

AGENDA  
ESCAMBIA COUNTY BOARD OF ADJUSTMENT  
September 17, 2014–8:30 a.m.  
Escambia County Central Office Complex  
3363 West Park Place, Room 104

1. Call to Order.
2. Swearing in of Staff and acceptance of Staff as expert witnesses.
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.
4. Proof of Publication and waive the reading of the legal advertisement.
5. Approval of the July 16, 2014 Board of Adjustment Resume Minutes.
6. **Consideration of the following cases:**
  1. **Case No.:** V-2014-10  
Address: 5284 Pale Moon Dr.  
Request: Shoreline Setback  
Requested by: William R. & Katherine A. McCabe
  2. **Case No.:** V-2014-11  
Address: 3012 Barrancas Ave.  
Request: Zero Side Setbacks  
Requested by: E. Dean Dalrymple, Agent for Carolyn L. Patterson
7. Discussion Items.
8. Old/New Business.
9. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, October 15, 2014 at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.
10. Adjournment.



**Board of Adjustment**

**5.**

Meeting Date: 09/17/2014

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Attachments

Draft Resume 07-16-14

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# DRAFT

## RESUMÉ OF THE MEETING OF THE BOARD OF ADJUSTMENT HELD July 16, 2014

CENTRAL OFFICE COMPLEX  
3363 WEST PARK PLACE, BOARD CHAMBERS  
PENSACOLA, FLORIDA  
(8:30 A.M. – 9:54 A.M.)

Present: Auby Smith  
Bobby Price, Jr.  
Kevin White  
Bill Stromquist  
Frederick J. Gant  
Paul White, Jr.

Absent: Jennifer Rigby

Staff Present: Kristin Hual, Assistant County Attorney  
Horace Jones, Interim Director, Development Services  
Andrew Holmer, Senior. Planner, Planning & Zoning  
Juan Lemos, Senior Planner, Planning & Zoning  
Debbie Lockhart, Administrative Assistant

### REGULAR BOA AGENDA

1. The meeting was called to order by Auby Smith, Chairman.
2. Staff was sworn in and accepted as expert witnesses.
3. Motion was made to accept the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.  
  
Motion by Paul White, Jr., Seconded by Bill Stromquist  
**Vote:** 5 - 0 Approved  
  
Other: Frederick J. Gant (ABSENT)  
Jennifer Rigby (ABSENT)
4. Motion was made to accept Proof of Publication and waive the reading of the legal advertisement.  
  
Motion by Vice Chairman Bobby Price, Jr., Seconded by Bill Stromquist  
**Vote:** 5 - 0 Approved



Other: Frederick J. Gant (ABSENT)  
Jennifer Rigby (ABSENT)

5. Motion was made to Approve the June 18, 2014 Resume' Minutes.

Motion by Kevin White, Seconded by Paul White, Jr.

**Vote:** 5 - 0 Approved

Other: Frederick J. Gant (ABSENT)  
Jennifer Rigby (ABSENT)

6. **Consideration of the following cases:**

1. **Case No.:** V-2014-08

Address: 219 E. Johnson Ave.

Request: Variance for a 6-foot Fence in Front Yard

Requested by: Dr. Gabrieli A. Davis, Agent for St. James Missionary Baptist Church

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest

Motion by Kevin White, Seconded by Bill Stromquist

Motion was made to accept Staff Findings-of-Fact and approve the Variance as requested.

**Vote:** 5 - 0 Approved

Other: Frederick J. Gant (ABSENT)  
Jennifer Rigby (ABSENT)

2. **Case No.:** V-2014-09

Address: 5710 Esperanto Dr.

Request: Variance for a 6-foot Fence in Front Yard

Requested by: Shaun Tyng, Agent for Lavonna Helton

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by Kevin White, Seconded by Bill Stromquist

Motion was made to accept Staff Findings-of-Fact and approve the Variance as requested.

**Vote:** 5 - 0 Approved

Other: Frederick J. Gant (ABSENT)  
Jennifer Rigby (ABSENT)

7. Mr. Gant arrived at 8:38 A.M., prior to the Legal Briefing by Kristin Hual, Assistant County Attorney.

8. **Discussion Items - Legal Briefing :**

This item was moved from Agenda Item #6 to Item #7 during the meeting.  
Code Requirements presentation by Kristin Hual, Assistant County Attorney.

9. Old/New Business.

10. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, August 20, 2014 at 8:30 a.m., at the Escambia County Central Office Complex, Room104, 3363 West Park Place.

11. The meeting adjourned at 9:54 A.M.

**Board of Adjustment****6. 1.**

**Meeting Date:** 09/17/2014  
**CASE:** V-2014-10  
**APPLICANT:** William R. Allyn & Katherine A. McCabe  
**ADDRESS:** 5284 Pale Moon Dr.  
**PROPERTY REFERENCE NO.:** 11-3S-32-3000-000-003  
**ZONING DISTRICT:** R-1, Single-Family  
Residential  
MU-S, Mixed-Use  
**FUTURE LAND USE:** Suburban

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**SUBMISSION DATA:****REQUESTED VARIANCE:**

The Applicants are seeking a 2-foot variance to the marine/estuarine/riverine setback (MERS) for construction of a retaining wall. With the granting of the variance the resulting MERS setback would be 13 feet instead of 15 feet for a portion of the wall.

**RELEVANT AUTHORITY:**

**Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended),  
Section: 7.08.00.C.1**

7.08.00. Marine/estuarine/riverine setback.

*C. Exceptions.* The following exceptions to the marine/estuarine/riverine setback (MERS) line are provided:

*1. Waterward exception.* If the applicant requests siting of a structure or conducting an activity prohibited by this article waterward of the MERS line by no more than 15 feet and no wetlands or highly eroding lands are present between the MERS line and the water's edge, as determined by a wetlands inventory map or a copy of the most current Federal Emergency Management Agency Floodway Flood Boundary and Floodway Map or an on-site inspection.

**CRITERIA**

**Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended),  
Section 2.05.02.**

**CRITERION (1)**

**That there are special circumstances or conditions applicable to the building or land in question that are peculiar to such property that do not apply generally to other land or buildings in the vicinity.**

**FINDINGS-OF-FACT**

Section 2.05.02 of the Land Development Code defines special circumstances or conditions specifically as follows: "Such special conditions shall be limited to unusual physical characteristics inherent in the specific piece of property and not common to properties similarly situated. Such physical characteristics include, but are not limited to, exceptional narrowness, shallowness, shape, topographic conditions, or the presence of sensitive environmental resources, any or all of which will result in peculiar or practical difficulties in the quiet enjoyment and use of the property".

Erosion has created a small bluff at the rear of this developed lot. Because of the erodable nature of the sandy soil on site, this condition will worsen with time and increase the soil run-off into Perdido Bay. The County encourages efforts to stabilize erosion conditions to prevent the silting of our waterbodies.

#### **CRITERION (2)**

**That the variance is necessary for the preservation and enjoyment of a substantial property right and not merely to serve as a convenience to the Applicant.**

#### **FINDINGS-OF-FACT**

The variance is necessary for the preservation and enjoyment of a substantial property right given the conditions on site.

#### **CRITERION (3)**

**That such a variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.**

#### **FINDINGS-OF-FACT**

This variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

#### **CRITERION (4)**

**The variance will not, in any manner, alter other provisions of this Code or Comprehensive Plan.**

#### **FINDINGS-OF-FACT**

This variance will not alter other provisions of the Land Development Code or Comprehensive Plan.

#### **CRITERION (5)**

**That the variance is the minimum necessary to make possible the use of the land, building or other improvements as approved by the BOA.**

**FINDINGS-OF-FACT**

Given the physical conditions on site the requested variance is the minimum necessary to provide relief and stabilize the soil.

**STAFF RECOMMENDATION:**

Staff finds that the Applicants can meet all of the required criterion and approval of the request is recommended.

**BOARD OF ADJUSTMENT FINDINGS:**

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**Attachments**

Working Case File V-2014-10

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**V-2014-10**



PERDIDO BAY



PALE MOON DR

ZUNI CIR  
CHOCTAW AVE

HURON DR

NAVAHO DR

ARAPAHO DR

VALERIE DR

BAYOU GARCON

GORHAM RD

GANT AVE

GA

CUSTER DR

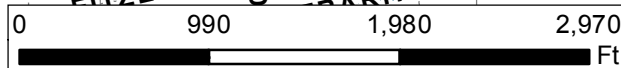
MIRELLA ST



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer  
Planning and Zoning Dept.

# V-2014-10 LOCATION MAP



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



PERDIDO BAY

R-1

R-1

WARRIOR CT

CHOCTAW AVE

R-1

PALE MOON DR

R-1

R-1



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Andrew Holmer  
Planning and Zoning Dept.

## V-2014-10 500' RADIUS ZONING

0 200 400 600  
Ft

**SDD**

- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD





PERDIDO BAY

MU-S

WARRIOR CT

CHOCTAW AVE

MU-S

PALE MOON DR

MU-S

MU-S



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Andrew Holmer  
Planning and Zoning Dept.

## V-2014-10 FUTURE LAND USE



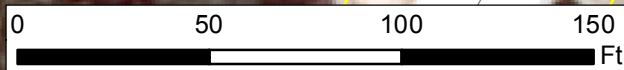
- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



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Andrew Holmer  
Planning and Zoning Dept.

## V-2014-10 AERIAL MAP



- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD

August 6, 2014

5284 Pale Moon Drive

Pensacola, FL 32507

Director of Planning and Zoning for Administrative Variances

3363 West Park Place

Pensacola, FL 32505

Dear Sir:

Please find enclosed our application for a variance to the Land Development Code (LDC) section 7.08.00 (Marine/estuarine/riverine setback), including this letter and 9 attachments required by application process, plus 3 sheets of photos and a copy of a survey from 9/14/2011.

This application is submitted after reviewing and in compliance with LDC 2.05.02 and LDC 2.05.04. The following comments are provided to support this variance request.

General comments and back ground information:

This property was purchased by us two years ago after having been left vacant for 6 years. The previous owners died and the heirs, for various reasons, chose to not sell the property for some time. During those 6 years, several weather events impacted the property adversely. In particular, the seawall was compromised and an upland wall (4' tall, 4' inland of the seawall) severely damaged. After the inshore wall was damaged, the heirs chose to save money and not repair it. The washed out land was simply filled in leaving a sloped area starting about 10' from the seawall, 6' higher than the seawall, sloped down to the seawall. This situation has led to constant erosion that is gradually working its way back toward the house. The entire land area from the house to the water has been slowly eroding, changing the once flat area between the house and inland wall to a sloped run off area in which erosion is difficult to control.

We recently replaced the seawall (12/13). As a part of this process we had to remove the remainder of the inland wall to gain needed access to the area for the heavy equipment. The recent (April) very heavy rainfall raised the bay level to about a foot above the top of the new seawall. As the waters receded, further erosion occurred.

We are requesting this variance to restore the property to its former level, stabilize the land between the house and the seawall, incorporate an additional wall (bulkhead) system to raise

the height of the protected area, and to provide effective drainage to minimize future erosion. Our proposal supports Section 7.A (intentions) by: preventing or reducing erosion, trapping sediment in overland runoff, stops sediment from entering the bay impacting flora and fauna, while maintaining the aesthetics of the shoreline. The project asks to utilize the exceptions for bulkheads and walkways on Perdido Bay discussed in Section 7.B. Additionally, Section 7.F (repair) discusses the repair of an existing functional shore protection structure as being exempted. We feel this would include the pre-existing landward wall that is shown in the enclosed photos and on the survey (excerpt attached). Section 12.01.00 E also refers to exemptions intended to prevent erosion, which this project will achieve.

The following comments address requirements in LDC 2.05.02:

**2.05.02 B**

**a. The special circumstances or conditions applying to this building or land in question and peculiar to such property and do not apply generally to other land or buildings in the vicinity.**

- At the highest point, our property is several feet higher than the adjacent properties and seawalls causing erosion onto the adjacent properties as well as erosion of our property into Perdido Bay.
- This house was built significantly closer to the shoreline (40 years ago) than the adjacent house to the south. The lot to the north is vacant.
- The seawalls on both adjacent lots are the same height as our seawall, however, the slope of the land between our house and the seawall is much steeper than is the case in either other lot.

**b. The variance is necessary for the preservation and enjoyment of a substantial property right as defined herein and not only to serve as a convenience to the applicant.**

- Without significant changes to the slope of the land in the area between the house and the seawall and stabilization of the subsoil water, erosion will continue to advance toward the house. The house finished floor elevation is 6' above the top of the seawall. The proposed inland wall system will increase the effective height of the bulkhead 5', or 1' below the house floors. Should another high water event occur the wall closest to the seawall will protect the foot of the more inland wall preventing undermining and scouring of the inland wall. The inland wall raises the land area to a point almost level. The slight slope allows water runoff away from the house, which is captured by a curtain drain and redirected to outflow through the seawall. This reduces the back pressure on the seawall and mitigates the erosion issues.



c. The authorization of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

- Development will not have an adverse impact on adjacent properties. It will control surface erosion from our property and stop any migration of soils onto adjacent properties and into Perdido Bay.

d. The variance will not, in any manner alter other provisions of this Code or Comprehensive Plan, except this Code and the plan may be amended in the manner prescribed by law.

- The variance requested is applicable to our property and will not alter other provisions of the Code or Comprehensive Plan.

e. The variance is the minimum necessary to make possible the use of the land, building or other improvements as approved by the BOA, or by the planning chief, or designee thereof, in the case of an administrative variance.

- The current slope of the land and the erosion (ruts and wash outs) are a threat to the stability of the house (slab floor). Use of the land is a safety problem for young children and older adults due to the slope, ruts and wash outs. Use of two 30" tall walls controls the runoff and distributes the mechanical load of each wall to a broader area, reducing the chance of leaning or failure. All walls were designed and approved by a licensed local structural engineer. Locating the walls further inshore reduces the runoff management area which increases the water back pressure on the seawall and increases the amount of run off and subsurface water subject to scouring when the bay water tops the seawall.

#### 2.05.04

##### A. Explanation of need.

- The recent heavy rain (April 2014) overflowed the top of the seawall by about 1', eroding the base of the existing land. The erosion of the base of the land caused further erosion of the area between the seawall and the house.
- The height of the property and house and proximity to the seawall require a permanent erosion control. Continuing to dump sand in wash outs (the previous owner's answer) is not a fix, rather it is just a band aide.

- Locating enhancements to the bulkhead system further inshore reduces the effective area they impact. We feel the two tier solution submitted is much more safe than simply replacing the previously existing 4' wall 4' inshore from the seawall, which creates a falling hazard.
- This plan allows for a reasonable and safe use of the land and provides an area for a future pool/patio area.
- Scaled drawings from a local structural engineer and included in the proposal.

**B. Impact on shoreline...**

- Shoreline is currently protected by and in compliance with recently completed permit to rebuild seawall (12-2013).
- The proposal will enhance shoreline stability by controlling erosion and reducing back pressure on existing seawall.
- No new hardened shoreline structures will be added from the 5' LDC boundary water ward that contribute to the erosive tendencies of hardened shoreline structures.
- Scaled drawings from a local structural engineer, registered in the State of Florida, are the basis of the proposal.

**C. Subgrade revetments...**

- Subgrade revetments are not practical since mitigation of the high angle of slope is the root cause of the erosion issue.

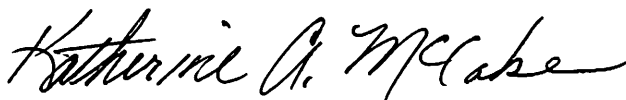
Thank you for your consideration of this request. We look forward to working with Development Services Department and the BOA to achieve a solution that is effective, permanent, aesthetically pleasing and allows us to restore our use of our water front area.

