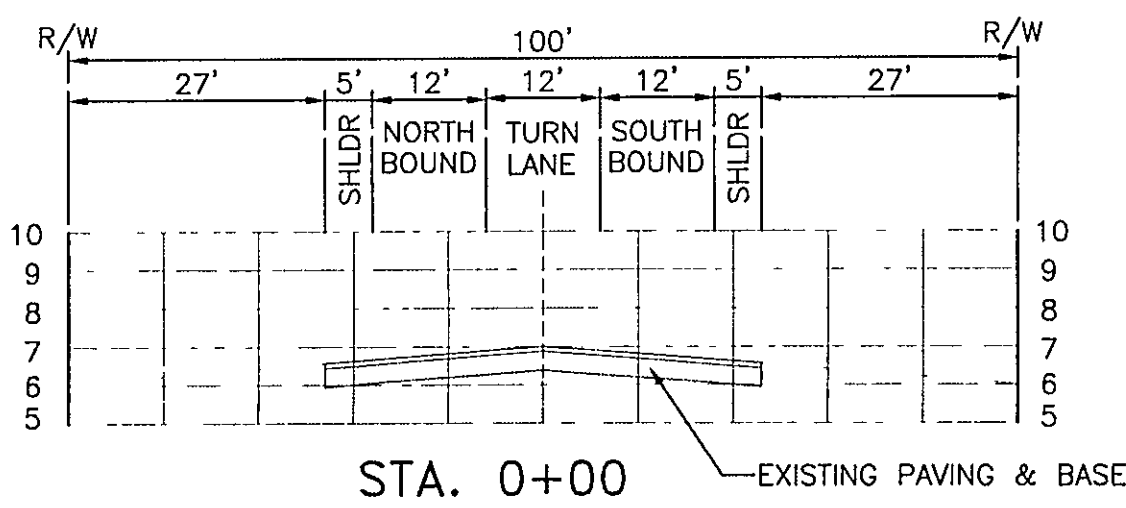
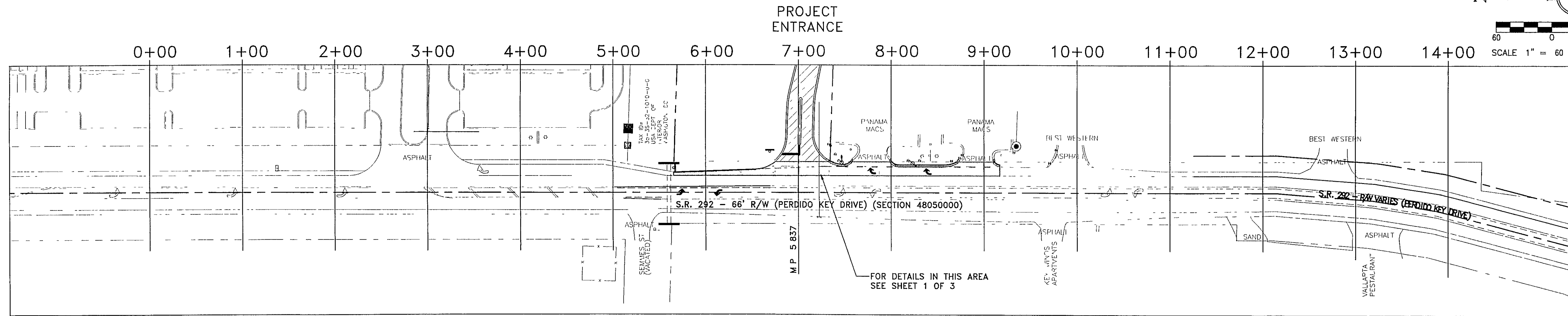
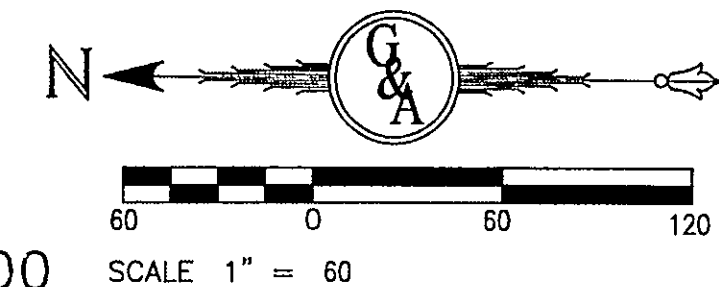
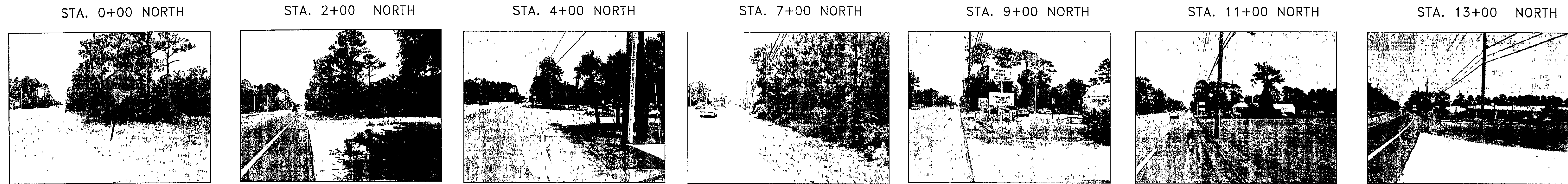
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CONSTRUCTION PLANS FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
FDOT IMPROVEMENTS

