

AGENDA
ESCAMBIA COUNTY BOARD OF ADJUSTMENT
February 15, 2017–8:30 a.m.
Escambia County Central Office Complex
3363 West Park Place, Room 104

1. Call to Order.
2. Swearing in of Staff and acceptance of Staff as expert witnesses.
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.
4. Proof of Publication and waive the reading of the legal advertisement.
5. Approval of Resume Minutes from the January 18, 2017 Board of Adjustment meeting.
6. **Consideration of the following cases:**
 0. **Case No.:** CU-2017-03
Address: 5408 Rawson Lane
Request: To Allow Dormitory in Commercial Zoning
Requested by: Kenneth C. Horne, P.E., Agent for Pensacola Christian College, Inc.
7. Discussion Items.
8. Old/New Business.
9. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, March 15, 2017 at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

10. Adjournment.

Audio cd of this meeting available upon request.

Board of Adjustment

5.

Meeting Date: 02/15/2017

Attachments

Draft Resume' Minutes 01-18-17

DRAFT

DRAFT

RESUMÉ OF THE MEETING OF THE BOARD OF ADJUSTMENT HELD January 18, 2017

CENTRAL OFFICE COMPLEX
3363 WEST PARK PLACE, BOARD CHAMBERS
PENSACOLA, FLORIDA
(8:30 A.M. – 9:30 A.M.)

Present: Auby Smith
Bill Stromquist
Jesse Casey
Judy Gund

Absent: Frederick J. Gant
Jennifer Rigby
Mark Robinson

Staff Present: Kristin Hual, Assistant County Attorney
Horace Jones, Director, Development Services
Andrew Holmer, Division Manager, Planning & Zoning
Juan Lemos, Senior Planner, Planning & Zoning
John Fisher, Senior Urban Planner, Planning & Zoning
Allyson Cain, Urban Planner, Planning & Zoning
Debbie Lockhart, Administrative Assistant

REGULAR BOA AGENDA

1. The meeting was called to order at 8:30 A.M.
2. Members of Staff were sworn in and accepted as expert witnesses.
3. Acceptance of the BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.

Motion by Vice Chairman Bill Stromquist, Seconded by At Large Member Jesse Casey
Motion was made to accept the meeting package.

Vote: 4 - 0 Approved

4. Proof of Publication was provided and the Board waived the reading of the legal advertisement.
5. Approval of the Resume' Minutes for the Regular Meeting held on November 16, 2016 and the Special Meeting held on December 07, 2016.

Motion by Vice Chairman Bill Stromquist, Seconded by At Large Member Jesse Casey
Motion was made to approve the November 16, 2016 and the December 07, 2016 Resume' Minutes.

Vote: 4 - 0 Approved

6. **Consideration of the following cases:**

1. **Case No.:** V-2016-10

Address: 8690 Scenic Hwy.

Request: Variance for a Zero Rear Building Setback

Requested by: James Rich, Agent for Michael & Dara Gliner

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest

Motion by Vice Chairman Bill Stromquist, Seconded by At Large Member Jesse Casey

Motion was made to overturn Staff Findings and grant the Variance as requested.

Vote: 3 - 1 Approved

Voted No: Chairman Aubrey Smith

2.

Case No.: CU-2017-01

Address: 310 E. Johnson Ave

Request: To Allow a Convenience Store with the Sale of Gasoline in HDMU Zoning

Requested by: Smart Fill, LLC.

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by At Large Member Jesse Casey, Seconded by Vice Chairman Bill Stromquist

Motion was made to accept Staff Findings and approve the Conditional Use as requested. On the condition that the project meet all conditions imposed through the Site Plan Review process.

Vote: 4 - 0 Approved

3. **Case No.:** CU-2017-02

Address: 5835 Cruzat Way

Request: To Allow a Public Park with Permanent Restrooms in HDMU Zoning

Requested by: The Trust for Public Land, Kate Brown, Senior Project Manager

No BOA member acknowledged any ex parte communication regarding this item.

Vice Chairman, Bill Stromquist stated he is very familiar with this site.