Sincerely,



W. R. Allyh

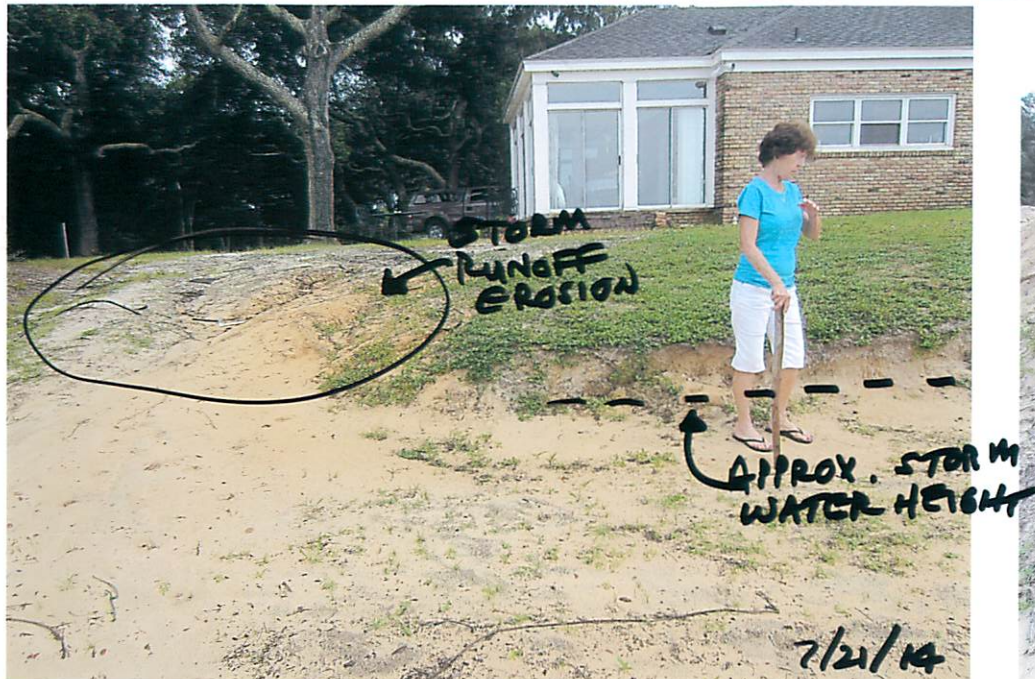
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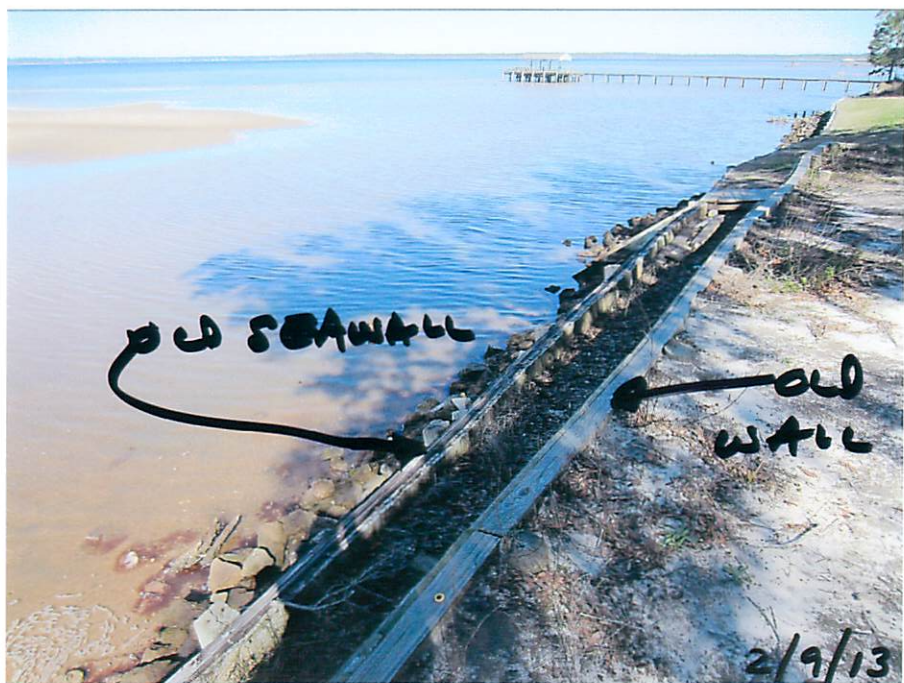
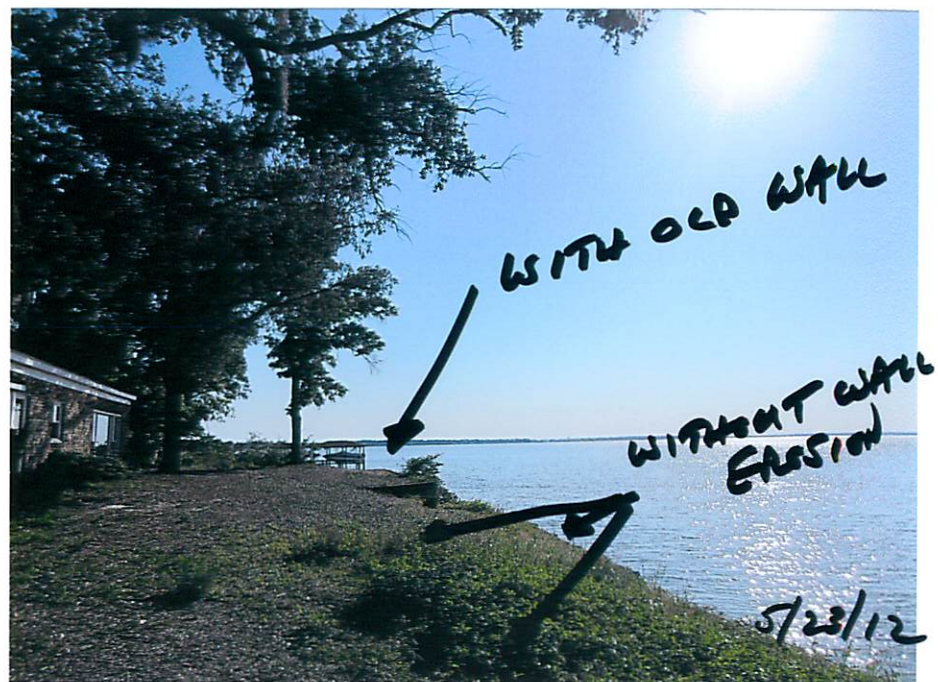
K. A. McCabe



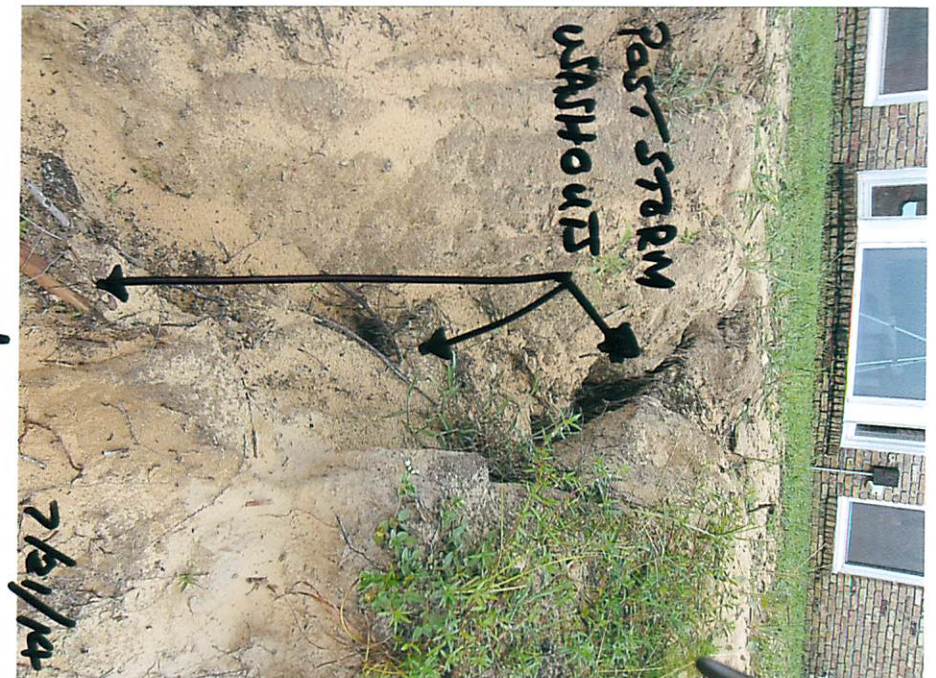
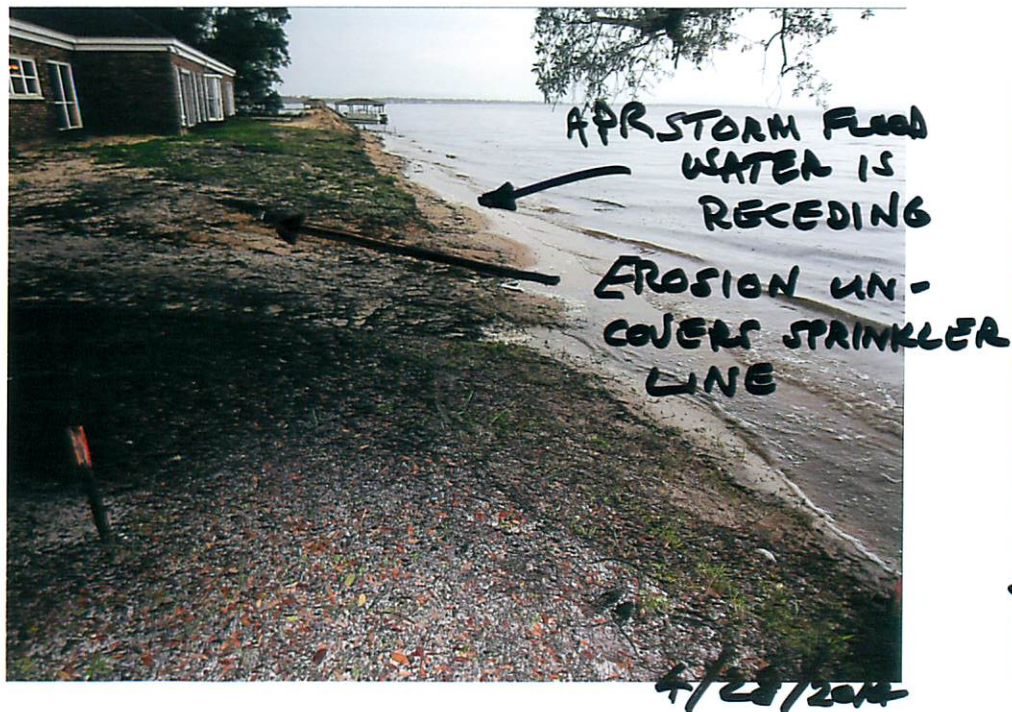
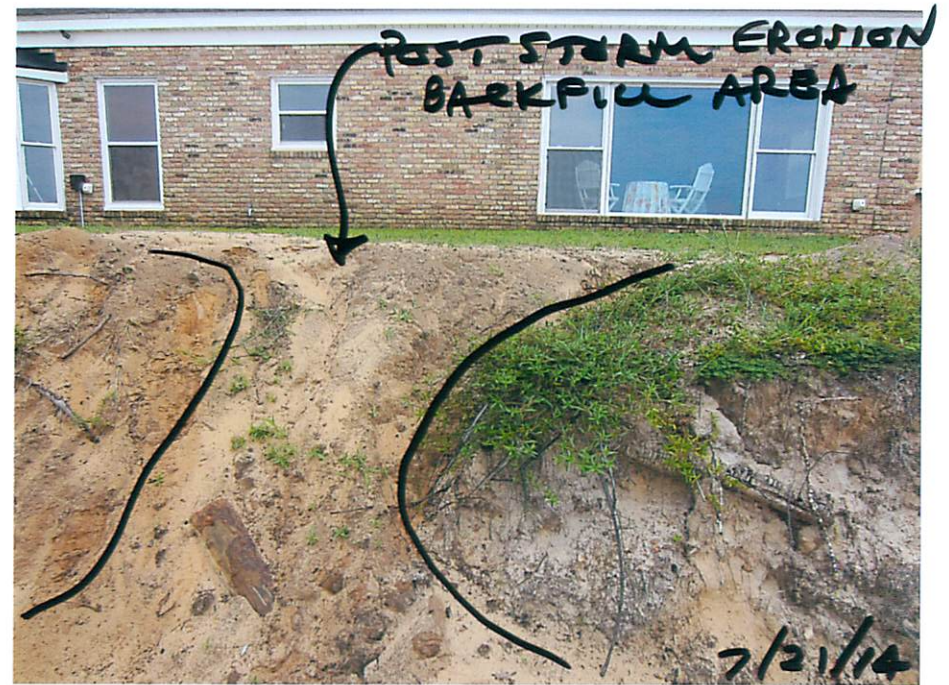
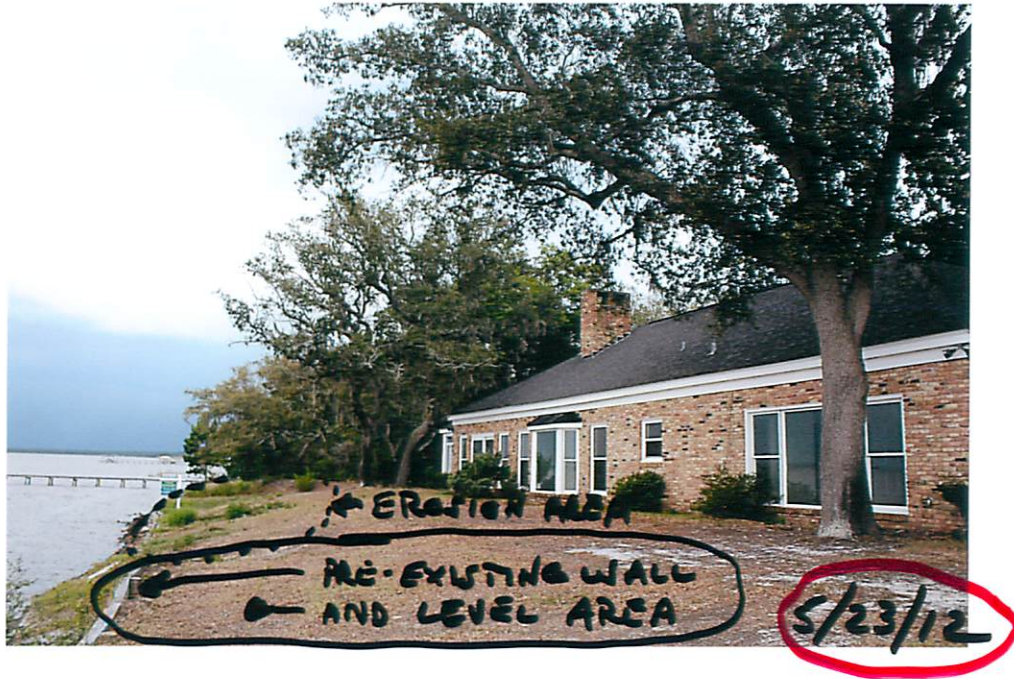
AFTER APRIL RAIN STORM













## APPLICATION

### Please check application type:

☐ Administrative Appeal

☐ Development Order Extension

☐ Conditional Use Request for: \_\_\_\_\_

☒ Variance Request for: shore line set back

☐ Rezoning Request from: \_\_\_\_\_ to: \_\_\_\_\_

### Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: William R. Allyn & Katherine A. McCabe Phone: 850-791-3-6231

Address: 5284 Pale Moon Drive, Pensacola, FL 32507 Email: wrallyn@hotmail.com

☒ Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 5284 Pale Moon Drive, Pensacola, FL 32507

Property Reference Number(s)/Legal Description: parcel ID# 11-3S-32-3000-000-003

### By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

W. R. Allyn  
Signature of Owner/Agent

W. R. Allyn  
Printed Name Owner/Agent

8/6/14  
Date

Katherine A. McCabe  
Signature of Owner

K. A. McCabe  
Printed Name of Owner

8-6-14  
Date

STATE OF WASHINGTON

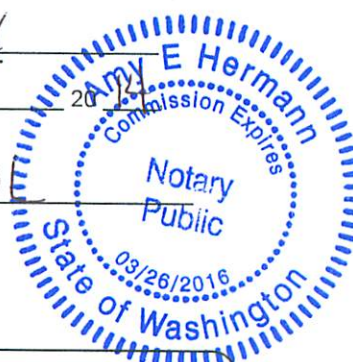
COUNTY OF Jefferson

The foregoing instrument was acknowledged before me this 10 day of August  
by Katherine McCabe & William Allyn

Personally Known ☐ OR Produced Identification ☒ Type of Identification Produced: WA D

Amy E Hermann  
Signature of Notary  
(notary seal must be affixed)

Amy E HERMANN  
Printed Name of Notary



### FOR OFFICE USE ONLY

CASE NUMBER: V-2014-10

Meeting Date(s): 09-17-14 Accepted/Verified by: DL Date: 08-14-14

Fees Paid: \$ 423.50 Receipt #: 615632 Permit #: PBA-140800012

## CONCURRENCY DETERMINATION ACKNOWLEDGMENT

### For Rezoning Requests Only

Property Reference Number(s): N/A

Property Address: \_\_\_\_\_

I/We acknowledge and agree that no future development for which concurrency of required facilities and services must be certified shall be approved for the subject parcel(s) without the issuance of a certificate of concurrency for the development based on the actual densities and intensities proposed in the future development's permit application.

I/We also acknowledge and agree that approval of a zoning district amendment (rezoning) or Future Land Use Map amendment does not certify, vest, or otherwise guarantee that concurrency of required facilities and services is, or will be, available for any future development of the subject parcels.

I/We further acknowledge and agree that no development for which concurrency must be certified shall be approved unless at least one of the following minimum conditions of the Comprehensive Plan will be met for each facility and service of the County's concurrency management system prior to development approval:

- a. The necessary facilities or services are in place at the time a development permit is issued.
- b. A development permit is issued subject to the condition that the necessary facilities and services will be in place and available to serve the new development at the time of the issuance of a certificate of occupancy.
- c. For parks and recreation facilities and roads, the necessary facilities are under construction at the time the development permit is issued.
- d. For parks and recreation facilities, the necessary facilities are the subject of a binding executed contract for the construction of the facilities at the time the development permit is issued and the agreement requires that facility construction must commence within one year of the issuance of the development permit.
- e. The necessary facilities and services are guaranteed in an enforceable development agreement. An enforceable development agreement may include, but is not limited to, development agreements pursuant to Section 163.3220, F.S., or as amended, or an agreement or development order issued pursuant to Chapter 380, F.S., or as amended. For transportation facilities, all in-kind improvements detailed in a proportionate fair share agreement must be completed in compliance with the requirements of Section 5.13.00 of the LDC. For wastewater, solid waste, potable water, and stormwater facilities, any such agreement will guarantee the necessary facilities and services to be in place and available to serve the new development at the time of the issuance of a certificate of occupancy.
- f. For roads, the necessary facilities needed to serve the development are included in the first three years of the applicable Five-Year Florida Department of Transportation (FDOT) Work Program or are in place or under actual construction no more than three years after the issuance of a County development order or permit.

I HEREBY ACKNOWLEDGE THAT I HAVE READ, UNDERSTAND AND AGREE WITH THE ABOVE STATEMENT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, YEAR OF \_\_\_\_\_.

\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Printed Name of Property Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Printed Name of Property Owner

\_\_\_\_\_  
Date



## AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

As owner of the property located at 5284 Pale Moon Drive, Pensacola, FL 32507,  
Florida, property reference number(s) 11-35-32-3000-000-003

I hereby designate Jason Taylor for the sole purpose  
of completing this application and making a presentation to the:

☐ Planning Board and the Board of County Commissioners to request a rezoning on the above  
referenced property.

☒ Board of Adjustment to request a(n) VARIANCE REQUEST on the above referenced property.

This Limited Power of Attorney is granted on this \_\_\_\_\_ day of \_\_\_\_\_ the year of,  
\_\_\_\_\_, and is effective until the Board of County Commissioners or the Board of Adjustment has  
rendered a decision on this request and any appeal period has expired. The owner reserves the right to  
rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development  
Services Bureau.