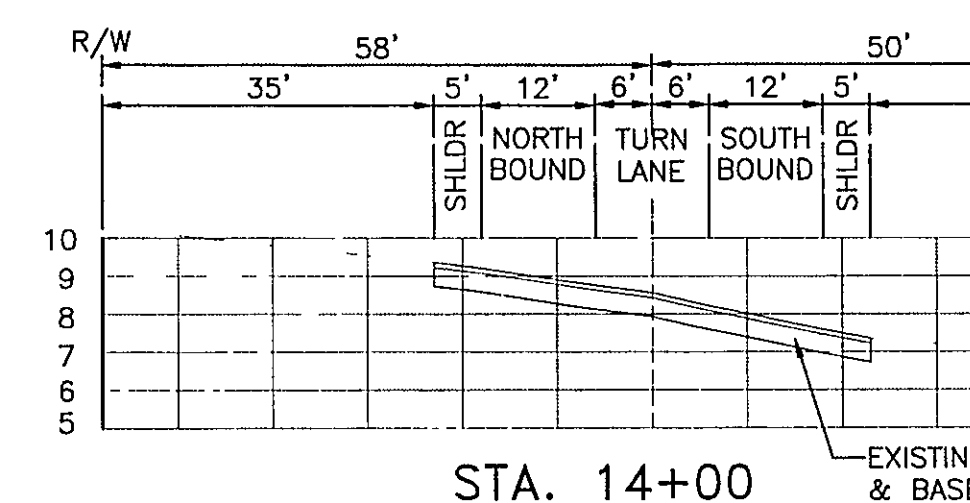
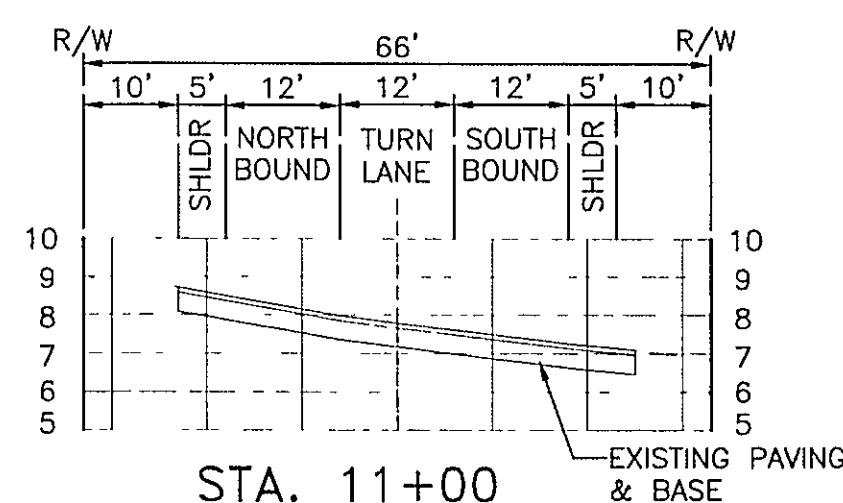
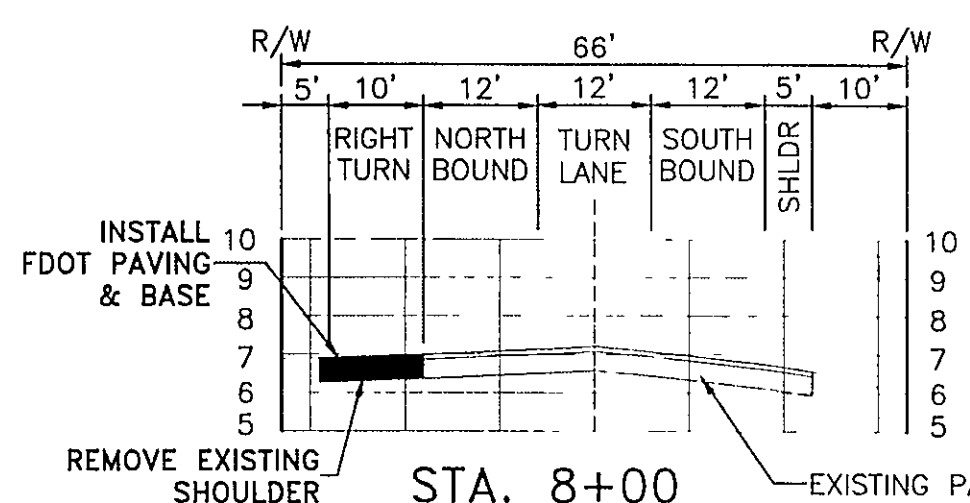
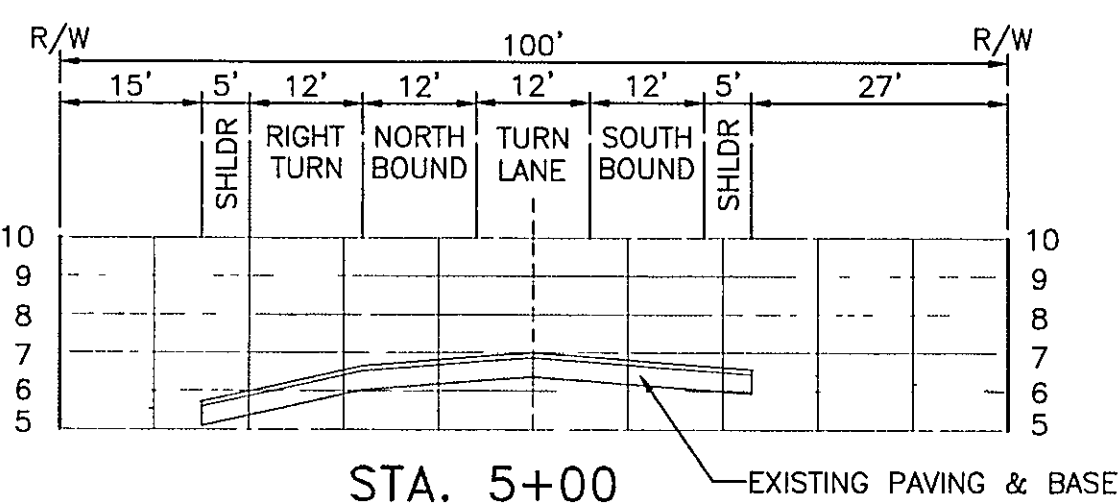
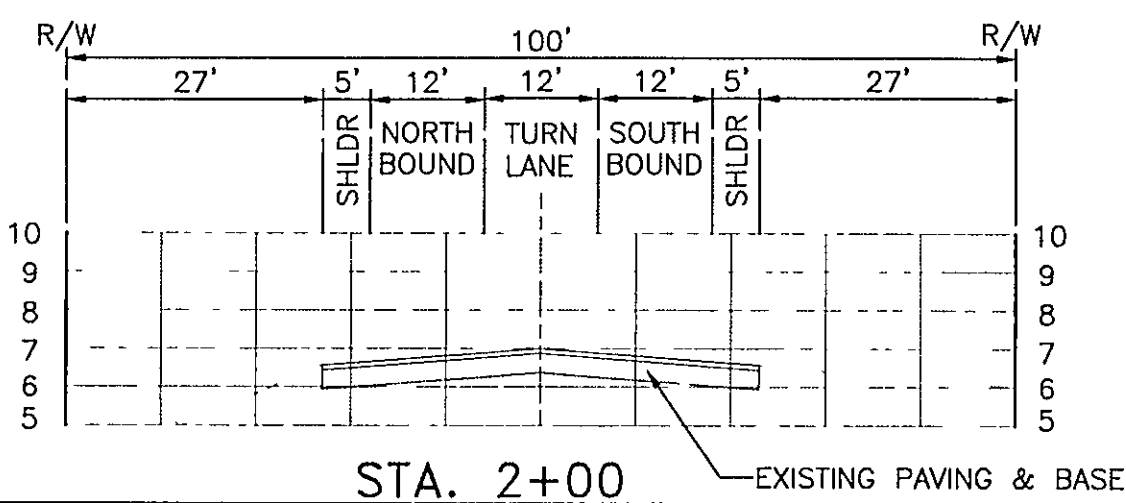
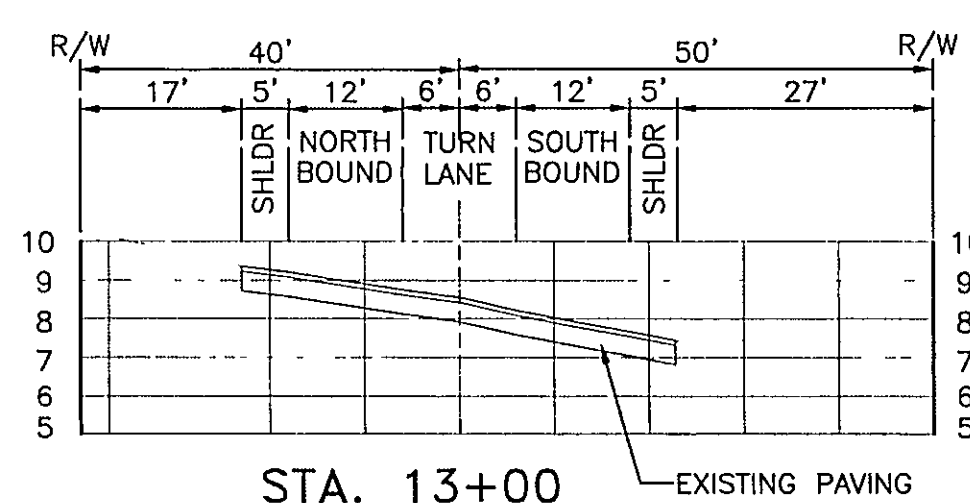
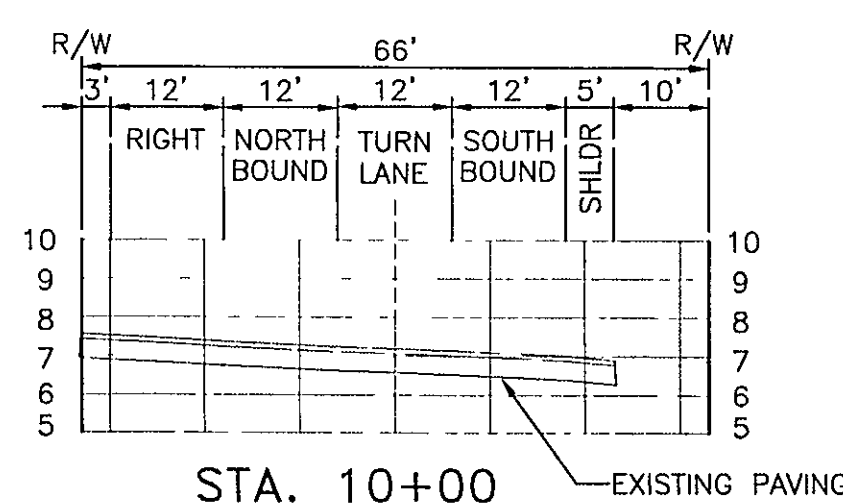
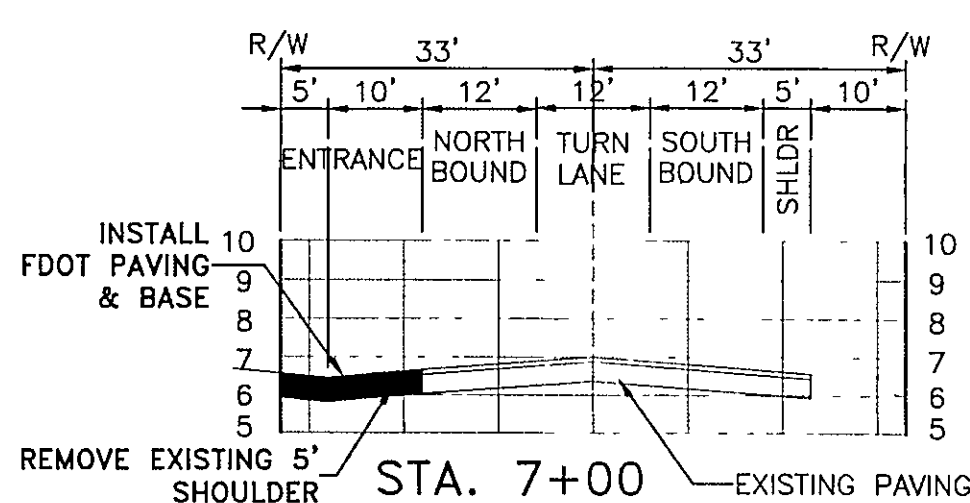
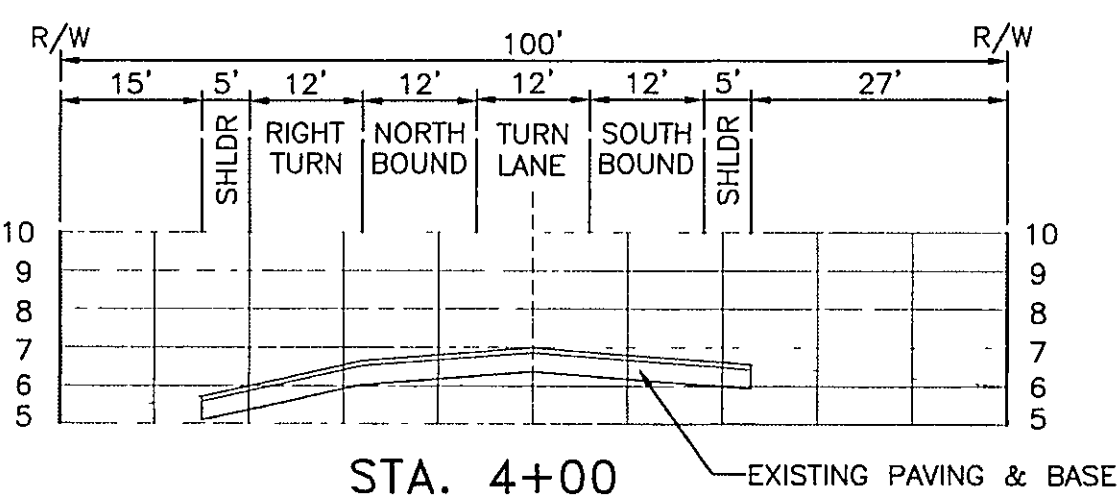
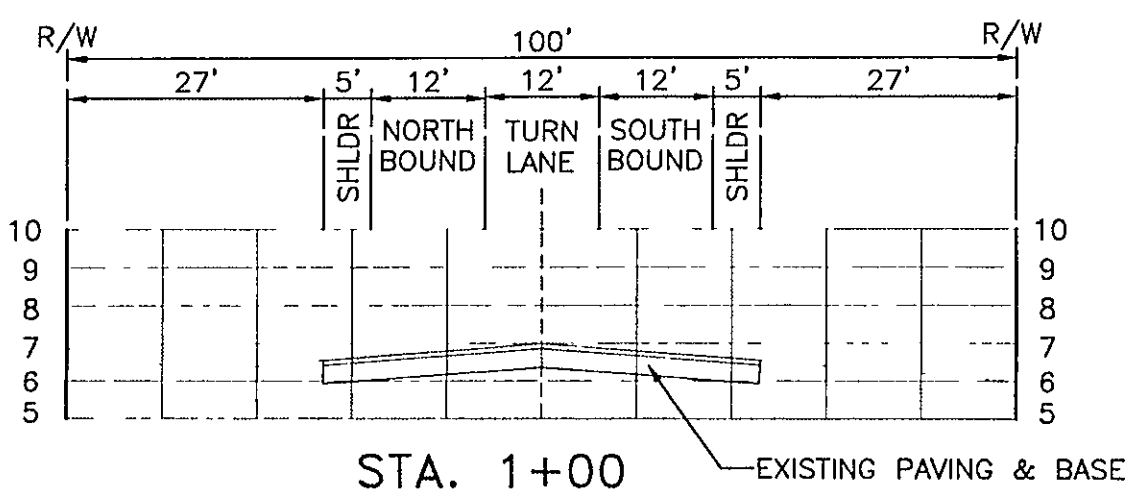
STEVE A. GECI
FLORIDA P.E.# 33658

PROJECT NO
13201

SHEET NO
1 OF 4



SCALE
1"=20' HORZ
1"=5' VERT



CONSTRUCTION PLANS
FOR
PARADISE ISLAND
ESCAMBIA COUNTY, FLORIDA
FDOT IMPROVEMENTS

3/12/08

STEVE A. GECI
FLORIDA P.E. #35658

NOT RELEASED FOR CONSTRUCTION BY

DATE 8/25/04

CHECKED SAG

DRAWN RAM

SCALE AS SHOWN

DESIGNED SAG

DATE 8/25/04

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

Phone (850) 432-2929 - Fax (850) 432-2875

2950 N. 12th Ave. PENSACOLA FL 32503

E N G I N E E R S

GEI & ASSOCIATES, INC.

NO 1

REVISED PER FDOT COMMENTS

DATE 6/1/06

APPR SAG

NO 2

REVISED PER FDOT COMMENTS

DATE 8/7/06

APPR SAG

NO 3

REVISED PER FDOT COMMENTS

DATE 10/25/06

APPR SAG

NO 4

REVISED PER FDOT COMMENTS

DATE 10/25/06

APPR SAG

NO 5

REVISED PER FDOT COMMENTS

DATE 10/25/06

APPR SAG

[illegible]

INSTRUCTION PLANS
FOR
PARADISE ISLAND
BIBIA COUNTY, FLORIDA
NOT DETAILS



THE COUNTY OF ESCAMBIA
PENSACOLA, FLORIDA

**SITE PLAN DEVELOPMENT ORDER
with Concurrency Certification**

Project: Paradise Island

Location: 13571 Perdido Key Drive

Property Reference #s: 35-3S-32-1001-000-00
and 35-3S-32-1100-000-000

Future Land Use: MU-4

Zoning District: R-3PK & CCPK

Development Review #: 07120898

Flood Zone: AE (8' + 3')

PROJECT DESCRIPTION

Development of a 36.31-acre 2-parcel site as a 440-unit condominium complex. The development will include an 18-story 288-unit residential "West Tower" (18 floors above ground-level parking), an 8-story 152-unit residential "East Tower" (8 floors above ground-level parking), a multi-level 288-stall parking garage with ground level recreation center, a 5647 sq.ft. (gross) residential unit owners' storage locker building, a 4821 sq.ft. (gross) registration building, and outdoor swimming pools. A modular sales office will be temporarily installed at the registration building location. The site will have paved primary access on Perdido Key Drive. A gated paved driveway will allow access to Nautilus Court for high-occupancy and emergency vehicles only. A minimum of 677 paved parking spaces will be provided. On-site retention ponds will be constructed to accommodate site impervious cover. Twenty-six "protected" trees will be removed from the site. Replacement trees, buffering for adjoining single-family residential uses, and other required vegetation will be provided within site landscape areas. Potable water and sanitary sewer will be provided through connections to ECUA systems. A lift station and force main will be installed to obtain sewer service. The project proposes to cluster development on uplands to avoid impacts to wetlands under LDC 7.13.04, exceeding the zoning district-specific density limit for the CCPK portion of the site but not exceeding the overall combined site density.

This project is a second revised design of previously approved site plans (DRC #04020014 and #05110001), the last expiring without issuance of implementing permits. **This County approval voids the Development Order for Paradise Island approved 5-3-06 and fully replaces the site development plan, its drawings, specifications, and requirements.**

STANDARD PROJECT CONDITIONS

1. This Development Order with concurrency certification shall be effective for a period of 18 months from the date of approval. Site plan approval and concurrency shall expire and become null and void if a permit for the approved development has not been obtained from the Building Inspections Department (BID) within the effective period and no extension has been applied for. After issuance of such permit, site plan approval and concurrency shall only terminate upon permit expiration or revocation by the BID. The Board of Adjustment may grant one extension for a maximum of 12 months to the original effective period of the Development Order, but application for such extension must be submitted before termination of the initial 18-month period. If the Development Order expires or is revoked, allocated

capacity will be withdrawn and made available to other applicants. If the applicant chooses to proceed with development of the project site, a new site plan application must be submitted for review, approval, and capacity allocations subject to Code provisions and Level of Service conditions at the time of the new application.

2. This Development Order alone does not authorize site development to commence. A valid Escambia County Building Permit must be obtained prior to any building construction. Site development as described on the approved site plan, including protected tree removal and grading, may occur under the authorization of the Building Permit. However, commencement of such activity prior to issuance of a Building Permit will require a separate **Pre-construction Site Work Permit**, or if no Building Permit is applicable will require a separate **Parking Lot Permit**, obtained from the Building Inspections Department, with erosion control, tree protection, and all other provisions of the approved site plan fully applicable and enforced.
3. All specifications and requirements, expressed or implied by note or drawing, in the site development plans approved with this Development Order must be fulfilled.
4. No development activities may commence in areas regulated by state or federal agencies unless all required state and federal permits, or proof of exemption, have been obtained and a copy provided to the County.
5. Proof of application from the Emerald Coast Utilities Authority (ECUA) for connection to the sewage system, or from the Escambia County Health Department for an Onsite Sewage Treatment and Disposal System (OSTD), must be obtained prior to issuance of an Escambia County Building Permit.
6. After issuance of this Development Order, it shall be unlawful to modify, amend, or otherwise deviate from the terms and conditions without first obtaining written authorization through the Development Review Committee (DRC) departments. Approval of such modifications shall be requested in writing and obtained prior to initiating construction of any requested change. The applicable review process for the proposed modification shall be determined based on the applicant's written description of such modifications. Escambia County may require submittal of a new or revised plan and impose additional requirements and/or conditions depending upon the extent of any proposed modifications. The applicant has a continuing obligation to abide by the approved plan. Initiating construction of plan modifications without written County approval shall automatically terminate and render null and void this Development Order, and shall be subject to penalties and/or increased fees specified by the BCC.
7. A copy of this Development Order and the approved site development plans must be maintained and readily available on site once any construction activity has begun, including clearing and grading. The approved building construction plans must also be on site once any building construction has begun.