Agent Name: Jason Taylor Email: jtaylor@wetlandsciences.com

Address: 1829 Bainbridge Ave, Pensacola FL 32507 Phone: 850-453-7500

[Signature]  
Signature of Property Owner

W. R. Allyn  
Printed Name of Property Owner

8/6/2014  
Date

[Signature]  
Signature of Property Owner

K.A. McCabe  
Printed Name of Property Owner

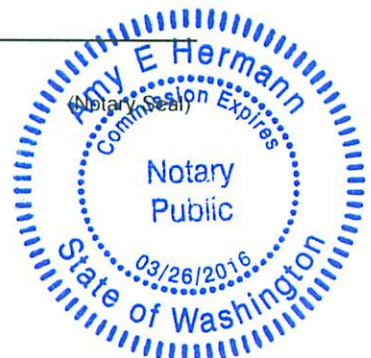
8-6-2014  
Date

STATE OF WASHINGTON COUNTY OF Jefferson  
The foregoing instrument was acknowledged before me this 10 day of August 20 14,  
by Kathrine McCabe & William Allyn.

Personally Known ☐ OR Produced Identification ☒ Type of Identification Produced: WADL

[Signature]  
Signature of Notary

Amy E Hermann  
Printed Name of Notary



**CORRECTIVE WARRANTY DEED**

Made this \_\_\_\_\_ day of April, 2013, A.D. By Robert Emmett Riera, Jr. and Robin Mae Clinton and Mary Porter Perault and Anne Gay Pewett, hereinafter called the grantor, to William R. Allyn and Katherine A. McCabe, husband and wife, whose post office address is: 5284 Pale Moon Drive, Pensacola, Florida 32507, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Escambia County, Florida, viz:

SEE ATTACHED

THIS CORRECTIVE DEED IS BEING EXECUTED TO CORRECT ERRORS IN THE LEGAL DESCRIPTION CONTAINED IN THAT CERTAIN WARRANTY DEED AS RECORDED IN O.R. BOOK 6848, PAGE 826, AND THAT CERTAIN CORRECTIVE WARRANTY DEED AS RECORDED IN O.R. BOOK 6945, PAGE 1224 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: 113S323000000003

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2011.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Samantha R. Sullivan

Witness Printed Name: Samantha Sullivan

Robert Emmett Riera, Jr.

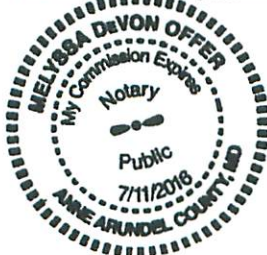
Robert Emmett Riera, Jr.

Melissa

Witness Printed Name: Melissa

State of Maryland  
County of Anne Arundel

The foregoing instrument was acknowledged before me this 12 day of April, 2013, by Robert Emmett Riera, Jr., who is personally known to me or who has produced Driver's License as identification.



Melissa  
Notary Public  
Print Name: Melissa Offer  
My Commission Expires: 7-11-2016

Attachment #5

Beverly Harker  
Witness Printed Name Beverly Harker

Charles Donk  
Witness Printed Name Charles Donk

State of \_\_\_\_\_  
County of \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of April, 2013, by Robin Mae Clinton, who is personally known to me or who has produced \_\_\_\_\_ as identification.

Robin Mae Clinton  
Robin Mae Clinton

See attached Acknowledgment  
Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

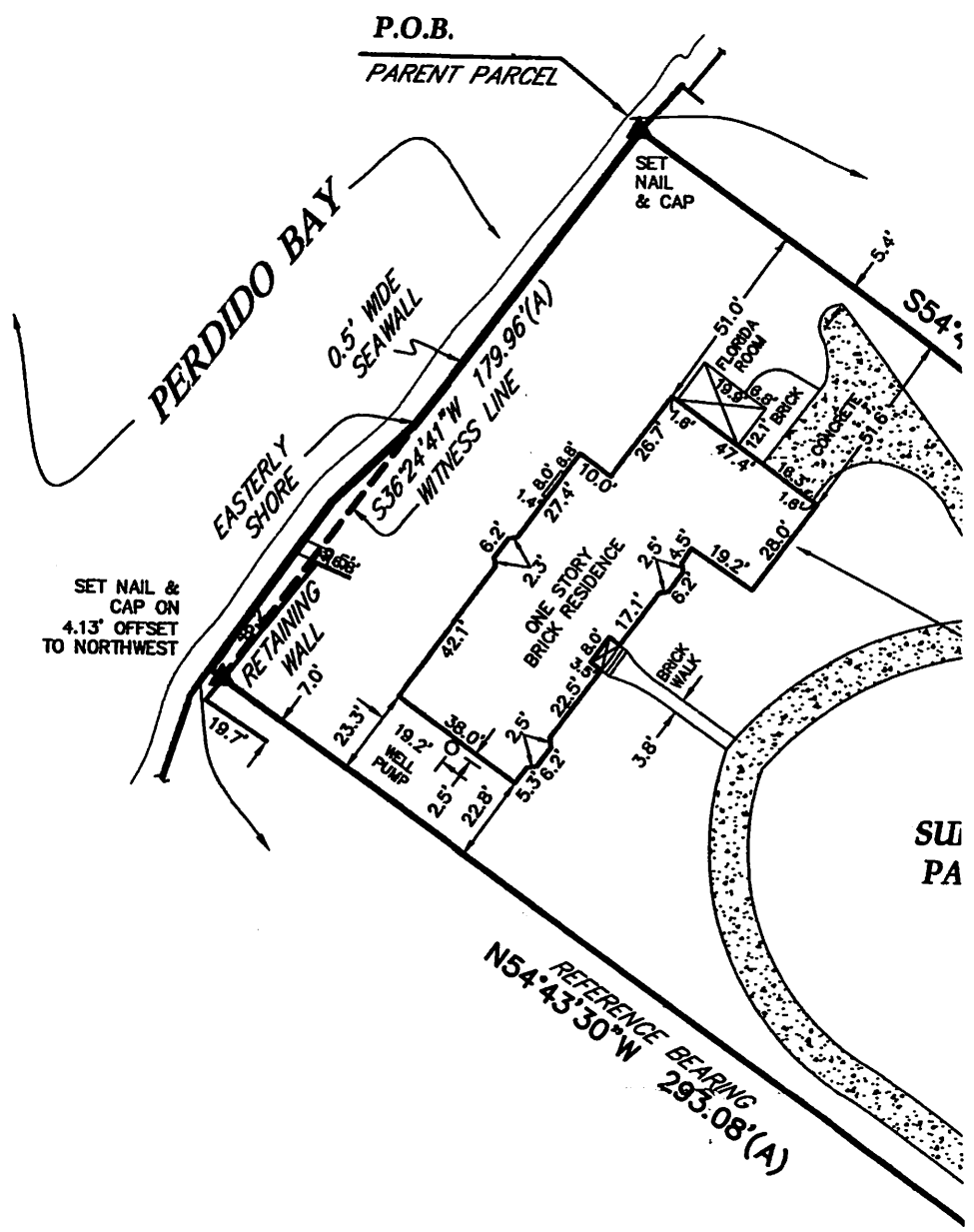
LEGAL DESCRIPTION

Begin at the Northeast corner of Section 11, Township 3 South, Range 32 West; thence North 90 degrees West along the North line of said Section for a distance of 3,744.5 feet; thence South 35 degrees 16 1/2 minutes West a distance of 1,073.74 feet; thence North 54 degrees 43 1/2 minutes West for a distance of 611.0 feet to the Easterly shore of Perdido Bay for the Point of Beginning; thence South 54 degrees 43 1/2 minutes East for a distance of 611.0 feet; thence South 35 degrees 16 1/2 minutes West for a distance of 180.0 feet; thence North 54 degrees 43 1/2 minutes West for a distance of 582.0 feet to the Easterly shore of Perdido Bay; thence meander Northeasterly along the said shore line to the Point of Beginning, all lying and being in Section 11, Township 3 South, Range 32 West, Escambia County, Florida.

LESS AND EXCEPT that portion conveyed as road right-of-way recorded in Official Records Book 1048, Page 398, and re-recorded in Official Records Book 1130, Page 535, of the Public Records of Escambia County, Florida.

LESS AND EXCEPT: Commencing at the concrete monument on the Southernmost corner of Lot 1, Block 3, Perdido Bay Country Club Estates, Unit No. 4, as recorded in the Official Records of Escambia County, Florida, Plat Book 6, Page 75; thence South 35 degrees 16 minutes 30 seconds West 720.00 feet to the Point of Beginning; thence continue South 35 degrees 16 minutes 30 seconds West 180.0 feet; thence North 54 degrees 43 minutes 30 seconds West 246.11 feet to the Southeasternmost right-of-way line of Pale Moon Drive; thence North 26 degrees 28 minutes 30 seconds East along said right-of-way line 166.33 feet to the P.C. of a curve concave to the Southeast; thence along said curve an arc distance of 19.37 feet; said curve having a centerline radius of 500 feet and a central angle of 23 degrees 34 minutes 47 seconds; thence South 54 degrees 43 minutes 30 seconds East 273.79 feet to the Point of Beginning.

ATTACHMENT #6



**LEGAL DESCRIPTION:**

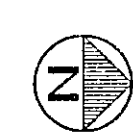
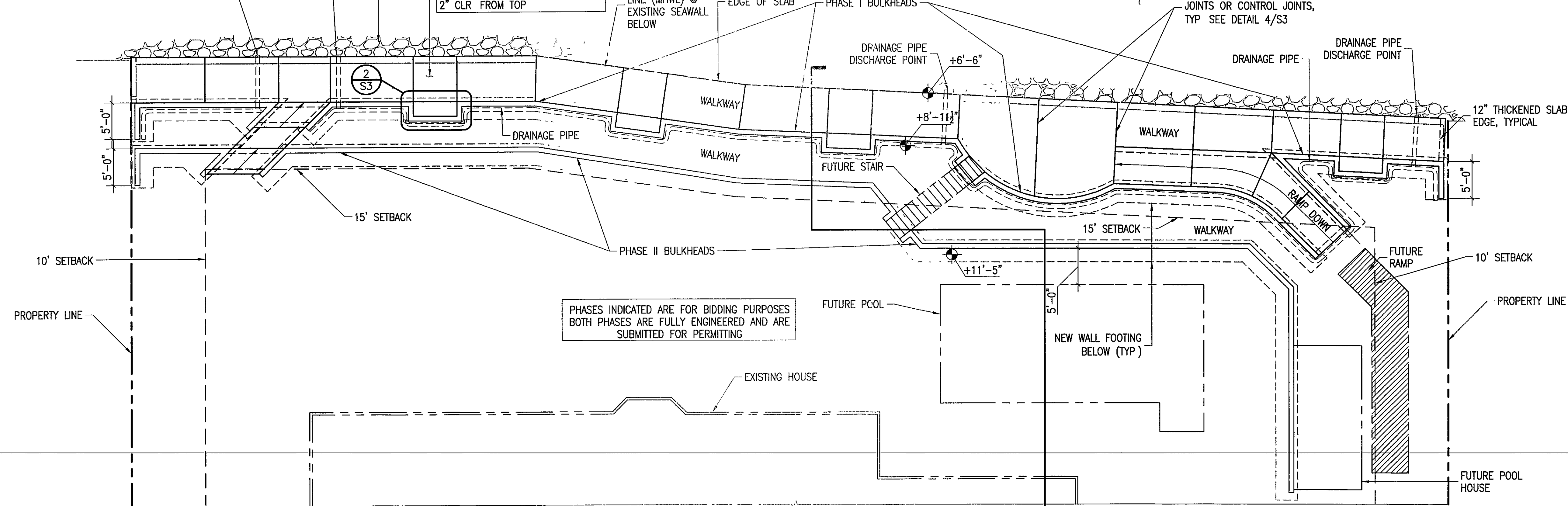
Begin at the Northeast corner of Section 11, Township 3 South, Range 32 West; thence North 90 degrees West along the North line of said Section for a distance of 3,744.5 feet; thence South 35 degrees 16 1/2 feet West a distance of 1,073.74 feet; thence North 54 degrees 43 1/2 feet West for a distance of 611.0 feet to the Easterly shore of Perdido Bay for the Point of Beginning; thence South 54 degrees 43 1/2 feet East for a distance of 611.0 feet; thence South 35 degrees 16 1/2 feet West for a distance of 180.0 feet; thence North 54 degrees 43 1/2 feet West for a distance of 562.0 feet to the Easterly shore of Perdido Bay; thence meander Northeasterly along the said shoreline to the Point of Beginning, all lying and being in Section 11, Township 3 South, Range 32 West.

Less & Except that portion conveyed as road right-of-way recorded in Official Records Book 1048, Page 398, and re-recorded in Official Records Book 1130, Page 535, of the Public Records of Escambia County, Florida.

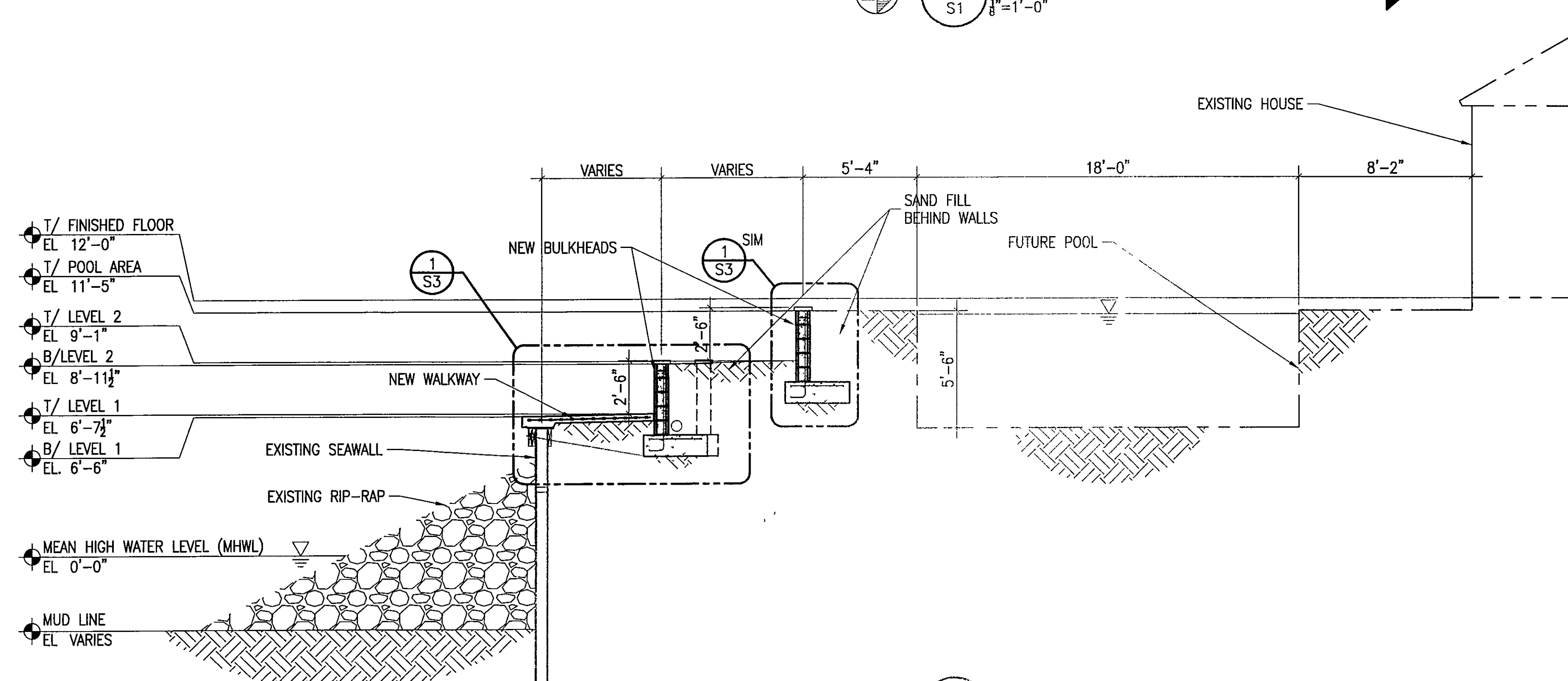
Less & Except: Commencing at the concrete monument on the Southernmost corner of lot 1 Block

N54°43'30"W 611.0'

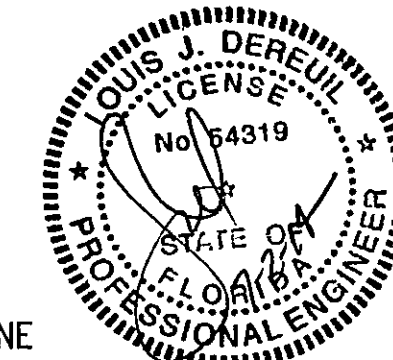




1 PLAN  
S1 1/8"=1'-0"



2 SECTION  
S1 1/4"=1'-0"



**JDA** JOE DEREUIL ASSOCIATES, LLC  
STRUCTURAL ENGINEERS  
301 WEST CERVANTES ST. - PENSACOLA, FL 32501 - (850) 429-1951  
FLORIDA PE NO. 54319 / FLORIDA C.E. NO. 9505  
JDA JOB# 14128