SPECIAL PROJECT CONDITIONS

1. Total site signage, wall and freestanding, is limited to 126 sq.ft. (168.29 x 1.5 x 0.5). Total wall sign area is additionally limited to 10% of the area of wall surface facing Perdido Key Drive. Freestanding signage is additionally limited to one sign, a maximum 35 feet in height. The freestanding sign is limited to a minimum 10 feet setback from rights-of-way and must maintain visual clearance along rights-of-way and at intersections. A valid Escambia County Sign Permit must be obtained prior to erecting, constructing, altering, or relocating any site signage. These signage conditions do not preclude variances that otherwise may be allowed by the provisions of the LDC.
2. Regardless of the issuance of a building permit or pre-construction site work permit, an Escambia County land disturbance permit is required whenever sand, limestone, white dolomite or other construction aggregate is proposed to be imported onto or transferred on Perdido Key or Santa Rosa Island. A permit application shall be obtained from the Neighborhood and Environmental Services Department (NESD).
3. Permits from both U.S. Army Corps of Engineers (ACOE) and Florida Department of Environmental Protection (FDEP) or letters of non-jurisdiction/exemption shall be obtained by the developer and submitted to Escambia County prior to the commencement of any development activity within, or otherwise having an impact on, areas identified as jurisdictional wetlands.
4. Under the clustering provisions of LDC 7.13.04, prior to the issuance of building permits a conservation easement shall be recorded in the public records of Escambia County for all portions of the development reserved exclusively as permanent open space.
5. Permits from both U.S. Fish and Wildlife Service (USFWS) and Florida Fish and Wildlife Conservation Commission (FWC) or letters of non-jurisdiction/exemption shall be obtained by the developer and submitted to Escambia County prior to the commencement of any development activity within, or otherwise having an impact on, areas identified as Perdido Key Beach Mouse Habitat.
6. A County-approved wetland mitigation plan shall be required prior to the issuance of a pre-construction site work permit, building permit or any activity that may otherwise impact onsite wetlands.
7. Access to or from Nautilus Court will not be allowed for any construction related activity.
8. No construction vehicles, equipment, or supplies, and no contractors' vehicles workers' vehicles, or suppliers' vehicles, may be parked within public right-of-way.
9. The temporary sales office shall be removed within 24 months from the date of this approval if construction of the approved permanent development has not begun, and shall be removed within 90 days from the date of issuance of the certificate of occupancy of the permanent development.

10. Since the storage building's finished floor elevation (FFE) will not be above the base flood elevation of 11 feet (8+3), the building will be required to be flood-proofed; either wet (flood water allowed to flow through) or dry (flood water entry prevented). This condition will be implemented during building construction plan review by the Building Inspections Department.
-

Development Review Committee (DRC) Final Determination

Having completed development review of the revised **Paradise Island** site plan application referenced herein, in accordance with requirements of applicable Escambia County regulations and ordinances, the DRC makes the following final determination:

- ☒ Approve The development plan is approved. The applicant may proceed with the development subject to the project description and project conditions noted herein. Use other than that described, or conditions not satisfied, constitute a violation of this Development Order and render it void. Further, this approval does not constitute approval by any other agency.
- ☐ Deny The development plan is denied for the reasons noted below. The applicant may appeal the decision within 15 days from the date below to the Board of Adjustment (BOA) under the provisions of Section 2.04.00 of the Escambia County Land Development Code, and/or submit a new or revised site plan application for review.



Director, Planning and Engineering Department



Date



Development Services Department

Building Inspections Division

3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **617640**

Date Issued. : 09/12/2014

Cashier ID : VHOWENS

Application No. : PBA140900014

Project Name : EX-2014-02

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	1499	\$211.75	App ID : PBA140900014
		\$211.75	Total Check

Received From : LARRY J ANCHORS / ROY FORD PARADISE ISLAND VENTURE, LLC

Total Receipt Amount : **\$211.75**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA140900014	708924	211.75	\$0.00	13571 PERDIDO KEY DR, PENSACOLA, FL

Total Amount :

211.75

\$0.00

Balance Due on this/these
Application(s) as of 9/12/2014

Board of Adjustment**6. 3.**

Meeting Date: 10/15/2014
CASE: V-2014-11
APPLICANT: E. Dean Dalrymple, Agent for Carolyn L. Patterson
ADDRESS: 3012 Barrancas Ave.
PROPERTY REFERENCE NO.: 59-2S-30-2101-000-012
C-2, General
Commercial and Light
ZONING DISTRICT: Manufacturing District
MU-U, Mixed-Use
FUTURE LAND USE: Urban

SUBMISSION DATA:**REQUESTED VARIANCE:**

The Applicant is seeking a variance to allow for zero side setbacks for the construction of a single-family home. In addition, the Applicant requests an exception to the marine/estuarine/riverine (MERS) setback. This request will be handled administratively and requires no BOA action.

RELEVANT AUTHORITY:

**Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended),
Section: 6.05.16.H**

Side yard. The yard required on each side of buildings not exceeding three stories in height shall be ten percent of the lot width measured at the front building line or 10 feet, whichever is less; however, required side yards shall not be less than five feet on each side. For buildings exceeding three stories, each side yard shall be increased by two feet for each additional story or each additional ten feet in height.

CRITERIA

**Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended),
Section 2.05.02**

CRITERION (1)

That there are special circumstances or conditions applicable to the building or land in question that are peculiar to such property that do not apply generally to other land or buildings in the vicinity.

FINDINGS-OF-FACT

Section 2.05.02 of the Land Development Code defines special circumstances or conditions specifically as follows: "Such special conditions shall be limited to unusual physical

characteristics inherent in the specific piece of property and not common to properties similarly situated. Such physical characteristics include, but are not limited to, exceptional narrowness, shallowness, shape, topographic conditions, or the presence of sensitive environmental resources, any or all of which will result in peculiar or practical difficulties in the quiet enjoyment and use of the property”.

The lot in question pre-dates the LDC and is much narrower than called for in the zoning requirements. This situation presents clear, practical difficulties in the use of the property for a single-family residence as allowed by code. The required zoning setbacks would unreasonably reduce the buildable area and constitute a hardship for a lot this size.

CRITERION (2)

That the variance is necessary for the preservation and enjoyment of a substantial property right and not merely to serve as a convenience to the Applicant.

FINDINGS-OF-FACT

The requested variance is necessary for the preservation and enjoyment of a substantial property right due to the physical limitations of the site.

CRITERION (3)

That such a variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

FINDINGS-OF-FACT

This variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

CRITERION (4)

The variance will not, in any manner, alter other provisions of this Code or Comprehensive Plan.

FINDINGS-OF-FACT

This variance will not alter other provisions of the Land Development Code or Comprehensive Plan.

CRITERION (5)

That the variance is the minimum necessary to make possible the use of the land, building or other improvements as approved by the BOA.

FINDINGS-OF-FACT

Given the unique size and topography of this lot, the requested variance is necessary to make reasonable use of the lot.

STAFF RECOMMENDATION:

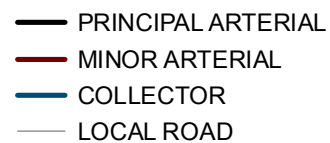
Staff finds that the Applicant does meet all of the required criterion and approval of the request is recommended.

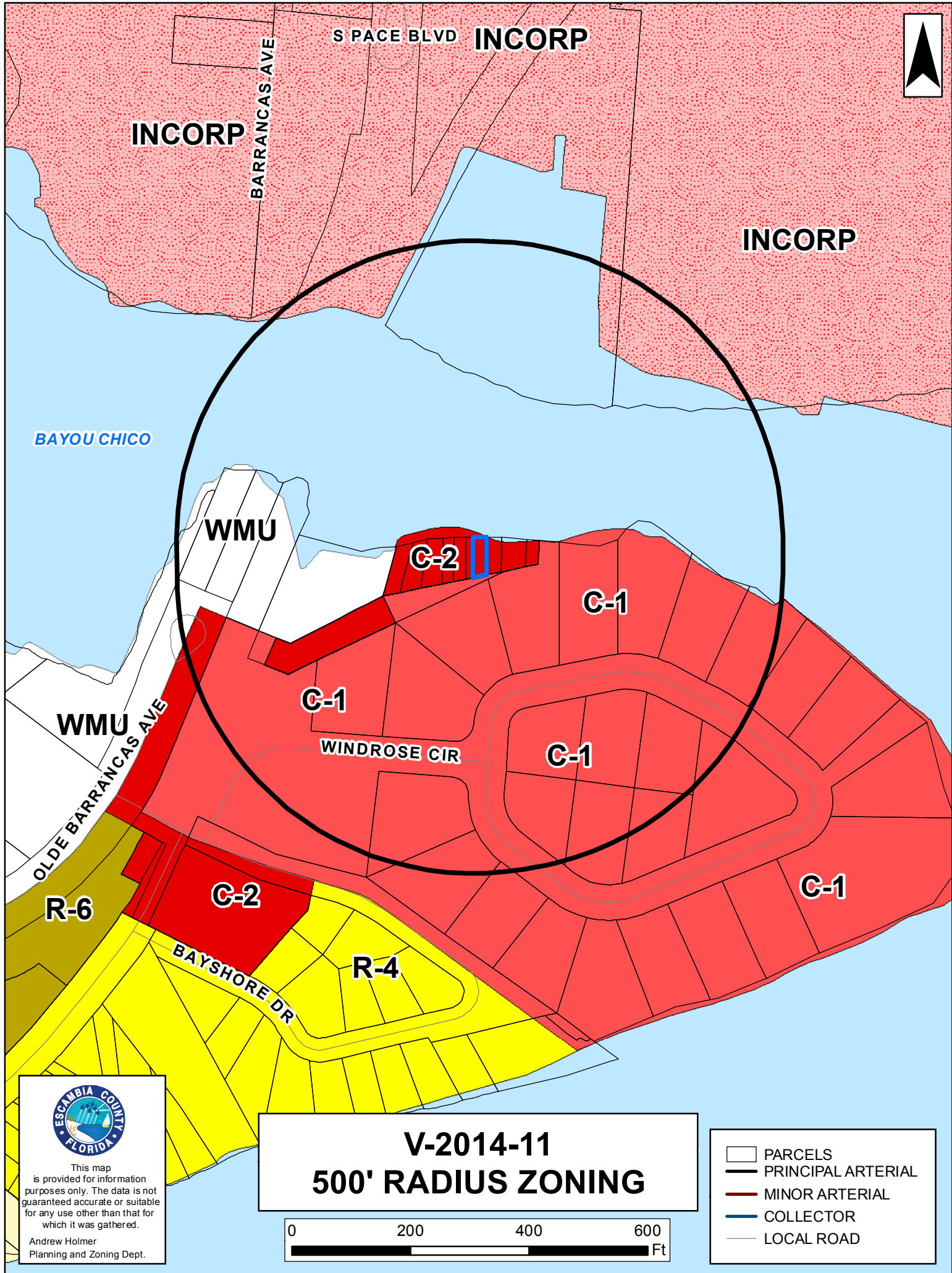
BOARD OF ADJUSTMENT FINDINGS:

Attachments

V-2014-11 Working Case File

V-2014-11







**CITY OF
PENSACOLA**

**CITY OF
PENSACOLA**

BAYOU CHICO

BARRANCAS AVE

S PACE BLVD

OLDE BARRANCAS AVE

MU-U

WINDROSE CIR

MU-U

MU-U

BAYSHORE DR

MU-U



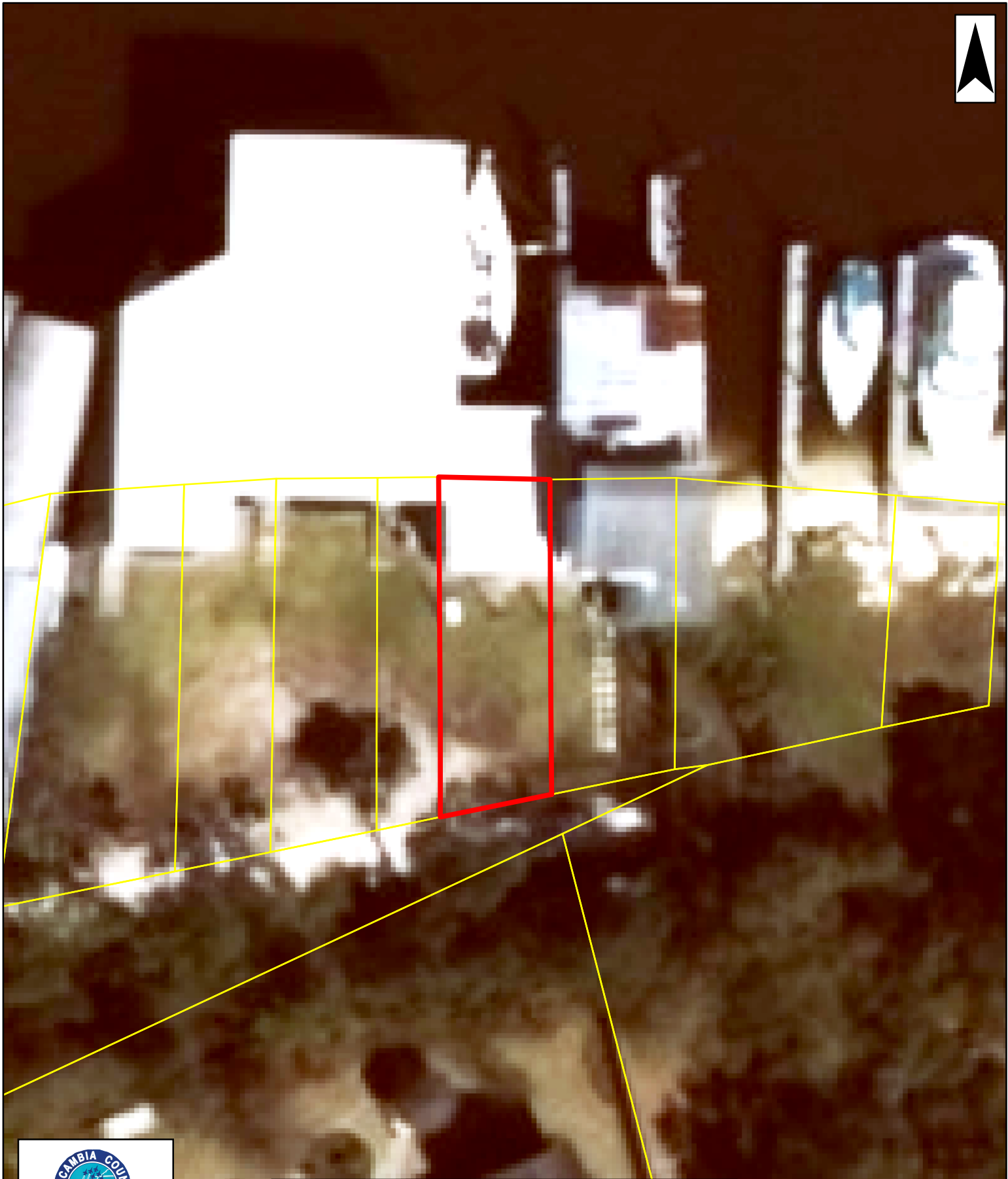
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Andrew Holmer
Planning and Zoning Dept.

V-2014-11 FUTURE LAND USE

0 200 400 600
Ft

- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2014-11 AERIAL MAP



- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD

Variance Request Letter

Date: Friday, August 22, 2014

Project: Patterson Cottage and Boathouse
3012 Old Barrancas Avenue
Pensacola, FL

Recipient: Escambia County – Board of Adjustments

Board members,

As agent for the property owner, Carol L. Patterson, of 3012 Barrancas Avenue, I am requesting two setback variances for said property to allow for the construction of a piling supported, wood-framed, single-family residence.

The property is located on the Western shore of Bayou Chico and legally described as Lot 12 and Lot 'L' of a subdivision portion of Brent Island, lying in Section 59, Township 2 South, Range 30 West, Escambia County, Florida, as shown in Plat book 4 at Page 78. Current listed use is Miscellaneous Residential per Escambia County Property Appraiser. The property is zoned C-2 Esc. Co. and located in a AE-8 Flood Zone.

Existing improvements on the site are a 558 SF piling supported boathouse with boat slip. The subject property width is 22.6 feet and depth is 62.8 feet (per plat) with an 18 foot wide easement along the West property line for a private road.

The variance request is to allow zero lotline side setback; *current zoning states residential site requirements shall be the same as R-6.*

R-6 Side yard. The yard required on each side of buildings not exceeding three stories in height shall be ten percent of the lot width measured at the front building line or 10 feet, whichever is less; however, required side yards shall not be less than five feet on each side. For buildings exceeding three stories, each side yard shall be increased by two feet for each additional story or each additional ten feet in height. However, no side yard in excess of 15 feet is required on Pensacola Bay-front lots. No side yards are required for attached townhouse or zero lot line projects except at the end of each building within a project where a minimum of ten feet shall be required. On property abutting estuarine, riverine or creek systems, the setback shall be in accordance with the marine/estuarine/riverine setback (MERS) provision of this Code (article 7) or 25 feet, whichever is greater. In the case of multifamily projects, there shall be a project side yard having a depth of not less than five feet.

and 15 feet variance to the 30 feet MERS provision based on the waterward exception defined in Article 7 of the LDC that states:

C.Exceptions. The following exceptions to the marine/estuarine/riverine setback (MERS) line are provided:

Waterward exception. If the applicant requests siting of a structure or conducting an activity prohibited by this article waterward of the MERS line by no more than 15 feet and no wetlands or highly eroding lands are present between the MERS line and the water's edge, as determined by a wetlands inventory map or a copy of the most current Federal Emergency Management Agency Floodway Flood Boundary and Floodway Map or an on-site inspection.

The following list addresses the criteria defined by the Board of Adjustment and LDC required to authorize these requested variances.

1. The 22 foot width of the property creates a condition that can not comply with the side yard requirements of the code for single-family development. Two parcels within the Brent Island S/D currently have existing single-family residences with minimal side yards of 5 feet or less. The directly adjacent parcel (Lot 13) has a multi-story piling supported single-family residence (built in 1980) with zero lotline setback and partial located over the water of Bayou Chico. Parcel (Lot 7) also has a piling supported single family residence (built 1972) which encroaches upon the MERS setback.

2. The side yard variance is required for the owner to preserve and enjoy the property similarly as the adjacent/near vicinity property owners.
3. The approval of either variance will not diminish the health, safety, comfort, or general welfare of the near vicinity property owners.
4. These variances will not alter other provisions of the code or comprehensive plan.
5. These variances are the minimum necessary to make use of the property and improvements and to construct a suitable single-family residence.