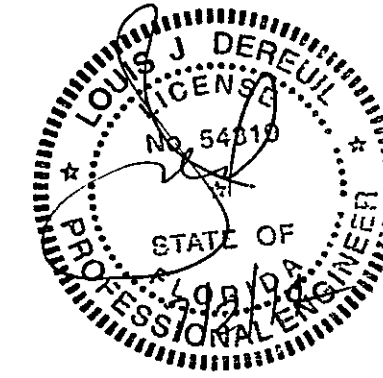
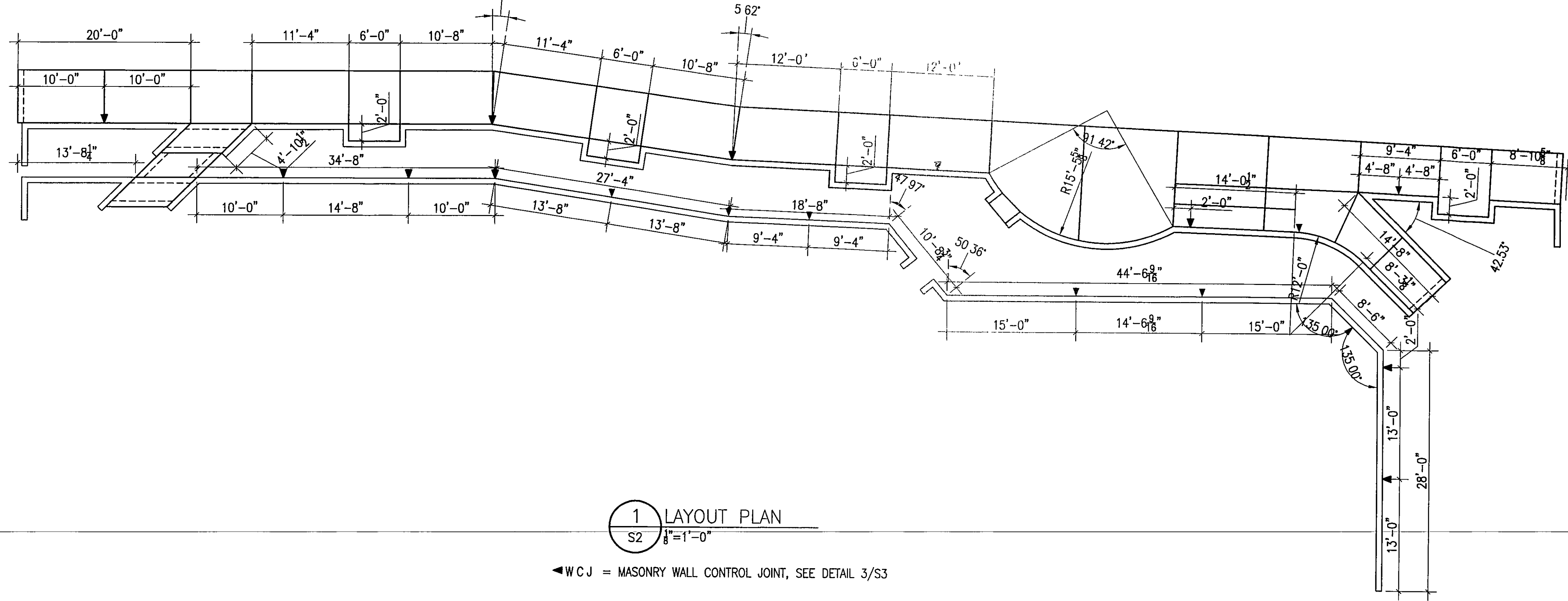
REV. 1 7/02/2014

DESIGNED- ICM CHECKED LJD  
DRAWN. ICM DATE 06/27/2014

ALLYN RESIDENCE BULKHEAD  
5284 PALE MOON DRIVE  
PERDIDO, FL

S1

SHEET 1 OF 3



ALLYN RESIDENCE BULKHEAD  
5284 PALE MOON DRIVE  
PERDIDO, FL

REV. 1 7/02/2014

DESIGNED: ICM  
DRAWN: ICM

CHECKED: LJD  
DATE: 06/27/2014

**JDA** JOE DEREUIL ASSOCIATES, LLC  
STRUCTURAL ENGINEERS  
301 WEST CERMANTES ST. • PANAMA CITY, FL 32501 • (850) 429-1951  
FLORIDA PE NO. 54319 / FLORIDA CA. NO. 9515  
JDA JOB# 14128

S2

SHEET 2 OF 3



Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**ALLYN WILLIAM R &  
387 OLD OAK BAY RD  
PORT HADLOCK, WA 98339**

In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.



Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**CRISP EARL W & PATRICIA L  
1302 BRITISH BLVD  
GRAND PRAIRIE, TX 75050**

In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.



Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**HOROWITZ MICHAEL E & REBECCA D  
2003 CHAPARRAL DR  
ROUND ROCK, TX 78681**

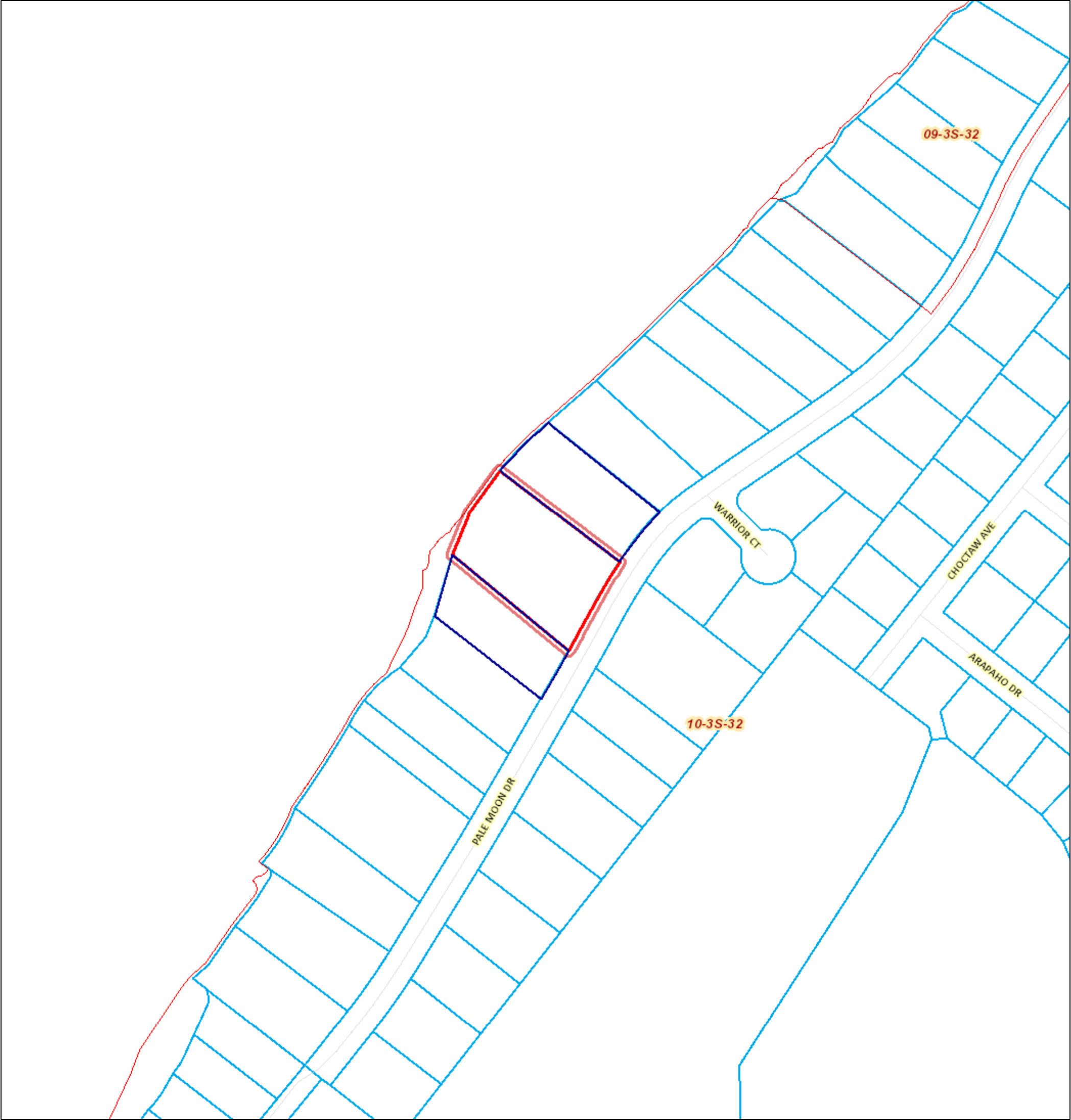
In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.



Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.

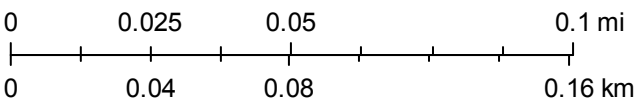
# Chris Jones Escambia County Property Appraiser



August 22, 2014

1:2,164

- Map Grid
- City Road
- County Road
- Interstate
- State Road
- US Highway
- All Roads
- Property Line





# CALIFORNIA ALL-PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

State of California

County of San DiegoOn 4-18-13 before me, Beverley Hourlier  
(Here insert name and title of the officer)personally appeared Robin Mae Clinton

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Beverley Hourlier  
Signature of Notary Public

(Notary Seal)



## ADDITIONAL OPTIONAL INFORMATION

### DESCRIPTION OF THE ATTACHED DOCUMENT

(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages \_\_\_\_\_ Document Date \_\_\_\_\_

(Additional information)

### CAPACITY CLAIMED BY THE SIGNER

- ☐ Individual (s)  
☐ Corporate Officer

(Title)

- ☐ Partner(s)  
☐ Attorney-in-Fact  
☐ Trustee(s)  
☐ Other \_\_\_\_\_

### INSTRUCTIONS FOR COMPLETING THIS FORM

Any acknowledgment completed in California must contain verbiage exactly as appears above in the notary section or a separate acknowledgment form must be properly completed and attached to that document. The only exception is if a document is to be recorded outside of California. In such instances, any alternative acknowledgment verbiage as may be printed on such a document so long as the verbiage does not require the notary to do something that is illegal for a notary in California (i.e. certifying the authorized capacity of the signer). Please check the document carefully for proper notarial wording and attach this form if required.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. he/she/they, is /are ) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk.
  - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
  - ❖ Indicate title or type of attached document, number of pages and date.
  - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).
- Securely attach this document to the signed document

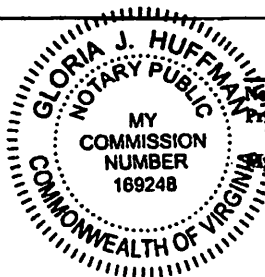
Brittni Johnston  
Witness Printed Name Brittni Johnston

Mary Porter Persault  
Mary Porter Persault

Juanita Lester  
Witness Printed Name Juanita Lester

State of VA  
County of Shenandoah

The foregoing instrument was acknowledged before me this 11<sup>th</sup> day of April, 2013, by Mary Porter Persault, who is personally known to me or who has produced \_\_\_\_\_ as identification.



Gloria Huffman  
Notary Public  
Print Name: Gloria Huffman  
My Commission Expires: 1-31-17

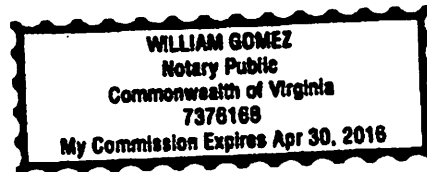
W. Gomez  
Witness Printed Name WILLIAM GOMEZ  
Anna Gay Powett  
Anna Gay Powett

Sandy Khathanon  
Witness Printed Name Sandy Khathanon

State of VIRGINIA  
County of FAIRFAX

The foregoing instrument was acknowledged before me this 10<sup>TH</sup> day of April, 2013, by Anna Gay Powett, who is personally known to me or who has produced DRIVERS LICENSE as identification.

W. Gomez  
Notary Public  
Print Name: WILLIAM GOMEZ  
My Commission Expires: APRIL 30<sup>TH</sup>, 2016





Development Services Department  
Building Inspections Division  
3363 West Park Place  
Pensacola, Florida, 32505  
(850) 595-3550  
Molino Office - (850) 587-5770

## RECEIPT

Receipt No. : **615632**

Date Issued. : 08/19/2014

Cashier ID : KLHARPER

Application No. : PBA140800012

Project Name : V-2014-10

### PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
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**Check**

341

\$423.50

App ID : PBA140800012

**\$423.50**

Total Check

Received From : KATHERINE A MCCABE

Total Receipt Amount : **\$423.50**

Change Due : \$0.00

### APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
---------------	-----------	-------------	---------	-------------

PBA140800012	706933	423.50	\$0.00	5284 PALE MOON DR, PENSACOLA, FL
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**Total Amount :**

**423.50**

\$0.00

Balance Due on this/these  
Application(s) as of 8/19/2014



STRUCTURE THE DIMENSIONAL LAYOUT OF THE STRUCTURE HAS BEEN DICTATED TO JOE DEREUIL ASSOCIATES IN ORDER TO PRODUCE STRUCTURAL DESIGN DOCUMENTS NO REPRESENTATION IS MADE REGARDING CODE CONFORMANCE OF NON-STRUCTURAL ASPECTS OF THE STRUCTURE

1 02 VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK NOTIFY STRUCTURAL ENGINEER OF ANY DISCREPANCY

1 03 DESIGN CRITERIA

THE STRUCTURE HAS BEEN DESIGNED UTILIZING THE FOLLOWING REFERENCES

- A FLORIDA BUILDING CODE, 2010  
B ASCE 7-05, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES  
C ACI 318-11, BUILDING CODE REQUIREMENTS FOR CONCRETE STRUCTURES  
D ACI 530-05, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES

1 04 DESIGN LOADS

- A LIVE LOADS (MAY BE REDUCED PER CODE)  
1 SLAB-ON-GRADE 100 PSF

B WIND LOADS - NOT APPLICABLE

C SOIL PRESSURE LOADS A COEFFICIENT OF ACTIVE PRESSURE HAS BEEN CONSERVATIVELY ASSUMED AS .44 WITH A SOIL DENSITY OF 105 PCF, CORRESPONDING TO A LOOSE SAND

2 00 FOUNDATIONS AND SLAB-ON-GRADE

2 01 SHALLOW FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF

2 02 AT THIS TIME NO GEOTECHNICAL REPORT HAS BEEN SUBMITTED AN ALLOWABLE SOIL BEARING PRESSURE HAS BEEN CONSERVATIVELY ESTIMATED BASED ON SIMILAR PROJECTS OF THIS SIZE AND LOCATED IN THE SAME GENERAL AREA OF CONSTRUCTION THE SOILS IMMEDIATELY BENEATH ALL FOOTINGS SHOULD BE COMPACTED

2 03 ALL FOOTINGS SHALL REST EITHER ON UNDISTURBED SOIL OR A MANUALLY OPERATED VIBRATORY SLED OR TAMPER SHOULD BE USED TO DENSIFY ANY SOILS IN THE BOTTOM OF THE FOOTING TRENCHES LOOSENEED DURING THE EXCAVATION OPERATION

2 04 SLAB-ON-GRADE REQUIREMENTS

A THE SLAB-ON-GRADE SHALL BE A MINIMUM THICKNESS INDICATED ON PLAN, PLACED ON COMPACTED SUBGRADE, AND REINFORCED WITH WWF IN FLAT SHEETS (ROLLS ARE NOT PERMITTED) PROVIDE POSITIVE SUPPORT 2" CLEAR FROM BOTTOM OF SLAB LAP MESH 12"

B PLACE CONTROL OR CONSTRUCTION JOINTS AT LOCATIONS INDICATED ON PLAN IF NOT INDICATED, LOCATED JOINTS AT COLUMN CENTERLINES AND AT 20'-0" O.C. MAX. TROWEL CONTROL JOINTS AS SOON AFTER POURING AS POSSIBLE, WHEN CONCRETE WILL NOT RAVEL

3 00 REINFORCED CONCRETE

3 01 ALL CONCRETE WORK SHALL CONFORM TO ACI 301-05, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS DESIGN IS BASED ON ACI 318-05, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE DETAIL CONCRETE REINFORCEMENT AND ACCESSORIES IN ACCORDANCE WITH ACI 315, DETAILING MANUAL DETAIL ALL CONCRETE WALLS AND BEAMS ON THE SHOP DRAWINGS IN ELEVATION UNLESS SPECIFICALLY APPROVED OTHERWISE. SUBMIT SHOP DRAWINGS FOR APPROVAL, SHOWING ALL FABRICATION DIMENSIONS AND LOCATIONS FOR PLACING REINFORCING STEEL AND ACCESSORIES DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED

3 02 UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE THE FOLLOWING MINIMUM 28 DAY COMPRESSIVE STRENGTHS

- A FOUNDATIONS 3000 PSI  
B SLAB-ON-GRADE 3000 PSI  
ALL CONCRETE SHALL HAVE ENTRAINED AIR, U N O CONCRETE MAY CONTAIN A PROPERLY DESIGNED SUPERPLASTICIZER FOR WORKABILITY

3 03 REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS NOTED OTHERWISE

3 04 THE PROPOSED MATERIALS AND MIX DESIGN SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE OWNER'S TESTING LABORATORY RESPONSIBILITY FOR OBTAINING THE REQUIRED DESIGN STRENGTH IS THE CONTRACTOR'S

3 05 USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS IN CONCRETE IS NOT PERMITTED

CONSTRUCTION ACTIVITIES "STICKING" DOWELS INTO WET CONCRETE IS NOT PERMITTED

3 07 PROVIDE CONTINUOUS REINFORCEMENT WHEREVER POSSIBLE, SPLICE ONLY AS SHOWN OR APPROVED, STAGGER SPLICE WHERE POSSIBLE, USE FULL TENSION SPLICE (CLASS "B") UNLESS NOTED OTHERWISE DOWELS SHALL MATCH THE SIZE AND SPACING OF THE SPECIFIED REINFORCEMENT AND SHALL BE LAPPED WITH FULL TENSION SPLICES (CLASS "B") UNLESS NOTED OTHERWISE TERMINATE BARS WITH STANDARD HOOKS

3 08 REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS NOTED OTHERWISE (PER ACI 318-05 PAR 7.7.1)

A CONCRETE AGAINST EARTH (NOT FORMED) 3"

B FORMED CONCRETE EXPOSED TO THE EARTH OR WEATHER.

- 1 #6 THROUGH #18 BARS 2"  
2 #5 BARS AND SMALLER 1-1/2"

C CONCRETE NOT EXPOSED TO EARTH OR WEATHER

- 1 SLABS AND WALLS 1"  
2 BEAMS (STIRRUPS) AND COLUMNS (TIES) 1-1/2"

3 09 DO NOT WELD OR TACK WELD REINFORCING STEEL UNLESS APPROVED OR DIRECTED BY THE STRUCTURAL ENGINEER

4 00 MASONRY

4 01 CONCRETE MASONRY DESIGN AND CONSTRUCTION SHALL CONFORM TO ACI 530, BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES AND ACI 530.1, SPECIFICATIONS FOR CONCRETE MASONRY CONSTRUCTION

4 02 PROVIDE LIGHTWEIGHT, HOLLOW, LOAD-BEARING CONCRETE MASONRY UNITS (CMU) CONFORMING TO ASTM C90, GRADE N, TYPE 1,  $f'_c = 1900$  PSI (NET), UNLESS NOTED OTHERWISE

4 03 PROVIDE MASONRY CONSTRUCTION WITH MINIMUM COMPRESSIVE STRENGTH,  $f'_m = 1500$  PSI.