Sincerely,

E. Dean Dalrymple

APPLICATION

Please check application type:

- ☐ Administrative Appeal
☐ Development Order Extension

- ☐ Conditional Use Request for: _____
☒ Variance Request for: Setbacks
☐ Rezoning Request from: _____ to: _____

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: Carolyn L Patterson

Phone: _____

Address: 107 Seamarge Circle, Pensacola, FL 32507Email: clpat@me.com

☒ Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 3012 Barrancas AvenueProperty Reference Number(s)/Legal Description: LT 12 AND LT L S/D PORTION OF BRENT ISLAND PB 4 P 78 OR 7164 P 815 CA 193

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Signature of Owner/Agent

Printed Name Owner/Agent

Date

Signature of Owner

Printed Name of Owner

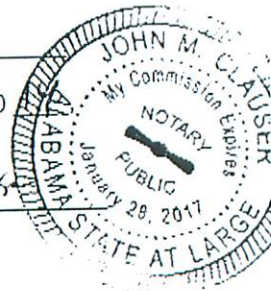
Date

STATE OF AlabamaCOUNTY OF JeffersonThe foregoing instrument was acknowledged before me this 21st day of August 2014
by Carolyn PattersonPersonally Known ☐ OR Produced Identification ☒ Type of Identification Produced: Driver's License

Signature of Notary

(notary seal must be affixed)

Printed Name of Notary



FOR OFFICE USE ONLY

CASE NUMBER: V-2014-11Meeting Date(s): 09-17-14Accepted/Verified by: DA & DLDate: 08-22-14Fees Paid: \$ 423.50Receipt #: 615989Permit #: PBA 140800013

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at 3012 Barrancas Avenue

Florida, property reference number(s) 592S302101000012

I hereby designate Dean Dalrymple for the sole purpose of completing this application and making a presentation to the:

☐ Planning Board and the Board of County Commissioners to request a rezoning on the above referenced property.

☒ Board of Adjustment to request a(n) VARIANCE on the above referenced property.

This Limited Power of Attorney is granted on this 21st day of August the year of, 2014, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: Dean Dalrymple

Email: dean@dalsal.com

Address: 213 S. Baylen Street

Phone: 850-470-6399

[Signature]
Signature of Property Owner

CRACKEN L. VATTERSON
Printed Name of Property Owner

8/21/14
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF Alabama

COUNTY OF Jefferson

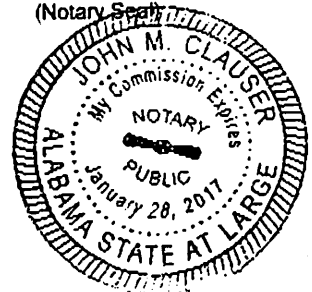
The foregoing instrument was acknowledged before me this 21st day of August 20 14,
by Carlton Peterson

Personally Known ☐ OR Produced Identification ☒ Type of Identification Produced: Driver's license

[Signature]
Signature of Notary

John M. Clauser
Printed Name of Notary

(Notary Seal)



Prepared by and return to:

Janice S. Sugar

David A. Sapp, Attorney at Law, PLLC

801 E. Cervantes Street, Suite B

Pensacola, FL 32501

850-475-0500

File Number: 14-04-01-DAS

Will Call No.: 092014-261

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Trustee's Deed

This Trustee's Deed made this 28th day of April, 2014, between Louis M. Makarowski and Marilyn H. Makarowski, as Trustees of the Makarowski Living Trust dated November 6, 2006, and Louis M. Makarowski and Marilyn H. Makarowski, husband and wife, individually, whose post office address is 5120 Bayou Blvd., Suite 6, Pensacola, FL 32503, grantor, and Carolyn L. Patterson, a married woman, whose post office address is 107 Seamarge Circle, Pensacola, FL 32507, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantees heirs and assigns forever, the following described land, situate, lying and being in Escambia County, Florida, to-wit:

LOTS 12 AND L OF A SUBDIVISION PORTION OF BRENT ISLAND, LYING IN SECTION 59, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS SHOWN IN PLAT BOOK 4 AT PAGE 78, DATED THE 6TH DAY OF MARCH, 1958, AS RECORDED IN THE OFFICIAL RECORDS OF ESCAMBIA COUNTY, FLORIDA.

Subject to all easements which are visible or a matter of public record and particularly subject to all agreements contained in the Articles of Association dated February 26, 1982, and recorded March 1, 1982, in Official Records Book 1621 at pages 137-143 of the public records of Escambia County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: DAVID A. SAPP

[Signature]
Witness Name: JANICE S. SUGAR

[Signature]
Witness Name: DAVID A. SAPP

[Signature]
Witness Name: JANICE S. SUGAR

Louis M. Makarowski Trustee
Louis M. Makarowski, Trustee

[Signature]
Louis M. Makarowski, individually

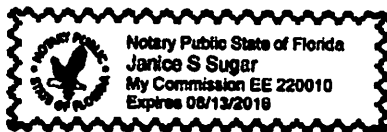
Marilyn H. Makarowski Trustee
Marilyn H. Makarowski, Trustee

Marilyn H. Makarowski
Marilyn H. Makarowski, individually

State of Florida
County of Escambia

The foregoing instrument was acknowledged before me this 28th day of April, 2014, by Louis M. Makarowski and Marilyn H. Makarowski, individually and as Trustees of the Makarowski Living Trust dated November 6, 2006, who ☐ are personally known or ☒ have produced a driver's license as identification.

[Notary Seal]



[Signature]
Notary Public

Printed Name: Janice S. Sugar

My Commission Expires: August 13, 2016

RESIDENTIAL SALES ABUTTING ROADWAY MAINTENANCE DISCLOSURE

ATTENTION: Pursuant to Escambia County Code of Ordinances Chapter 1-29.2, Article V, sellers of residential lots are required to disclose to buyers whether abutting roadways will be maintained by Escambia County. The disclosure must additionally provide that Escambia County does not accept roads for maintenance that have not been built or improved to meet county standards. Escambia County Code of Ordinances Chapter 1-29.2, Article V requires this disclosure be attached along with other attachments to the deed or other method of conveyance required to be made part of the public records of Escambia County, Florida. Note: Acceptance for filing by County employees of this disclosure shall in no way be construed as an acknowledgment by the County of the veracity of any disclosure statement.

Name of Roadway: 3012 Barrancas Avenue

Legal Address of Property: 3012 Barrancas Avenue, Lots 12 and L, Brent Island, Pensacola, FL 32507

The County () has accepted (☒) has not accepted the abutting roadway for maintenance.

This form Completed by: David A. Sapp, Attorney at Law, PLLC
801 E. Cervantes Street, Suite B, Pensacola, FL 32501

AS TO SELLER(S):

Louis M. Makarowski, Trustee
Seller's Name: Louis M. Makarowski, Trustee

Jammi S. Sugar
Witness' Name: JANICE S. SUGAR

Marilyn H. Makarowski, Trustee
Seller's Name: Marilyn H. Makarowski, Trustee

Jammi S. Sugar
Witness' Name: JANICE S. SUGAR

AS TO BUYER(S):