4 04 PROVIDE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270, UNLESS NOTED OTHERWISE

4 05 VERTICAL CELLS SHALL BE REINFORCED AS INDICATED IN THE CONTRACT DRAWINGS VERTICAL REINFORCING SHALL BE CONTINUOUS (LAPPED 48 BAR DIAMETERS AT SPLICES) AND HELD IN POSITION AT THE TOP AND BOTTOM OF THE GROUT POUR

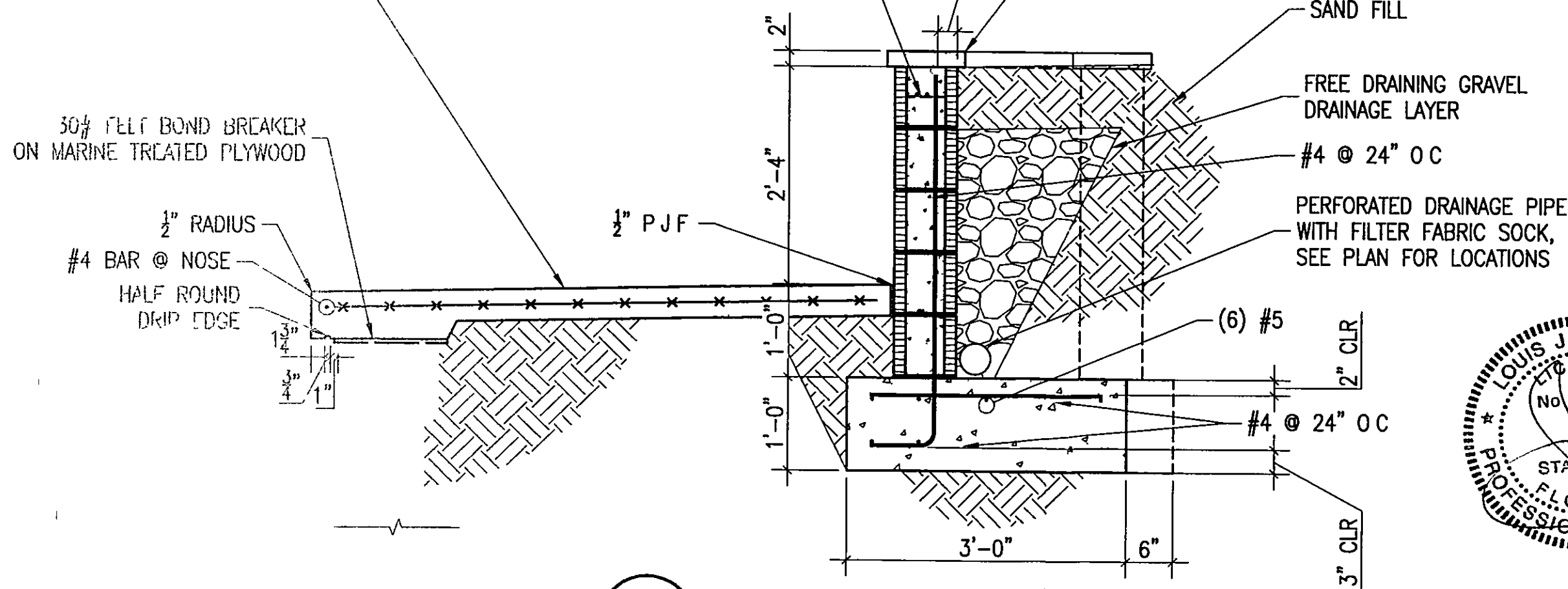
4 06 PROVIDE GROUT FOR REINFORCED MASONRY IN ACCORDANCE WITH ASTM C476. GROUT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI UNLESS NOTED OTHERWISE. GROUT SHALL BE FLUID CONSISTENCY FLUID CONSISTENCY SHALL MEAN THAT CONSISTENCY AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS FILL ALL CELLS BELOW GRADE WITH GROUT ALL GROUT SHALL BE CONSOLIDATED AT THE TIME OF POURING BY VIBRATING AND THEN RECONSOLIDATED BY AGAIN PUDDLING LATER, BEFORE PLASTICITY IS LOST WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE POUR OF THE GROUT 1-1/2 INCHES BELOW THE TOP OF THE UPPERMOST UNIT

4 07 PROVIDE HORIZONTAL JOINT REINFORCEMENT COMPLYING WITH ASTM A82, NO 9 GAUGE OR HEAVIER, ZINC COATED, PLACED 16 INCHES ON CENTER UNLESS NOTED OTHERWISE

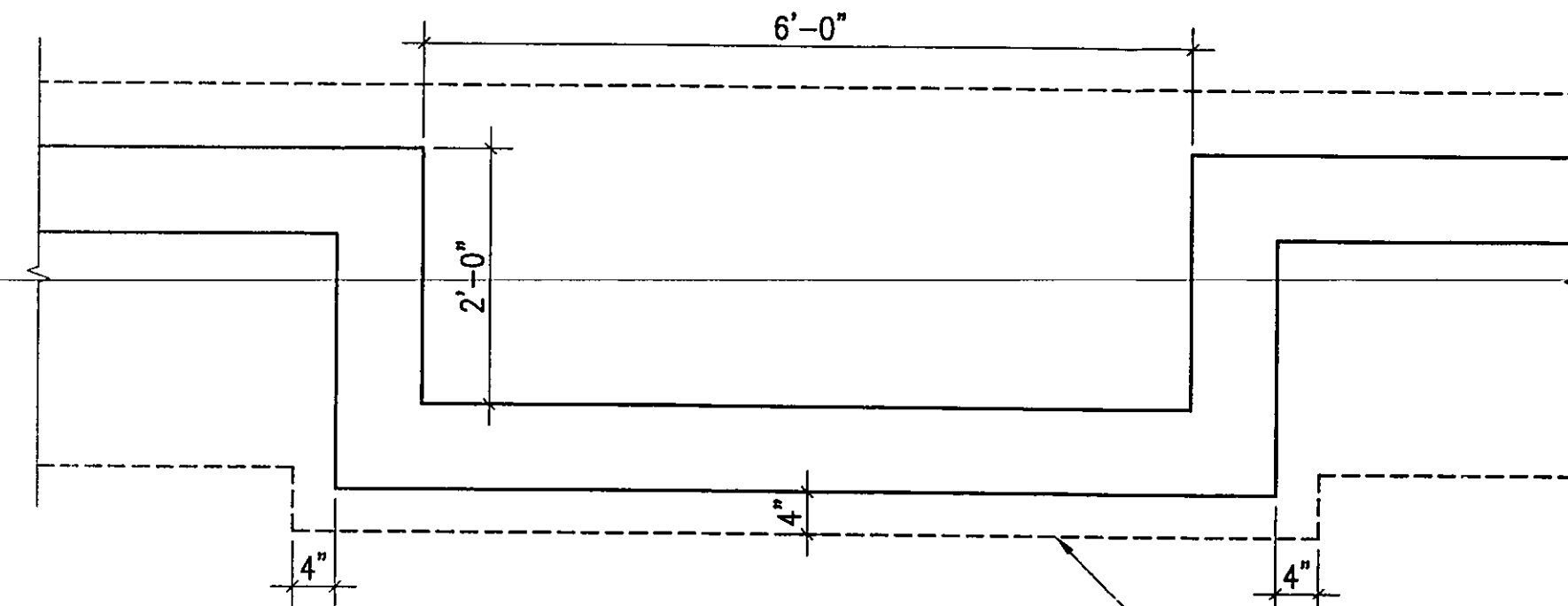
4 08 PROVIDE RUNNING BONDS WITH VERTICAL JOINTS LOCATED AT CENTER OF MASONRY UNITS IN THE ALTERNATE COURSE BELOW, UNLESS NOTED OTHERWISE.

4 09 ALL MASONRY UNITS SHALL BE FREE OF EXCESSIVE DUST AND DIRT AT THE TIME THEY ARE LAYED BY THE MASON

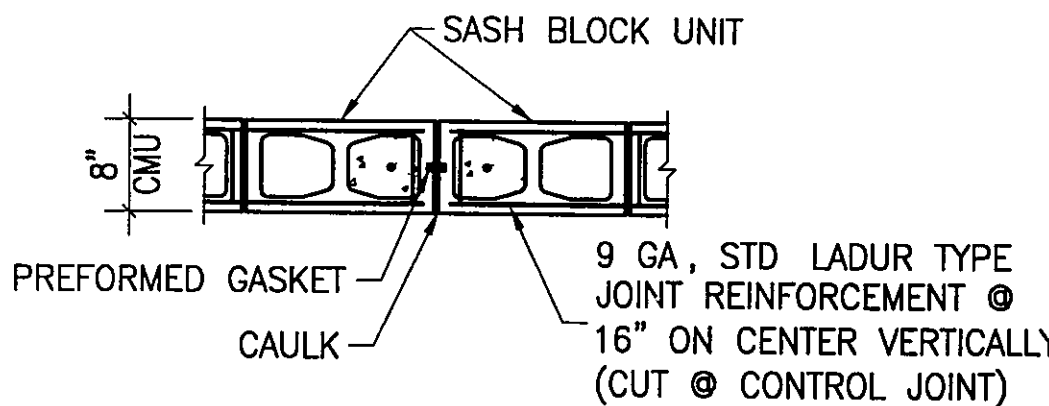
4 10 ALL REINFORCED HOLLOW UNIT MASONRY SHALL BE BUILT TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS TO BE FILLED WALLS AND CROSS WEBS IN ALL REINFORCED MASONRY WALLS SHALL BE FULLY BEDDED IN MORTAR ALL HEAD (OR END) JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM EACH FACE OF THE UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS, BOND SHALL BE PROVIDED BY LAPPING UNITS IN SUCCESSIVE VERTICAL COURSES



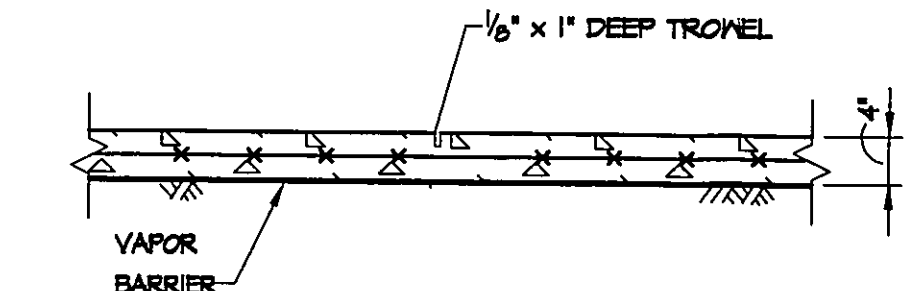
1 DETAIL  
S3 3/4" = 1'-0"



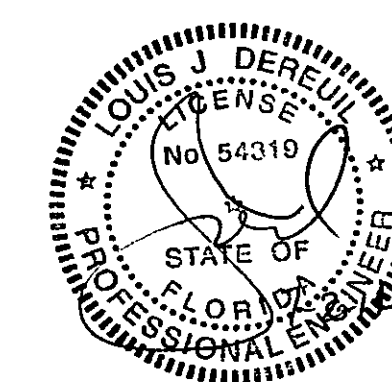
2 DETAIL  
S3 3/4" = 1'-0"



3 TYP MASONRY CONTROL JOINT DETAIL  
S3 3/4" = 1'-0"



3 TYPICAL CONTROL JOINT DETAIL  
S3 SCALE 3/4" = 1'-0"



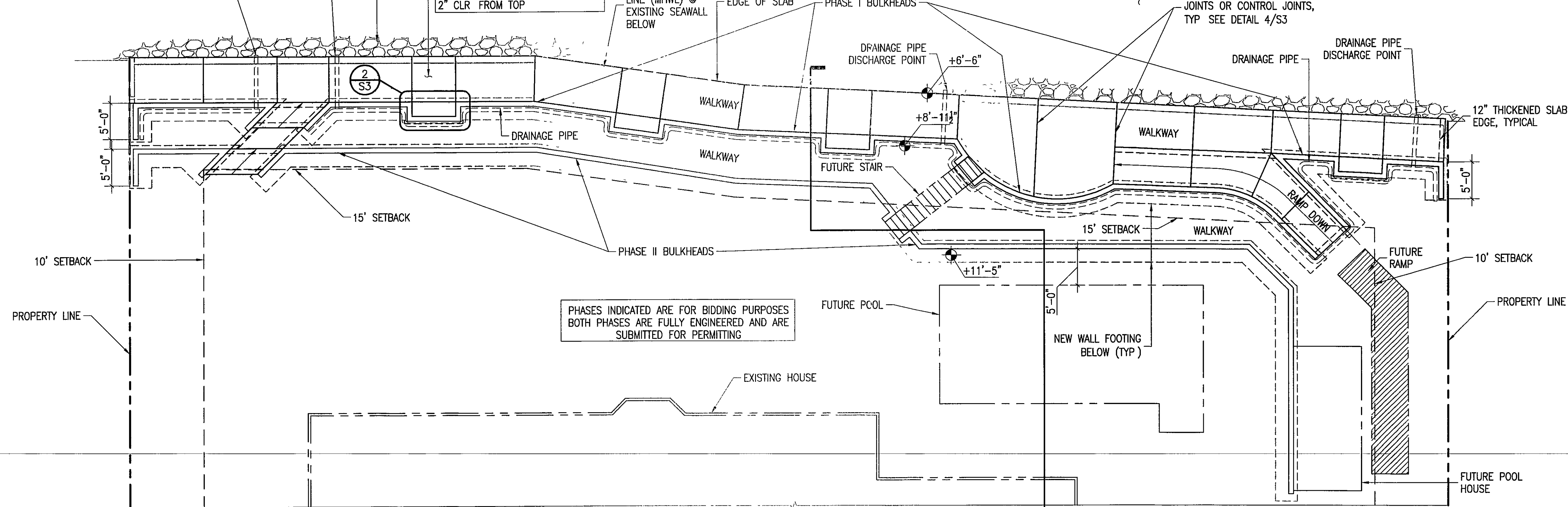
JOE DEREUIL ASSOCIATES, LLC  
JDA STRUCTURAL ENGINEERS  
300 WEST CERVANTES ST. - PENSACOLA, FL 32501 - (850) 429-1951  
FLORIDA PE NO. 54319 / FLORIDA CA. NO. 9515  
JDA JOB# 14128

REV. 1. 7/02/2014

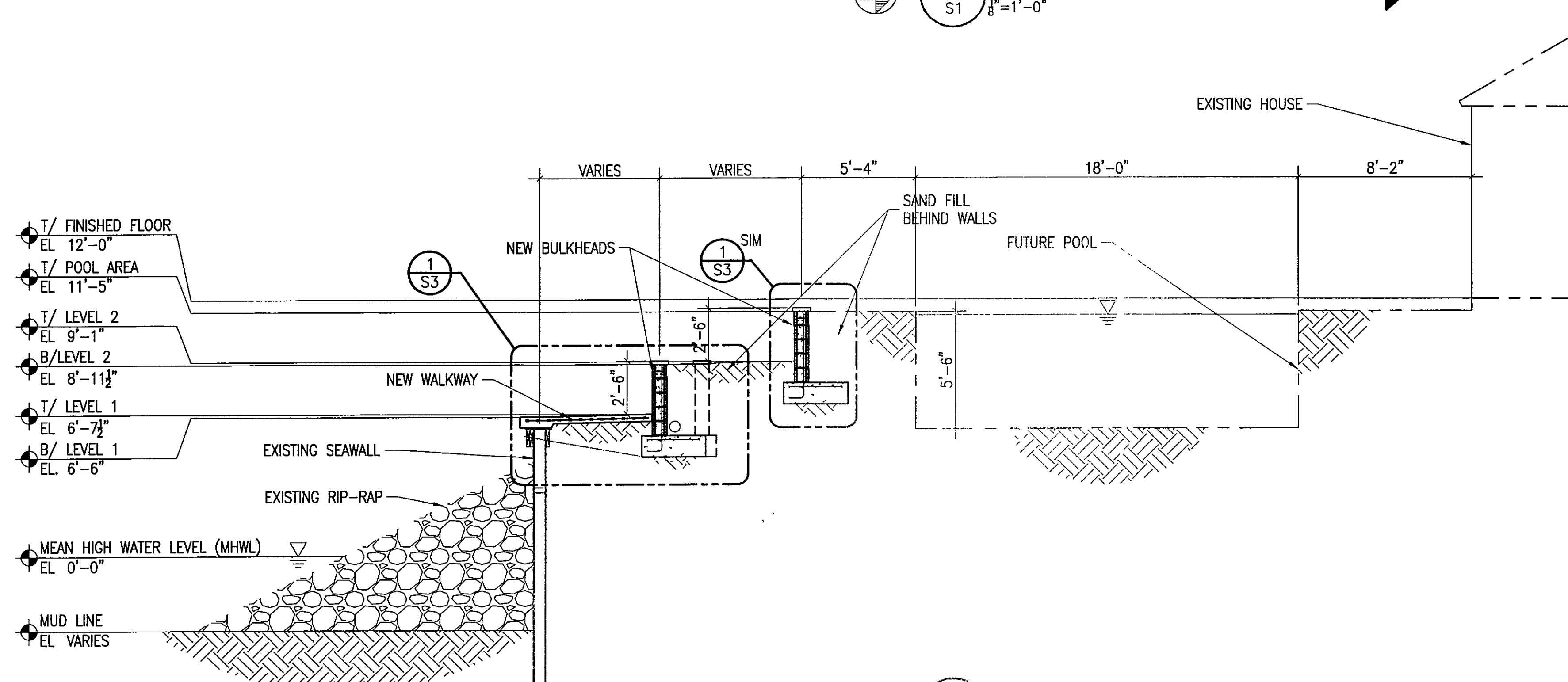
DESIGNED- ICM  
DRAWN- ICM  
CHECKED LJD  
DATE 06/27/2014

ALLYN RESIDENCE BULKHEAD  
5284 PALE MOON DRIVE  
PERDIDO, FL

S3  
SHEET 3 OF 3

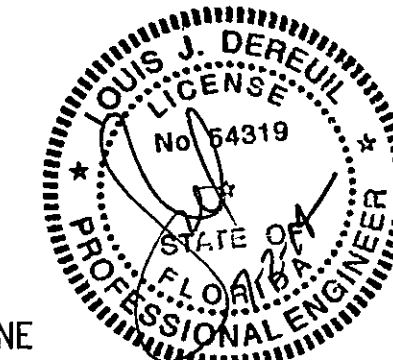


1 PLAN  
S1  
1/8"=1'-0"



2 SECTION  
S1  
1/4"=1'-0"

SEE SHEET S3 FOR GENERAL  
NOTES AND TYPICAL DETAILS



ALLYN RESIDENCE BULKHEAD  
5284 PALE MOON DRIVE  
PERDIDO, FL

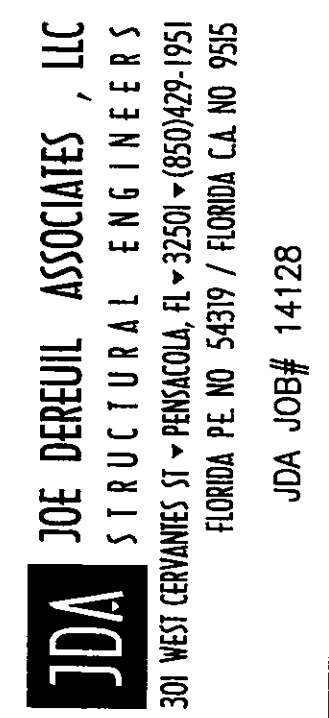
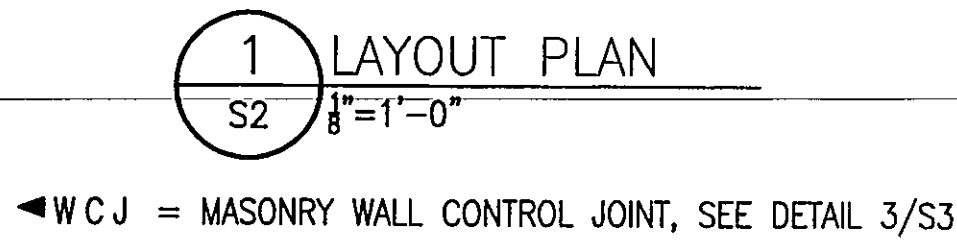
REV. 1 7/02/2014