Carolyn L. Patterson
Buyer's Name: Carolyn L. Patterson

Jammi S. Sugar
Witness' Name: JANICE S. SUGAR

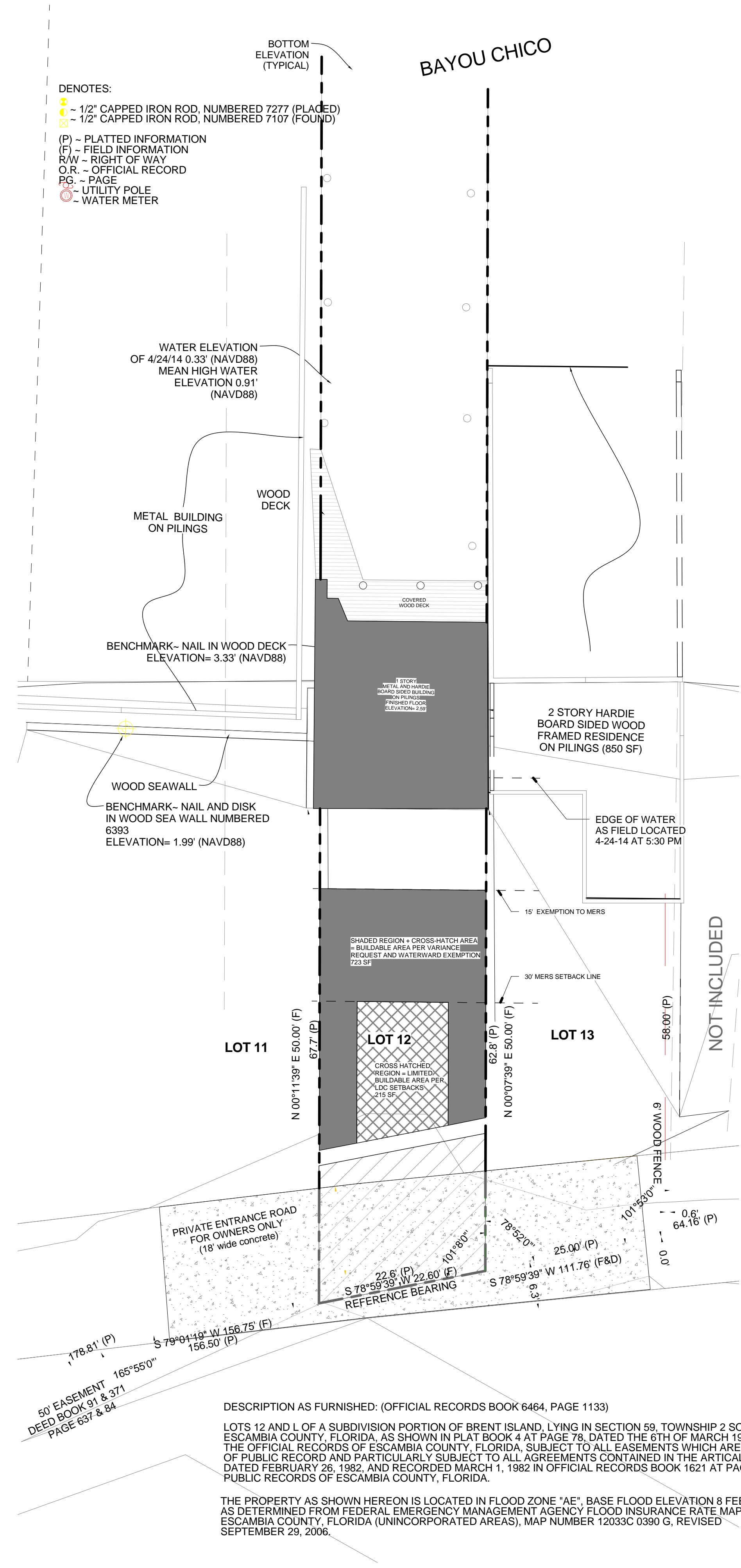
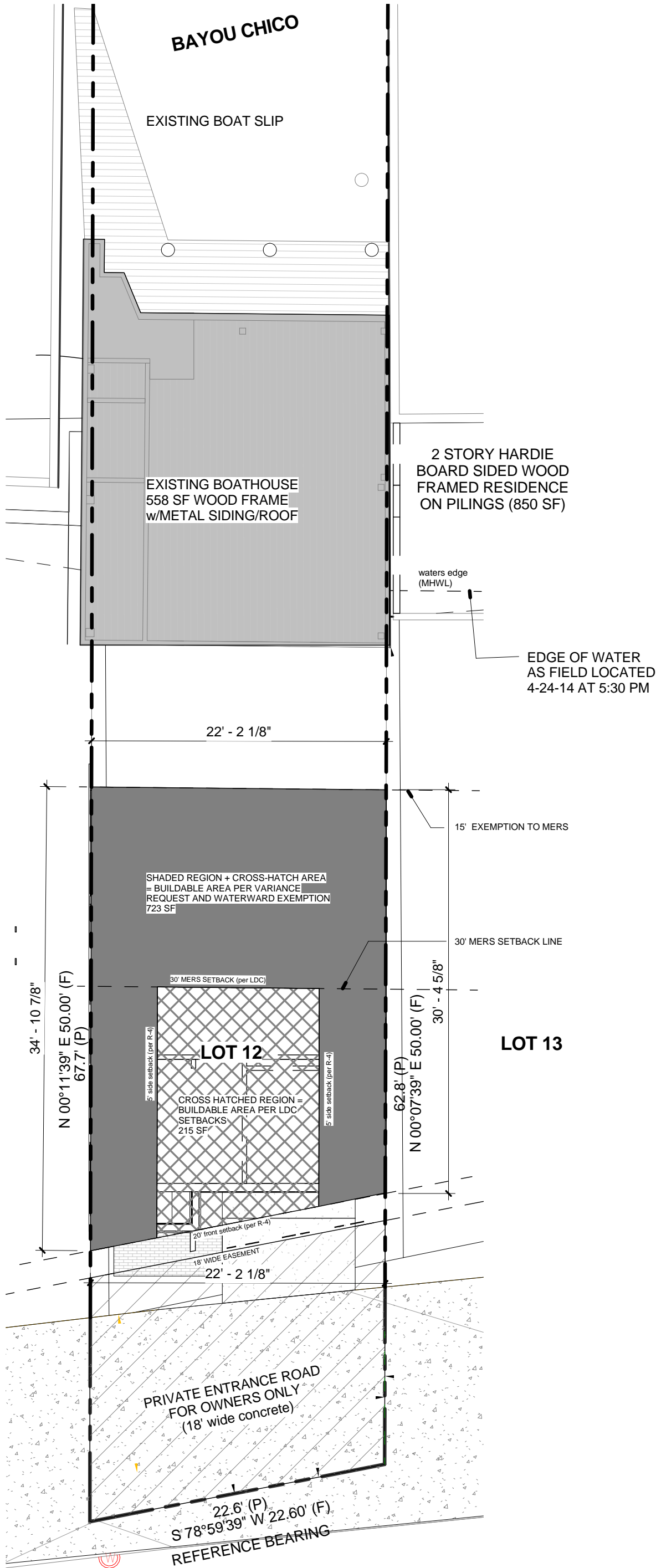
Buyer's Name: _____

Witness' Name: _____


THIS FORM APPROVED BY THE
ESCAMBIA COUNTY BOARD
OF COUNTY COMMISSIONERS
Effective 4/15/95
File No.: 14-04-01-DAS



2 ENLARGED SITE PLAN
1/8" = 1'-0"



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"



dalrymple | sallis
architecture

213 S. Baylen St
Pensacola, FL 32502
v: 850-470-6399
f: 850-470-6397
www.dalsal.com

AR 0016385

THIS DOCUMENT SHOWS ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED IN ANY PART WITHOUT WRITTEN CONSENT OF THE FIRM'S PRINCIPALS

CERTIFICATION

NOT FOR CONSTRUCTION

Patterson Boathouse Residence

3012 Old Barrancas Avenue
Pensacola, Florida 32507

DRAWN BY:	CHECKED BY:	
EDD	JSS	
ISSUE DATE:		
07/10/14		
REVISIONS	Des.	Date
No.		

SHEET TITLE:

SITE PLAN

SHEET NO:

C101

PROJECT NO:
14020



Escambia County
Development Services Department
3363 West Park Place
Pensacola, FL 32505

PATTERSON CAROLYN L
107 SEAMARGE CIR
PENSACOLA, FL 32507

In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.



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Pensacola, FL 32505

UNIVERSAL REALTY INVESTMENTS INC
4060 BARRANCAS AVE
PENSACOLA, FL 32507

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PO BOX 13630
PENSACOLA, FL 32591

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PENSACOLA, FL 32507

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PENSACOLA, FL 32507**

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Pensacola, FL 32505

**HARBOUR POINTE INC C/O ETHERIDGE
PROPERTY MGMT
908 GARDENGATE CIR
PENSACOLA, FL 32504**

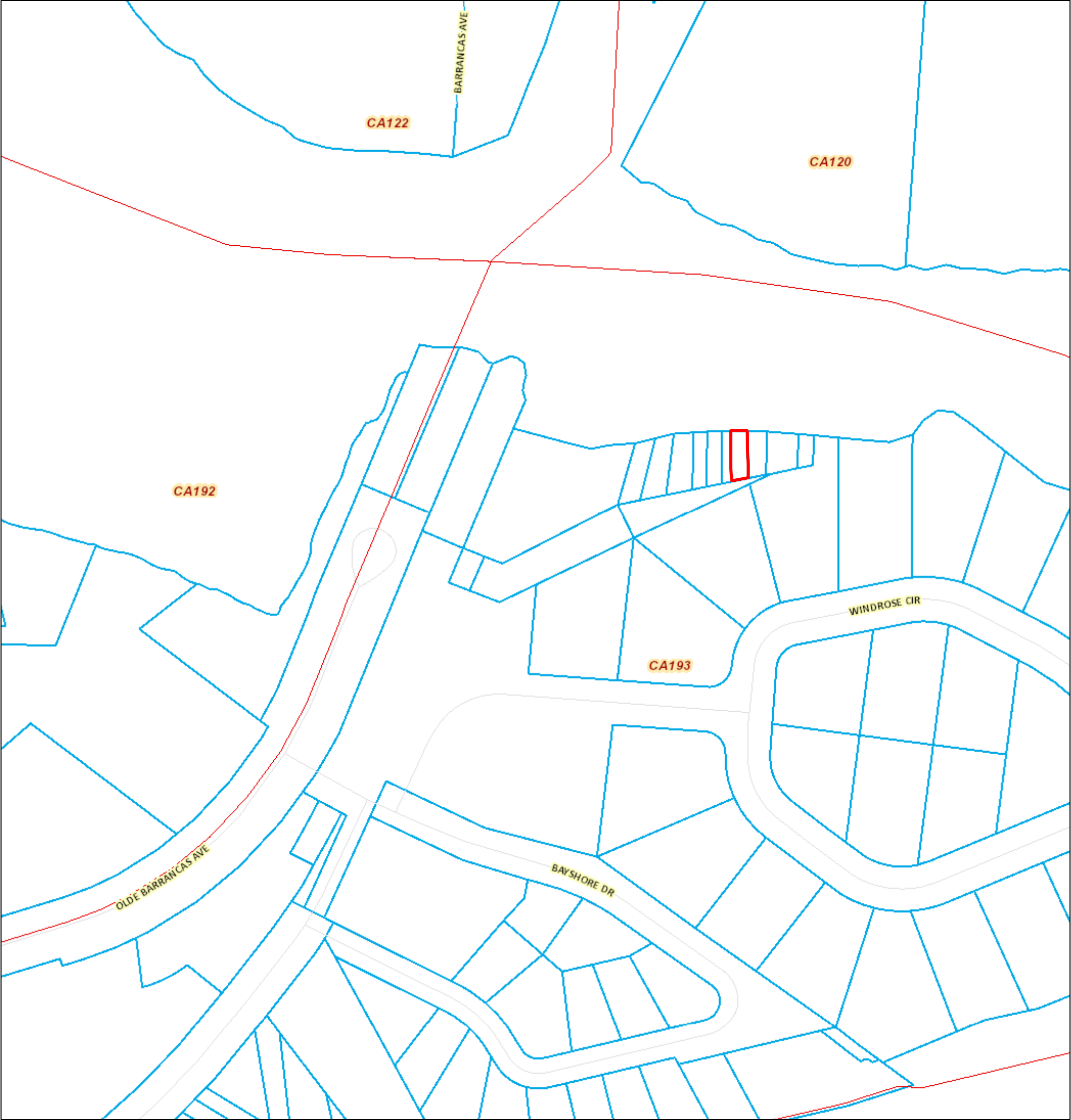
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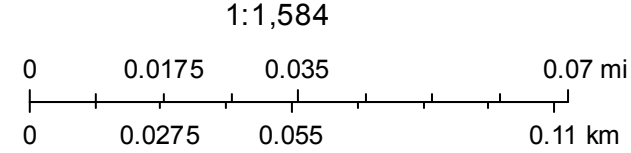
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Chris Jones Escambia County Property Appraiser