DESIGNED- ICM  
DRAWN. ICM  
CHECKED LJD  
DATE 06/27/2014

JDA  
JOE DEREUIL ASSOCIATES, LLC  
STRUCTURAL ENGINEERS  
301 WEST CERVANTES ST. - PENSACOLA, FL 32501 - (850) 429-1951  
FLORIDA PE NO. 54319 / FLORIDA C.E. NO. 9505  
JDA JOB# 14128

S1

SHEET 1 OF 3



DESIGNED: ICM	CHECKED: LJD
DRAWN: ICM	DATE 06/27/2014

ALLYN RESIDENCE BULKHEAD  
5284 PALE MOON DRIVE  
PERDIDO, FL

S2

SHEET 2 OF 3



STRUCTURE THE DIMENSIONAL LAYOUT OF THE STRUCTURE HAS BEEN DICTATED TO JOE DEREUIL ASSOCIATES IN ORDER TO PRODUCE STRUCTURAL DESIGN DOCUMENTS NO REPRESENTATION IS MADE REGARDING CODE CONFORMANCE OF NON-STRUCTURAL ASPECTS OF THE STRUCTURE

1 02 VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK NOTIFY STRUCTURAL ENGINEER OF ANY DISCREPANCY

1 03 DESIGN CRITERIA

THE STRUCTURE HAS BEEN DESIGNED UTILIZING THE FOLLOWING REFERENCES

- A FLORIDA BUILDING CODE, 2010  
B ASCE 7-05, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES  
C ACI 318-11, BUILDING CODE REQUIREMENTS FOR CONCRETE STRUCTURES  
D ACI 530-05, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES

1 04 DESIGN LOADS

- A LIVE LOADS (MAY BE REDUCED PER CODE)  
1 SLAB-ON-GRADE 100 PSF

B WIND LOADS - NOT APPLICABLE

C SOIL PRESSURE LOADS A COEFFICIENT OF ACTIVE PRESSURE HAS BEEN CONSERVATIVELY ASSUMED AS .44 WITH A SOIL DENSITY OF 105 PCF, CORRESPONDING TO A LOOSE SAND

2 00 FOUNDATIONS AND SLAB-ON-GRADE

2 01 SHALLOW FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF

2 02 AT THIS TIME NO GEOTECHNICAL REPORT HAS BEEN SUBMITTED AN ALLOWABLE SOIL BEARING PRESSURE HAS BEEN CONSERVATIVELY ESTIMATED BASED ON SIMILAR PROJECTS OF THIS SIZE AND LOCATED IN THE SAME GENERAL AREA OF CONSTRUCTION THE SOILS IMMEDIATELY BENEATH ALL FOOTINGS SHOULD BE COMPACTED

2 03 ALL FOOTINGS SHALL REST EITHER ON UNDISTURBED SOIL OR A MANUALLY OPERATED VIBRATORY SLED OR TAMPER SHOULD BE USED TO DENSIFY ANY SOILS IN THE BOTTOM OF THE FOOTING TRENCHES LOOSENED DURING THE EXCAVATION OPERATION

2 04 SLAB-ON-GRADE REQUIREMENTS

A THE SLAB-ON-GRADE SHALL BE A MINIMUM THICKNESS INDICATED ON PLAN, PLACED ON COMPACTED SUBGRADE, AND REINFORCED WITH WWF IN FLAT SHEETS (ROLLS ARE NOT PERMITTED) PROVIDE POSITIVE SUPPORT 2" CLEAR FROM BOTTOM OF SLAB LAP MESH 12"

B PLACE CONTROL OR CONSTRUCTION JOINTS AT LOCATIONS INDICATED ON PLAN IF NOT INDICATED, LOCATED JOINTS AT COLUMN CENTERLINES AND AT 20'-0" O.C. MAX. TROWEL CONTROL JOINTS AS SOON AFTER POURING AS POSSIBLE, WHEN CONCRETE WILL NOT RAVEL

3 00 REINFORCED CONCRETE

3 01 ALL CONCRETE WORK SHALL CONFORM TO ACI 301-05, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS DESIGN IS BASED ON ACI 318-05, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE DETAIL CONCRETE REINFORCEMENT AND ACCESSORIES IN ACCORDANCE WITH ACI 315, DETAILING MANUAL DETAIL ALL CONCRETE WALLS AND BEAMS ON THE SHOP DRAWINGS IN ELEVATION UNLESS SPECIFICALLY APPROVED OTHERWISE. SUBMIT SHOP DRAWINGS FOR APPROVAL, SHOWING ALL FABRICATION DIMENSIONS AND LOCATIONS FOR PLACING REINFORCING STEEL AND ACCESSORIES DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED

3 02 UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE THE FOLLOWING MINIMUM 28 DAY COMPRESSIVE STRENGTHS

- A FOUNDATIONS 3000 PSI  
B SLAB-ON-GRADE 3000 PSI  
ALL CONCRETE SHALL HAVE ENTRAINED AIR, U N O CONCRETE MAY CONTAIN A PROPERLY DESIGNED SUPERPLASTICIZER FOR WORKABILITY

3 03 REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS NOTED OTHERWISE

3 04 THE PROPOSED MATERIALS AND MIX DESIGN SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE OWNER'S TESTING LABORATORY RESPONSIBILITY FOR OBTAINING THE REQUIRED DESIGN STRENGTH IS THE CONTRACTOR'S

3 05 USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS IN CONCRETE IS NOT PERMITTED

CONSTRUCTION ACTIVITIES "STICKING" DOWELS INTO WET CONCRETE IS NOT PERMITTED

3 07 PROVIDE CONTINUOUS REINFORCEMENT WHEREVER POSSIBLE, SPLICE ONLY AS SHOWN OR APPROVED, STAGGER SPLICE WHERE POSSIBLE, USE FULL TENSION SPLICE (CLASS "B") UNLESS NOTED OTHERWISE DOWELS SHALL MATCH THE SIZE AND SPACING OF THE SPECIFIED REINFORCEMENT AND SHALL BE LAPPED WITH FULL TENSION SPLICES (CLASS "B") UNLESS NOTED OTHERWISE TERMINATE BARS WITH STANDARD HOOKS

3 08 REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS NOTED OTHERWISE (PER ACI 318-05 PAR 7.7.1)

A CONCRETE AGAINST EARTH (NOT FORMED) 3"

B FORMED CONCRETE EXPOSED TO THE EARTH OR WEATHER.

- 1 #6 THROUGH #18 BARS 2"  
2 #5 BARS AND SMALLER 1-1/2"

C CONCRETE NOT EXPOSED TO EARTH OR WEATHER

- 1 SLABS AND WALLS 1"  
2 BEAMS (STIRRUPS) AND COLUMNS (TIES) 1-1/2"

3 09 DO NOT WELD OR TACK WELD REINFORCING STEEL UNLESS APPROVED OR DIRECTED BY THE STRUCTURAL ENGINEER

4 00 MASONRY

4 01 CONCRETE MASONRY DESIGN AND CONSTRUCTION SHALL CONFORM TO ACI 530, BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES AND ACI 530.1, SPECIFICATIONS FOR CONCRETE MASONRY CONSTRUCTION

4 02 PROVIDE LIGHTWEIGHT, HOLLOW, LOAD-BEARING CONCRETE MASONRY UNITS (CMU) CONFORMING TO ASTM C90, GRADE N, TYPE 1,  $f'_c = 1900$  PSI (NET), UNLESS NOTED OTHERWISE

4 03 PROVIDE MASONRY CONSTRUCTION WITH MINIMUM COMPRESSIVE STRENGTH,  $f'_m = 1500$  PSI.

4 04 PROVIDE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270, UNLESS NOTED OTHERWISE

4 05 VERTICAL CELLS SHALL BE REINFORCED AS INDICATED IN THE CONTRACT DRAWINGS VERTICAL REINFORCING SHALL BE CONTINUOUS (LAPPED 48 BAR DIAMETERS AT SPLICES) AND HELD IN POSITION AT THE TOP AND BOTTOM OF THE GROUT POUR

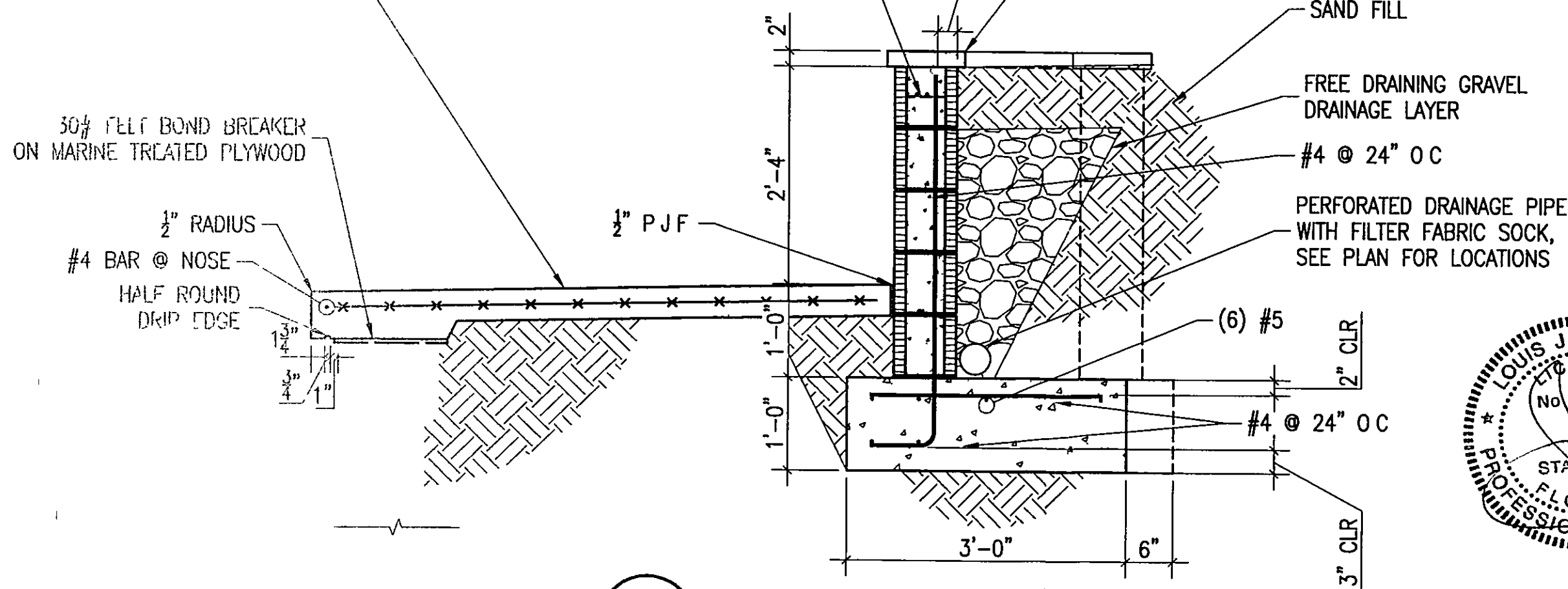
4 06 PROVIDE GROUT FOR REINFORCED MASONRY IN ACCORDANCE WITH ASTM C476. GROUT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI UNLESS NOTED OTHERWISE. GROUT SHALL BE FLUID CONSISTENCY FLUID CONSISTENCY SHALL MEAN THAT CONSISTENCY AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS FILL ALL CELLS BELOW GRADE WITH GROUT ALL GROUT SHALL BE CONSOLIDATED AT THE TIME OF POURING BY VIBRATING AND THEN RECONSOLIDATED BY AGAIN PUDDLING LATER, BEFORE PLASTICITY IS LOST WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE POUR OF THE GROUT 1-1/2 INCHES BELOW THE TOP OF THE UPPERMOST UNIT

4 07 PROVIDE HORIZONTAL JOINT REINFORCEMENT COMPLYING WITH ASTM A82, NO 9 GAUGE OR HEAVIER, ZINC COATED, PLACED 16 INCHES ON CENTER UNLESS NOTED OTHERWISE

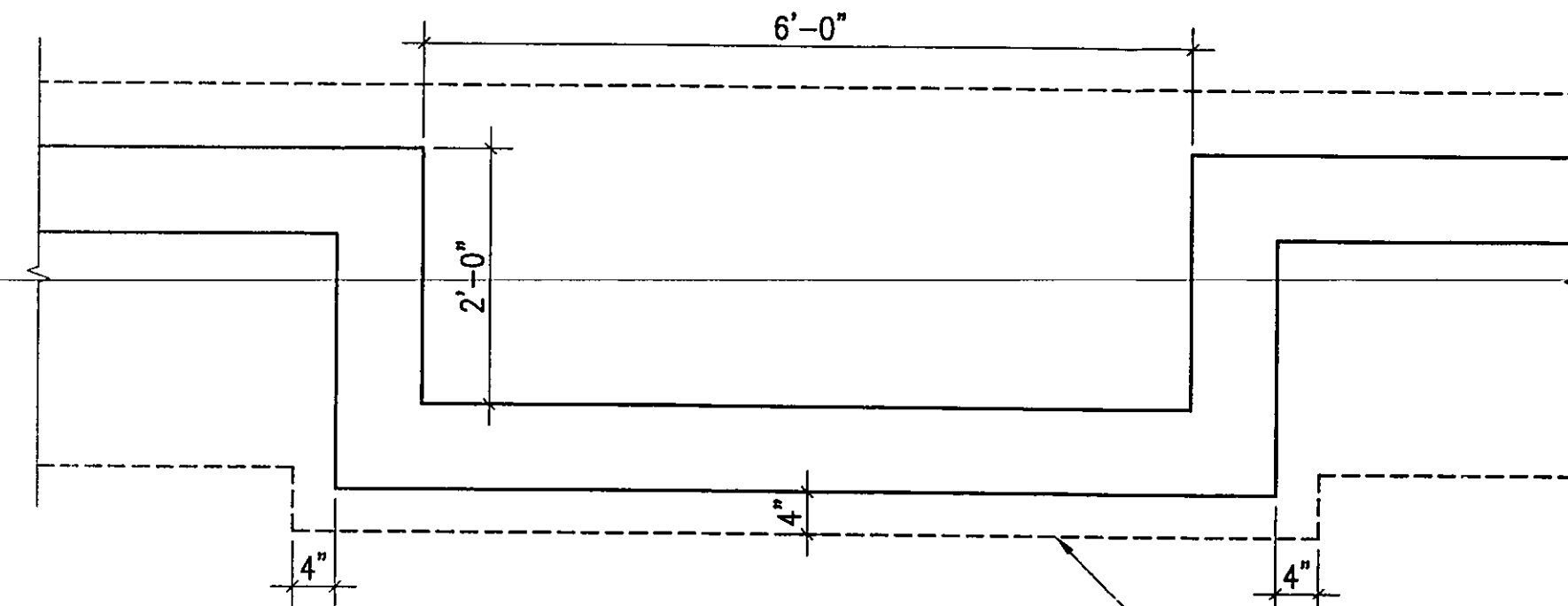
4 08 PROVIDE RUNNING BONDS WITH VERTICAL JOINTS LOCATED AT CENTER OF MASONRY UNITS IN THE ALTERNATE COURSE BELOW, UNLESS NOTED OTHERWISE.

4 09 ALL MASONRY UNITS SHALL BE FREE OF EXCESSIVE DUST AND DIRT AT THE TIME THEY ARE LAYED BY THE MASON

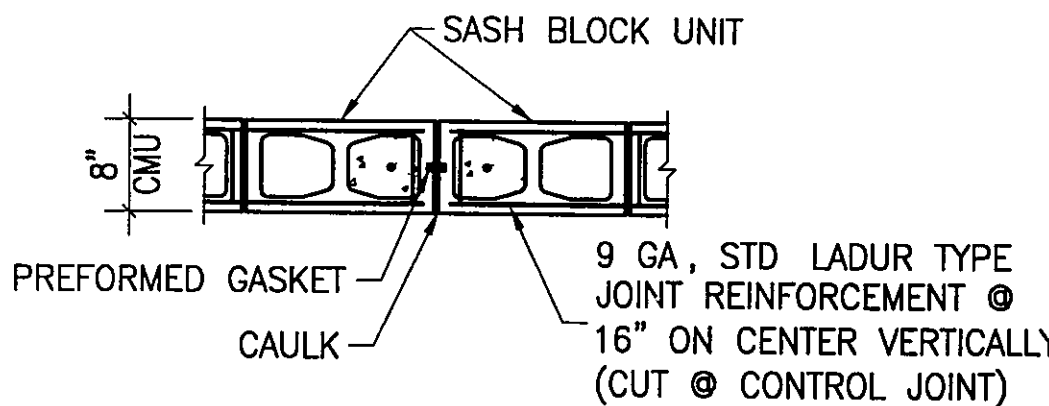
4 10 ALL REINFORCED HOLLOW UNIT MASONRY SHALL BE BUILT TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS TO BE FILLED WALLS AND CROSS WEBS IN ALL REINFORCED MASONRY WALLS SHALL BE FULLY BEDDED IN MORTAR ALL HEAD (OR END) JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM EACH FACE OF THE UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS, BOND SHALL BE PROVIDED BY LAPPING UNITS IN SUCCESSIVE VERTICAL COURSES



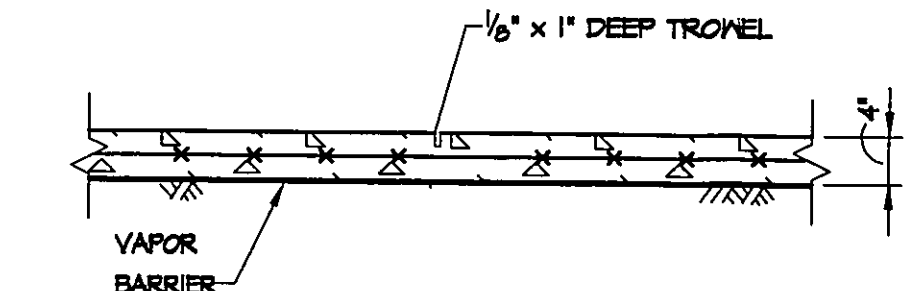
1 DETAIL  
S3 3/4" = 1'-0"



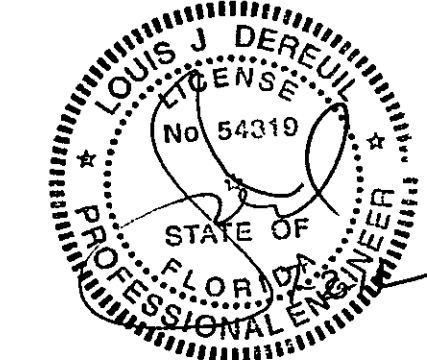
2 DETAIL  
S3 3/4" = 1'-0"



3 TYP MASONRY CONTROL JOINT DETAIL  
S3 3/4" = 1'-0"



3 TYPICAL CONTROL JOINT DETAIL  
S3 SCALE 3/4" = 1'-0"



JOE DEREUIL ASSOCIATES, LLC  
JDA STRUCTURAL ENGINEERS  
300 WEST CERVANTES ST. - PENSACOLA, FL 32501 - (850) 429-1951  
FLORIDA PE NO. 54319 / FLORIDA CA. NO. 9515  
JDA JOB# 14128

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DATE 06/27/2014

ALLYN RESIDENCE BULKHEAD  
5284 PALE MOON DRIVE  
PERDIDO, FL

S3  
SHEET 3 OF 3



**Board of Adjustment****6. 2.**

**Meeting Date:** 09/17/2014  
**CASE:** V-2014-11  
**APPLICANT:** E. Dean Dalrymple, Agent for Carolyn L. Patterson  
**ADDRESS:** 3012 Barrancas Ave.  
**PROPERTY REFERENCE NO.:** 59-2S-30-2101-000-012  
C-2, General  
Commercial and Light  
**ZONING DISTRICT:** Manufacturing District  
MU-U, Mixed-Use  
**FUTURE LAND USE:** Urban

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**SUBMISSION DATA:****REQUESTED VARIANCE:**

The Applicant is seeking a variance to allow for zero side setbacks for the construction of a single-family home. In addition, the Applicant requests an exception to the marine/estuarine/riverine (MERS) setback. This request will be handled administratively and requires no BOA action.

**RELEVANT AUTHORITY:**

**Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended),  
Section: 6.05.16.H**

**Side yard.** The yard required on each side of buildings not exceeding three stories in height shall be ten percent of the lot width measured at the front building line or 10 feet, whichever is less; however, required side yards shall not be less than five feet on each side. For buildings exceeding three stories, each side yard shall be increased by two feet for each additional story or each additional ten feet in height.

**CRITERIA**

**Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended),  
Section 2.05.02**

**CRITERION (1)**

**That there are special circumstances or conditions applicable to the building or land in question that are peculiar to such property that do not apply generally to other land or buildings in the vicinity.**

**FINDINGS-OF-FACT**

Section 2.05.02 of the Land Development Code defines special circumstances or conditions specifically as follows: "Such special conditions shall be limited to unusual physical

characteristics inherent in the specific piece of property and not common to properties similarly situated. Such physical characteristics include, but are not limited to, exceptional narrowness, shallowness, shape, topographic conditions, or the presence of sensitive environmental resources, any or all of which will result in peculiar or practical difficulties in the quiet enjoyment and use of the property”.

The lot in question pre-dates the LDC and is much narrower than called for in the zoning requirements. This situation presents clear, practical difficulties in the use of the property for a single-family residence as allowed by code. The required zoning setbacks would unreasonably reduce the buildable area and constitute a hardship for a lot this size.

#### **CRITERION (2)**

**That the variance is necessary for the preservation and enjoyment of a substantial property right and not merely to serve as a convenience to the Applicant.**

#### **FINDINGS-OF-FACT**

The requested variance is necessary for the preservation and enjoyment of a substantial property right due to the physical limitations of the site.

#### **CRITERION (3)**

**That such a variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.**

#### **FINDINGS-OF-FACT**

This variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

#### **CRITERION (4)**

**The variance will not, in any manner, alter other provisions of this Code or Comprehensive Plan.**

#### **FINDINGS-OF-FACT**

This variance will not alter other provisions of the Land Development Code or Comprehensive Plan.

#### **CRITERION (5)**

**That the variance is the minimum necessary to make possible the use of the land, building or other improvements as approved by the BOA.**

**FINDINGS-OF-FACT**

Given the unique size and topography of this lot, the requested variance is necessary to make reasonable use of the lot.

**STAFF RECOMMENDATION:**

Staff finds that the Applicant does meet all of the required criterion and approval of the request is recommended.

**BOARD OF ADJUSTMENT FINDINGS:**

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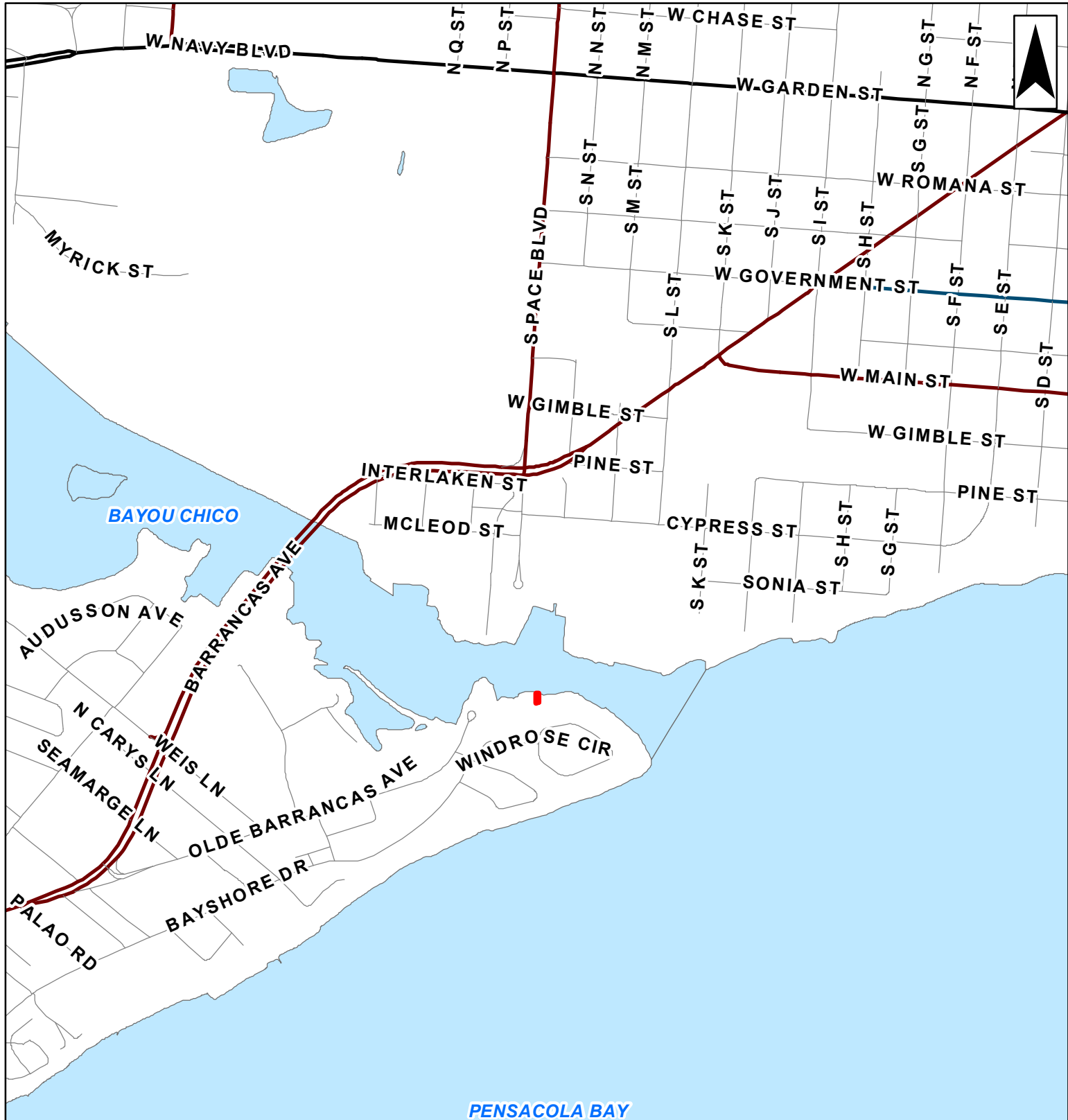
**Attachments**


Working Case File V-2014-11

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**V-2014-11**



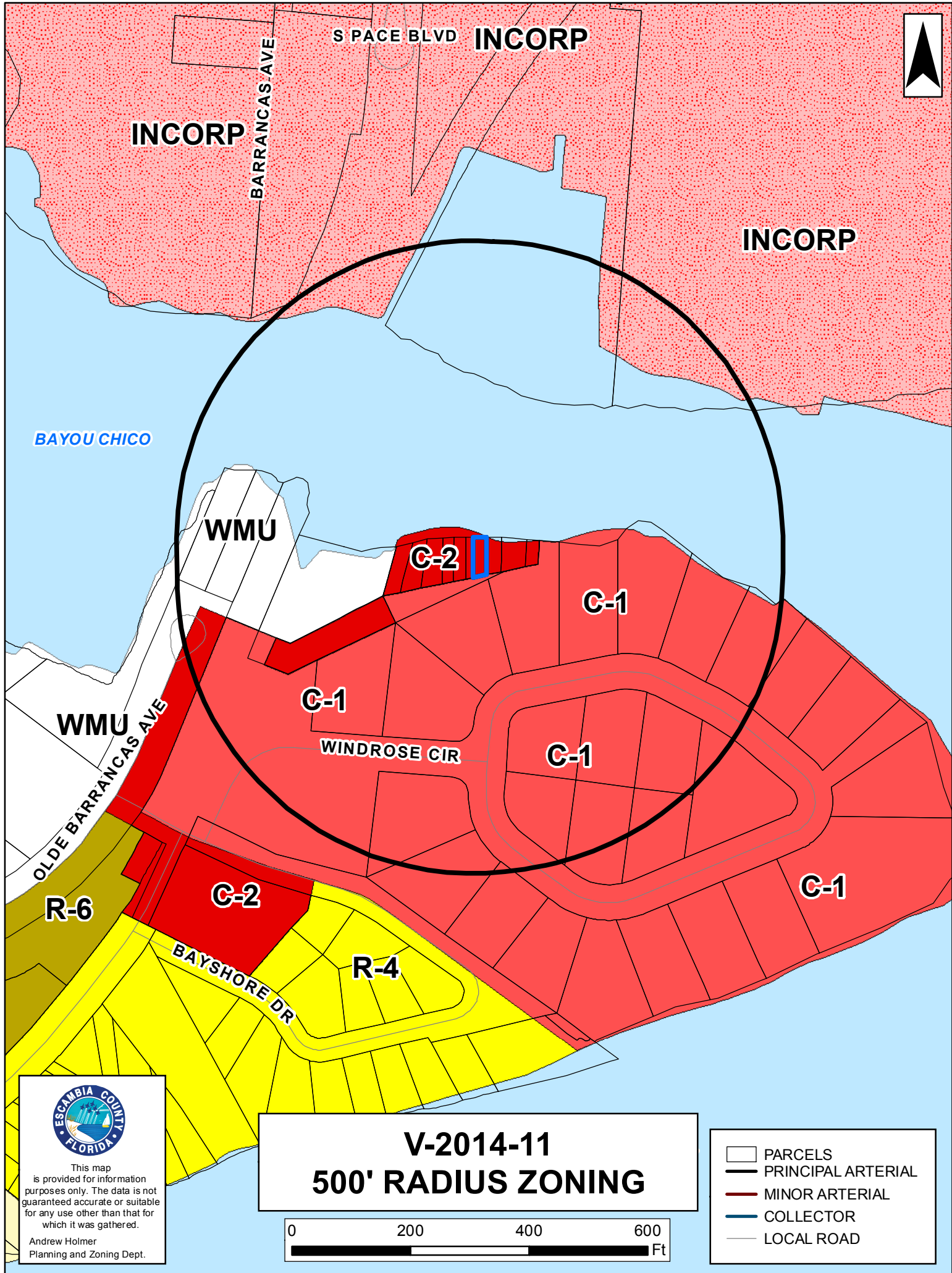


  
This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.  
Andrew Holmer  
Planning and Zoning Dept.

**V-2014-11  
LOCATION MAP**



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD





**CITY OF  
PENSACOLA**

**CITY OF  
PENSACOLA**

*BAYOU CHICO*

BARRANCAS AVE

S PACE BLVD

OLDE BARRANCAS AVE

**MU-U**

WINDROSE CIR

**MU-U**

**MU-U**

BAYSHORE DR

**MU-U**



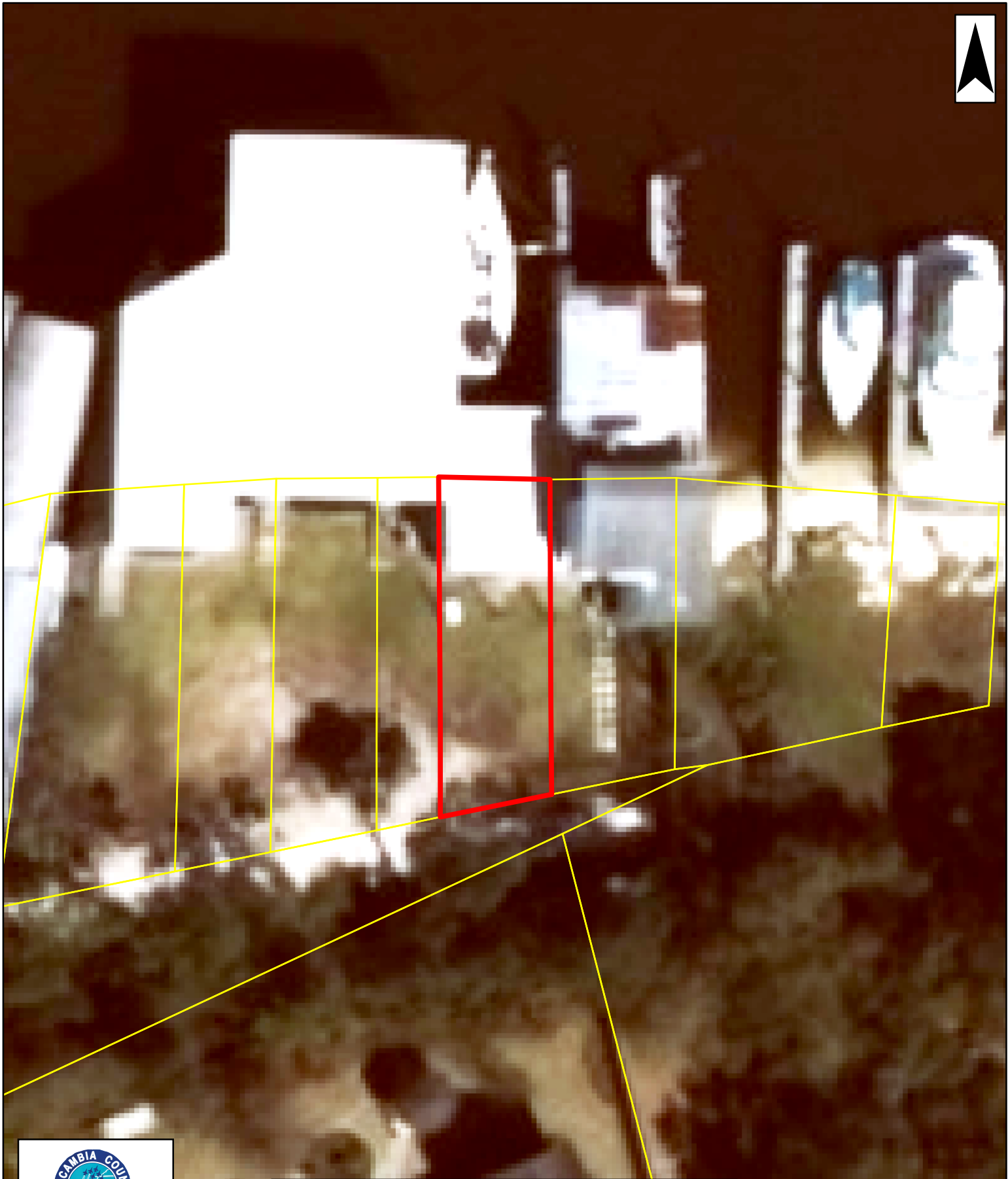
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Andrew Holmer  
Planning and Zoning Dept.