August 22, 2014

- Map Grid
- City Road
- County Road
- Interstate
- State Road
- US Highway
- All Roads
- Property Line





Development Services Department

Building Inspections Division

3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **615989**

Date Issued. : 08/22/2014

Cashier ID : VHOWENS

Application No. : PBA140800013

Project Name : V-2014-11

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	2601	\$423.50	App ID : PBA140800013
		\$423.50	Total Check

Received From : BROUGHTON BRENDA

Total Receipt Amount : **\$423.50**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA140800013	707286	423.50	\$0.00	3012 BARRANCAS AVE, PENSACOLA, FL, 32507

Total Amount :

423.50

\$0.00

Balance Due on this/these
Application(s) as of 8/22/2014



BOARD OF COUNTY COMMISSIONERS
ESCAMBIA COUNTY, FLORIDA

DEVELOPMENT SERVICES DEPARTMENT
3363 WEST PARK PLACE
Pensacola, FL 32505
(850) 595-3475 - Phone
(850) 595-3481 - FAX
www.myescambia.com

Development Services
Department

Horace L. Jones
Interim Director

ESCAMBIA COUNTY BOARD OF ADJUSTMENT

All items with an asterisk * are required.

Please Print Clearly

*Name: DEAN DALRYMPLE Phone: _____

*Address: 213 S. BAYLEN ST. *City, State, and Zip: PENSACOLA FL 32502

*Agenda Item (CASE NO. #) V-2014-11 Meeting Date: 9/17/14

✓ Please check here if you are: ☒ In Favor ☐ Against

Accepted by Board as an Expert: ☐ Yes ☐ No

_____ Please check here if you do not wish to speak: Present for the record only.

Chamber Rules

1. All who wish to speak will be heard.
2. You must sign up to speak. This form must be filled out and given to the Clerk in order to be heard.
3. When the Chairman calls your name to speak, please come to the podium, adjust the microphone so you can be heard clearly, then state your NAME and ADDRESS for the record.
4. You are requested to keep your remarks BRIEF and FACTUAL.
5. Both sides of an issue will be granted uniform time to speak, normally 3 – 5 minutes.
6. Should there be a need for information to be handed out, the procedure is:
 - A. Copies are given to the Clerk for distribution.
 - B. Clerk distributes copies to the Board members and staff (13 total copies are needed)
 - C. One copy is placed in the official meeting file.



BOARD OF COUNTY COMMISSIONERS ESCAMBIA COUNTY, FLORIDA

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*Common
Wall*

Development Services
Department

Horace L. Jones
Interim Director

ESCAMBIA COUNTY BOARD OF ADJUSTMENT

All items with an asterisk * are required.

Please Print Clearly

*Name: MARILYN ALESS Phone: 456-7401
*Address: 545 WINDROSE *City, State, and Zip: PENSA COLA
*Agenda Item (CASE NO. #) 4-2014-11 Meeting Date: 9/17/2014

_____ Please check here if you are: () In Favor (X) Against

Accepted by Board as an Expert: () Yes () No

_____ Please check here if you do not wish to speak: Present for the record only.

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Board of County Commissioners • Escambia County, Florida

Horace L. Jones, Interim Director
Development Services

September 18, 2014

Carolyn L. Patterson
107 Seamarge Circle
Pensacola, FL 32507

RE: Notification of Board of Adjustment (BOA) Action on September 17, 2014, Variance
Case # V-2014-11, 3012 Barrancas Avenue

Request to allow for zero side setbacks for the construction of a single-family home.

Dear Applicant:

This letter is to inform you of the Board's action to continue your variance case to the
October 15, 2014 BOA meeting.

Should you have any questions or comments, please contact our office at 850-595-3466.

Sincerely,

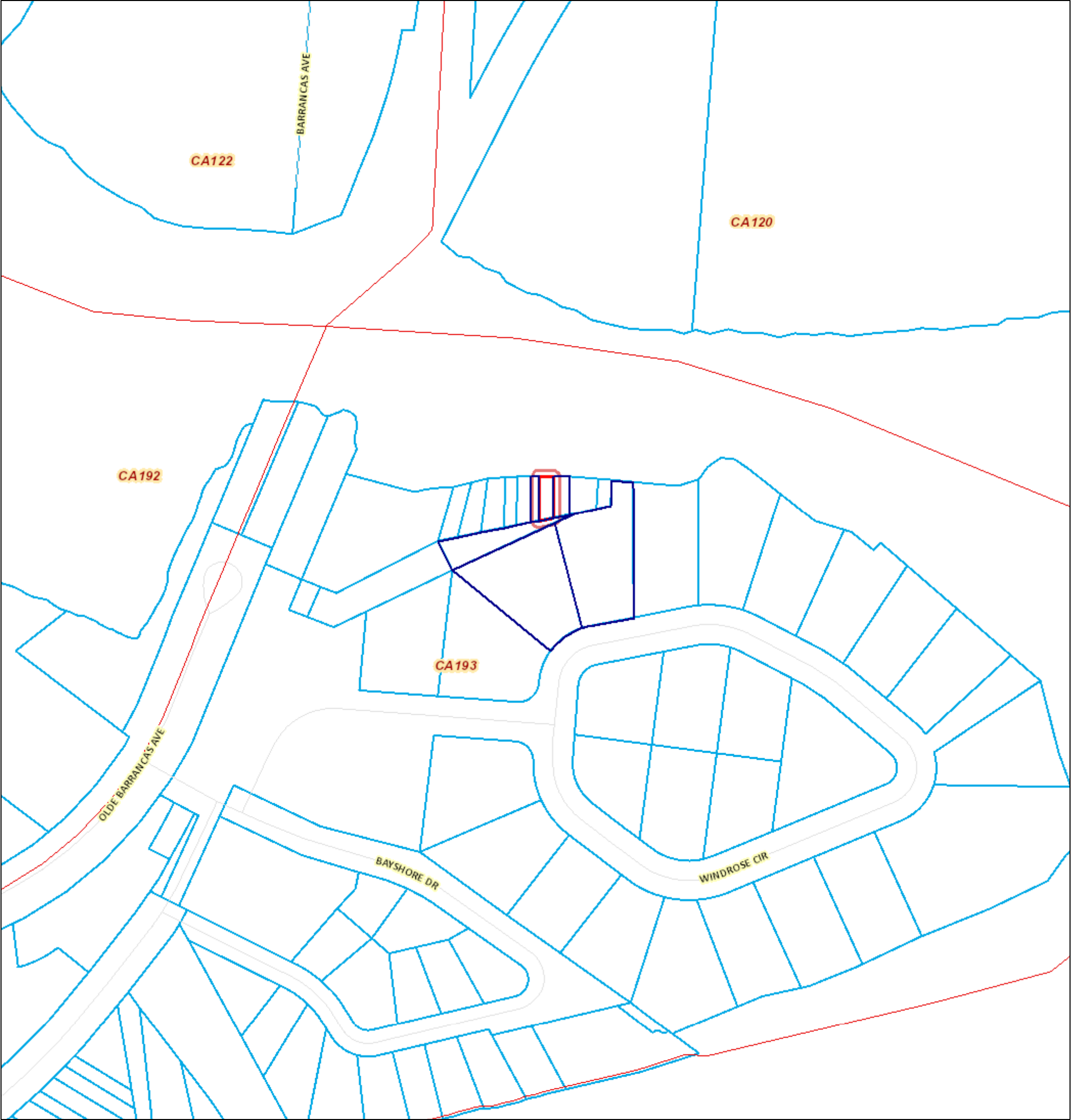
A handwritten signature in blue ink, appearing to read "AD Holmer".

Andrew D Holmer
Sr. Urban Planner

/dfi

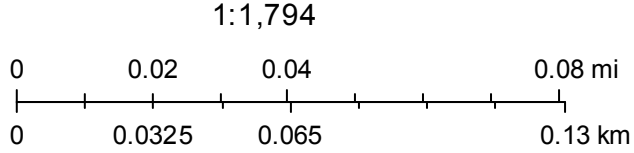
cc: Kristin Hual, Assistant County Attorney

Chris Jones Escambia County Property Appraiser



September 26, 2014

- Map Grid
- City Road
- County Road
- Interstate
- State Road
- US Highway
- All Roads
- Property Line





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