## V-2014-11 FUTURE LAND USE

0 200 400 600  
Ft

- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer  
Planning and Zoning Dept.

## V-2014-11 AERIAL MAP



- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



## Variance Request Letter

**Date:** Friday, August 22, 2014

**Project:** Patterson Cottage and Boathouse  
3012 Old Barrancas Avenue  
Pensacola, FL

**Recipient:** Escambia County – Board of Adjustments

---

Board members,

As agent for the property owner, Carol L. Patterson, of 3012 Barrancas Avenue, I am requesting two setback variances for said property to allow for the construction of a piling supported, wood-framed, single-family residence.

The property is located on the Western shore of Bayou Chico and legally described as Lot 12 and Lot 'L' of a subdivision portion of Brent Island, lying in Section 59, Township 2 South, Range 30 West, Escambia County, Florida, as shown in Plat book 4 at Page 78. Current listed use is Miscellaneous Residential per Escambia County Property Appraiser. The property is zoned C-2 Esc. Co. and located in a AE-8 Flood Zone.

Existing improvements on the site are a 558 SF piling supported boathouse with boat slip. The subject property width is 22.6 feet and depth is 62.8 feet (per plat) with an 18 foot wide easement along the West property line for a private road.

The variance request is to allow zero lotline side setback; *current zoning states residential site requirements shall be the same as R-6.*

*R-6 Side yard.* The yard required on each side of buildings not exceeding three stories in height shall be ten percent of the lot width measured at the front building line or 10 feet, whichever is less; however, required side yards shall not be less than five feet on each side. For buildings exceeding three stories, each side yard shall be increased by two feet for each additional story or each additional ten feet in height. However, no side yard in excess of 15 feet is required on Pensacola Bay-front lots. No side yards are required for attached townhouse or zero lot line projects except at the end of each building within a project where a minimum of ten feet shall be required. On property abutting estuarine, riverine or creek systems, the setback shall be in accordance with the marine/estuarine/riverine setback (MERS) provision of this Code (article 7) or 25 feet, whichever is greater. In the case of multifamily projects, there shall be a project side yard having a depth of not less than five feet.

and 15 feet variance to the 30 feet MERS provision based on the waterward exception defined in Article 7 of the LDC that states:

*C.Exceptions.* The following exceptions to the marine/estuarine/riverine setback (MERS) line are provided:

*Waterward exception.* If the applicant requests siting of a structure or conducting an activity prohibited by this article waterward of the MERS line by no more than 15 feet and no wetlands or highly eroding lands are present between the MERS line and the water's edge, as determined by a wetlands inventory map or a copy of the most current Federal Emergency Management Agency Floodway Flood Boundary and Floodway Map or an on-site inspection.

The following list addresses the criteria defined by the Board of Adjustment and LDC required to authorize these requested variances.

1. The 22 foot width of the property creates a condition that can not comply with the side yard requirements of the code for single-family development. Two parcels within the Brent Island S/D currently have existing single-family residences with minimal side yards of 5 feet or less. The directly adjacent parcel (Lot 13) has a multi-story piling supported single-family residence (built in 1980) with zero lotline setback and partial located over the water of Bayou Chico. Parcel (Lot 7) also has a piling supported single family residence (built 1972) which encroaches upon the MERS setback.

2. The side yard variance is required for the owner to preserve and enjoy the property similarly as the adjacent/near vicinity property owners.
3. The approval of either variance will not diminish the health, safety, comfort, or general welfare of the near vicinity property owners.
4. These variances will not alter other provisions of the code or comprehensive plan.
5. These variances are the minimum necessary to make use of the property and improvements and to construct a suitable single-family residence.

Sincerely,

E. Dean Dalrymple



## APPLICATION

## Please check application type:

☐ Administrative Appeal☐ Development Order Extension☐ Conditional Use Request for: \_\_\_\_\_☒ Variance Request for: Setbacks☐ Rezoning Request from: \_\_\_\_\_ to: \_\_\_\_\_

Name &amp; address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: Carolyn L Patterson

Phone: \_\_\_\_\_

Address: 107 Seamarge Circle, Pensacola, FL 32507Email: clpat@me.com☒ Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.Property Address: 3012 Barrancas AvenueProperty Reference Number(s)/Legal Description: LT 12 AND LT L S/D PORTION OF BRENT ISLAND PB 4 P 78 OR 7164 P 815 CA 193

## By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Signature of Owner/Agent

Printed Name Owner/Agent

Date

Signature of Owner

Printed Name of Owner

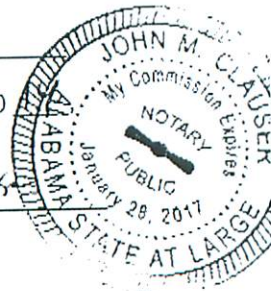
Date

STATE OF AlabamaCOUNTY OF JeffersonThe foregoing instrument was acknowledged before me this 21<sup>st</sup> day of August 2014  
by Carolyn PattersonPersonally Known ☐ OR Produced Identification ☒ Type of Identification Produced: Driver's License

Signature of Notary

(notary seal must be affixed)

Printed Name of Notary



## FOR OFFICE USE ONLY

CASE NUMBER: V-2014-11Meeting Date(s): 09-17-14Accepted/Verified by: DA & DLDate: 08-22-14Fees Paid: \$ 423.50Receipt #: 615989Permit #: PBA 140800013

**AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY**

As owner of the property located at 3012 Barrancas Avenue

Florida, property reference number(s) 592S302101000012

I hereby designate Dean Dalrymple for the sole purpose of completing this application and making a presentation to the:

☐ Planning Board and the Board of County Commissioners to request a rezoning on the above referenced property.

☒ Board of Adjustment to request a(n) VARIANCE on the above referenced property.

This Limited Power of Attorney is granted on this 21<sup>st</sup> day of August the year of, 2014, and is effective until the Board of County Commissioners or the Board of Adjustment has rendered a decision on this request and any appeal period has expired. The owner reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice to the Development Services Bureau.

Agent Name: Dean Dalrymple

Email: dean@dalsal.com

Address: 213 S. Baylen Street

Phone: 850-470-6399

[Signature]  
Signature of Property Owner

CRACKEN L. VATTERSON  
Printed Name of Property Owner

8/21/14  
Date

\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Printed Name of Property Owner

\_\_\_\_\_  
Date

STATE OF Alabama

COUNTY OF Jefferson

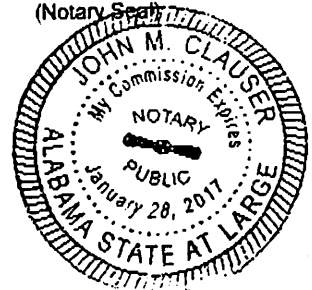
The foregoing instrument was acknowledged before me this 21<sup>st</sup> day of August 20 14,  
by Carlton Peterson

Personally Known ☐ OR Produced Identification ☒ Type of Identification Produced: Driver's license

[Signature]  
Signature of Notary

John M. Clauser  
Printed Name of Notary

(Notary Seal)





**Prepared by and return to:**

Janice S. Sugar  
David A. Sapp, Attorney at Law, PLLC  
801 E. Cervantes Street, Suite B  
Pensacola, FL 32501  
850-475-0500  
File Number: 14-04-01-DAS  
Will Call No.: 092014-261

[Space Above This Line For Recording Data]

## Trustee's Deed

This Trustee's Deed made this 28<sup>th</sup> day of April, 2014, between Louis M. Makarowski and Marilyn H. Makarowski, as Trustees of the Makarowski Living Trust dated November 6, 2006, and Louis M. Makarowski and Marilyn H. Makarowski, husband and wife, individually, whose post office address is 5120 Bayou Blvd., Suite 6, Pensacola, FL 32503, grantor, and Carolyn L. Patterson, a married woman, whose post office address is 107 Seamarge Circle, Pensacola, FL 32507, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantees heirs and assigns forever, the following described land, situate, lying and being in Escambia County, Florida, to-wit:

**LOTS 12 AND L OF A SUBDIVISION PORTION OF BRENT ISLAND, LYING IN SECTION 59, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS SHOWN IN PLAT BOOK 4 AT PAGE 78, DATED THE 6TH DAY OF MARCH, 1958, AS RECORDED IN THE OFFICIAL RECORDS OF ESCAMBIA COUNTY, FLORIDA.**

Subject to all easements which are visible or a matter of public record and particularly subject to all agreements contained in the Articles of Association dated February 26, 1982, and recorded March 1, 1982, in Official Records Book 1621 at pages 137-143 of the public records of Escambia County, Florida.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
Witness Name: DAVID A. SAPP

[Signature]  
Witness Name: JANICE S. SUGAR

[Signature]  
Witness Name: DAVID A. SAPP

[Signature]  
Witness Name: JANICE S. SUGAR

Louis M. Makarowski Trustee  
Louis M. Makarowski, Trustee

[Signature]  
Louis M. Makarowski, individually

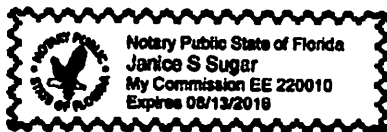
Marilyn H. Makarowski Trustee  
Marilyn H. Makarowski, Trustee

Marilyn H. Makarowski  
Marilyn H. Makarowski, individually

State of Florida  
County of Escambia

The foregoing instrument was acknowledged before me this 28<sup>th</sup> day of April, 2014, by Louis M. Makarowski and Marilyn H. Makarowski, individually and as Trustees of the Makarowski Living Trust dated November 6, 2006, who ☐ are personally known or ☒ have produced a driver's license as identification.

[Notary Seal]



[Signature]  
Notary Public

Printed Name: Janice S. Sugar

My Commission Expires: August 13, 2016

## RESIDENTIAL SALES ABUTTING ROADWAY MAINTENANCE DISCLOSURE

ATTENTION: Pursuant to Escambia County Code of Ordinances Chapter 1-29.2, Article V, sellers of residential lots are required to disclose to buyers whether abutting roadways will be maintained by Escambia County. The disclosure must additionally provide that Escambia County does not accept roads for maintenance that have not been built or improved to meet county standards. Escambia County Code of Ordinances Chapter 1-29.2, Article V requires this disclosure be attached along with other attachments to the deed or other method of conveyance required to be made part of the public records of Escambia County, Florida. Note: Acceptance for filing by County employees of this disclosure shall in no way be construed as an acknowledgment by the County of the veracity of any disclosure statement.

Name of Roadway: 3012 Barrancas Avenue

Legal Address of Property: 3012 Barrancas Avenue, Lots 12 and L, Brent Island, Pensacola, FL 32507

The County ( ) has accepted ( ☒ ) has not accepted the abutting roadway for maintenance.

This form Completed by: David A. Sapp, Attorney at Law, PLLC  
801 E. Cervantes Street, Suite B, Pensacola, FL 32501

### AS TO SELLER(S):

Louis M. Makarowski, Trustee  
Seller's Name: Louis M. Makarowski, Trustee

Jammi S. Sugar  
Witness' Name: JANICE S. SUGAR

Marilyn H. Makarowski, Trustee  
Seller's Name: Marilyn H. Makarowski, Trustee

Jammi S. Sugar  
Witness' Name: JANICE S. SUGAR

### AS TO BUYER(S):

Carolyn L. Patterson  
Buyer's Name: Carolyn L. Patterson

Jammi S. Sugar  
Witness' Name: JANICE S. SUGAR

Buyer's Name: \_\_\_\_\_

Witness' Name: \_\_\_\_\_

THIS FORM APPROVED BY THE  
ESCAMBIA COUNTY BOARD  
OF COUNTY COMMISSIONERS  
Effective 4/15/95  
File No.: 14-04-01-DAS









Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**PATTERSON CAROLYN L**  
**107 SEAMARGE CIR**  
**PENSACOLA, FL 32507**

In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.



Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**UNIVERSAL REALTY INVESTMENTS INC**  
**4060 BARRANCAS AVE**  
**PENSACOLA, FL 32507**

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Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**NOBLES FAMILY PARTNERSHIP**  
**PO BOX 13630**  
**PENSACOLA, FL 32591**

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Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**DICKSON BARRY E & KATHY**  
**526 WINDROSE CIR**  
**PENSACOLA, FL 32507**

In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.





Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**BRAY JOHN R &  
538 WINDROSE CIR  
PENSACOLA, FL 32507**

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Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

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Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

**HARBOUR POINTE INC C/O ETHERIDGE  
PROPERTY MGMT  
908 GARDENGATE CIR  
PENSACOLA, FL 32504**

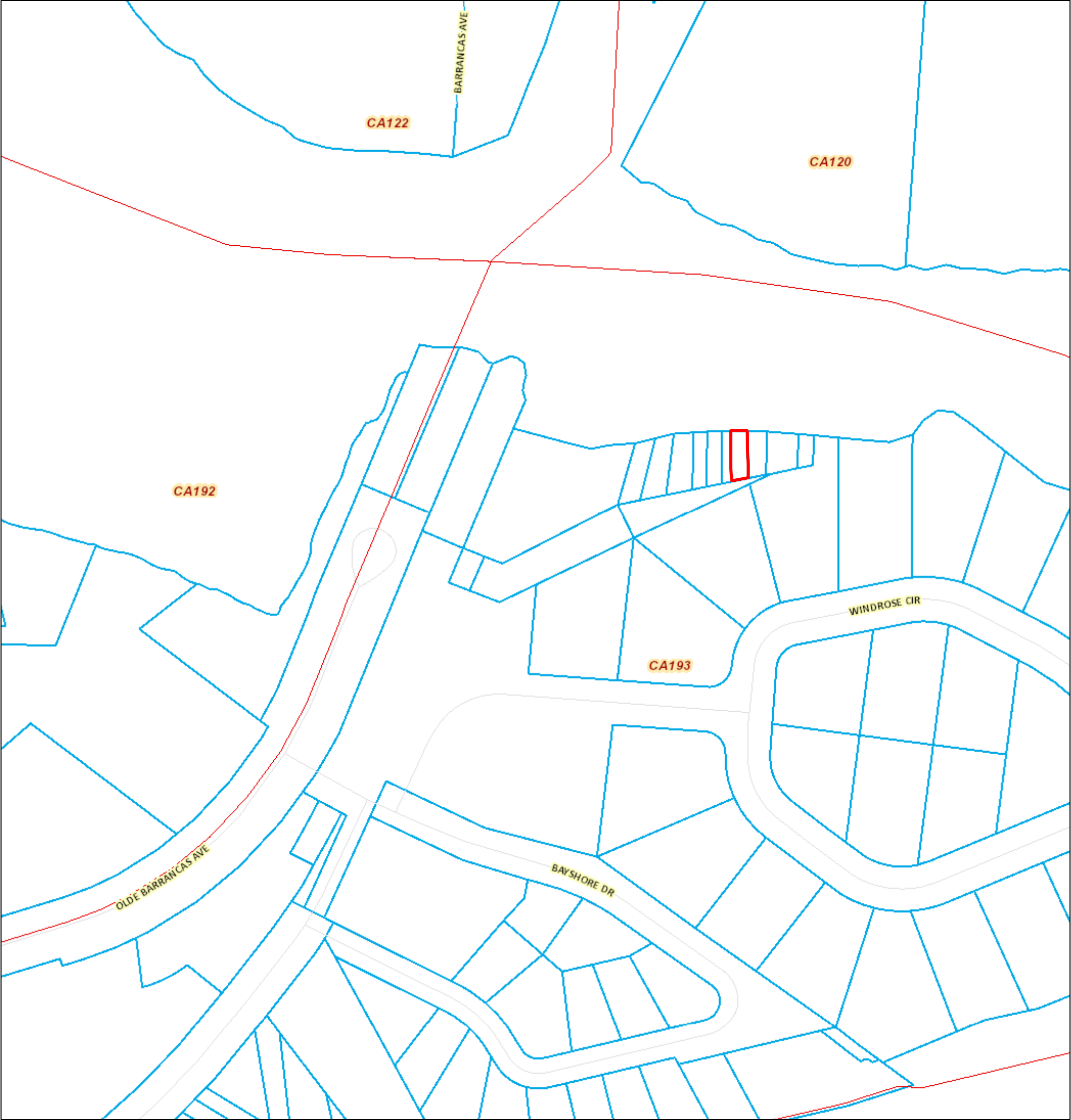
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Escambia County  
Development Services Department  
3363 West Park Place  
Pensacola, FL 32505

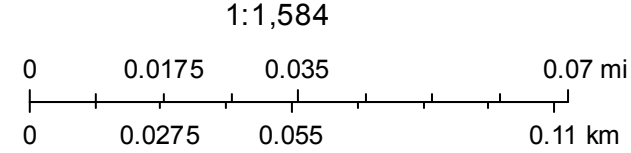
In accordance with the Americans with Disabilities Act, persons needing special accommodation or an interpreter to participate in the public hearing should contact County Administrator's Office at 595-4947 at least seven days prior to the date of the hearing. If you have any questions, please contact the Development Services Department at 595-3475.

# Chris Jones Escambia County Property Appraiser



August 22, 2014

- Map Grid
- City Road
- County Road
- Interstate
- State Road
- US Highway
- All Roads
- Property Line





## Development Services Department

### Building Inspections Division

3363 West Park Place  
Pensacola, Florida, 32505  
(850) 595-3550  
Molino Office - (850) 587-5770

## RECEIPT

Receipt No. : **615989**

Date Issued. : 08/22/2014

Cashier ID : VHOWENS

Application No. : PBA140800013

Project Name : V-2014-11

### PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
<b>Check</b>	2601	\$423.50	App ID : PBA140800013
		<b>\$423.50</b>	Total Check

Received From : BROUGHTON BRENDA

Total Receipt Amount : **\$423.50**

Change Due : \$0.00

### APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA140800013	707286	423.50	\$0.00	3012 BARRANCAS AVE, PENSACOLA, FL, 32507

**Total Amount :**

**423.50**

\$0.00

Balance Due on this/these  
Application(s) as of 8/22/2014