No BOA member refrained from voting on this matter due to any conflict of interest

Motion by Vice Chairman Bill Stromquist, Seconded by At Large Member Jesse Casey

Motion was made to accept Staff Findings and grant the Conditional Use request.

Vote: 4 - 0 Approved

7. Sunshine Law Presentation was provided by Kristen Hual, Assistant County Attorney.

8. Old/New Business.

9. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, February 15, 2017 at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

10. The meeting adjourned at 9:30 A.M.

Audio CD of this meeting is available upon request.

Board of Adjustment**6. 0.**

Meeting Date: 02/15/2017
CASE: CU-2017-03
APPLICANT: Kenneth C. Horne, P.E., Agent for Pensacola Christian College, Inc.
ADDRESS: 5408 Rawson Lane
PROPERTY REFERENCE NO.: 35-1S-30-3201-000-000
ZONING DISTRICT: Commercial (Com)
FUTURE LAND USE: Mixed-Use Urban (MU-U)
OVERLAY DISTRICT: Oakfield

SUBMISSION DATA:**REQUESTED CONDITIONAL USE:**

The Applicant is seeking Conditional Use approval to allow a dormitory in a Commercial Zoning district.

RELEVANT AUTHORITY:

**Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section:3-2.10.c.1.a
(1) Residential.**

a. Group living not among the permitted uses of the district.

CRITERIA:

Land Development Code of Escambia County, Florida (Ordinance 96-3 as amended), Section 2-6.4

CRITERION (a)

General compatibility. The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area.

FINDINGS-OF-FACT

The proposed use is compatible with adjacent properties and other properties in the immediate area. The site is surrounded by existing educational facilities and support facilities. All the surrounding property on both sides of Rawson Ln. is owned by Pensacola Christian College.

CRITERION (b)

Facilities and services. Public facilities and services, especially those with adopted levels of service, will be available, will provide adequate capacity to serve the proposed use consistent with capacity requirements.

FINDINGS-OF-FACT

The level of service and adequate capacity to serve the proposed use is available and will be addressed during the Site Plan Review process.

CRITERION (c)

On-site circulation. Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

FINDINGS-OF-FACT

Access to the site will be from the Rawson Ln. right-of-way. Sufficiency of the proposed ingress to and egress from the site will be addressed during the Site Plan Review process.

CRITERION (d)

Nuisances and hazards. The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

FINDINGS-OF-FACT

Staff does not find any nuisances or hazards associated with the proposed use. The scale, intensity, and operation of the use is similar to and will not generate unreasonable nuisances and hazards to the adjoining properties and other properties in the area.

CRITERION (e)

Solid waste. All on site solid waste containers will be appropriately located for functional access, limited off-site visibility and minimal odor and other nuisance impacts.

FINDINGS-OF-FACT

Solid waste service is available and will be consistent with solid waste operations at the surrounding existing facilities. Access to and off-site visibility and other nuisance impacts will be addressed during the Site Plan Review process.

CRITERION (f)

Screening and buffering. Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

FINDINGS OF FACT:

Screening and buffering standards if applicable, will be evaluated during the Site Plan Review process.

CRITERION (g)

Signs and lighting. All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

FINDINGS OF FACT:

Any proposed signs and lighting for the new development must meet LDC permitting requirements.

CRITERION (h)

Site characteristics. The size, shape, location and topography of the site appear adequate to accommodate the proposed use, including setbacks, intensity, bulk, height, open space and aesthetic considerations.

FINDINGS OF FACT:

Site characteristics appear to adequately accommodate the proposed use. The proposed scale is similar to existing structures on the west side of Rawson Ln. Additional characteristics that may arise during the Site Plan Review process will be addressed at that time.

CRITERION (i)

Use requirements. The proposed use complies with any additional conditional use requirements of the applicable zoning district, use, or other provisions of the LDC.

FINDINGS OF FACT:

The proposed Conditional Use is consistent with all other relevant provisions of the Land Development Code.

STAFF FINDINGS

Staff recommends that the Board approve the proposed Conditional Use request with the following condition:

This project must meet any conditions imposed through the Site Plan Review process and comply with all permitting regulations.

BOA DECISION

The Board accepted Staff Findings and approved the Conditional Use as requested with the following condition:

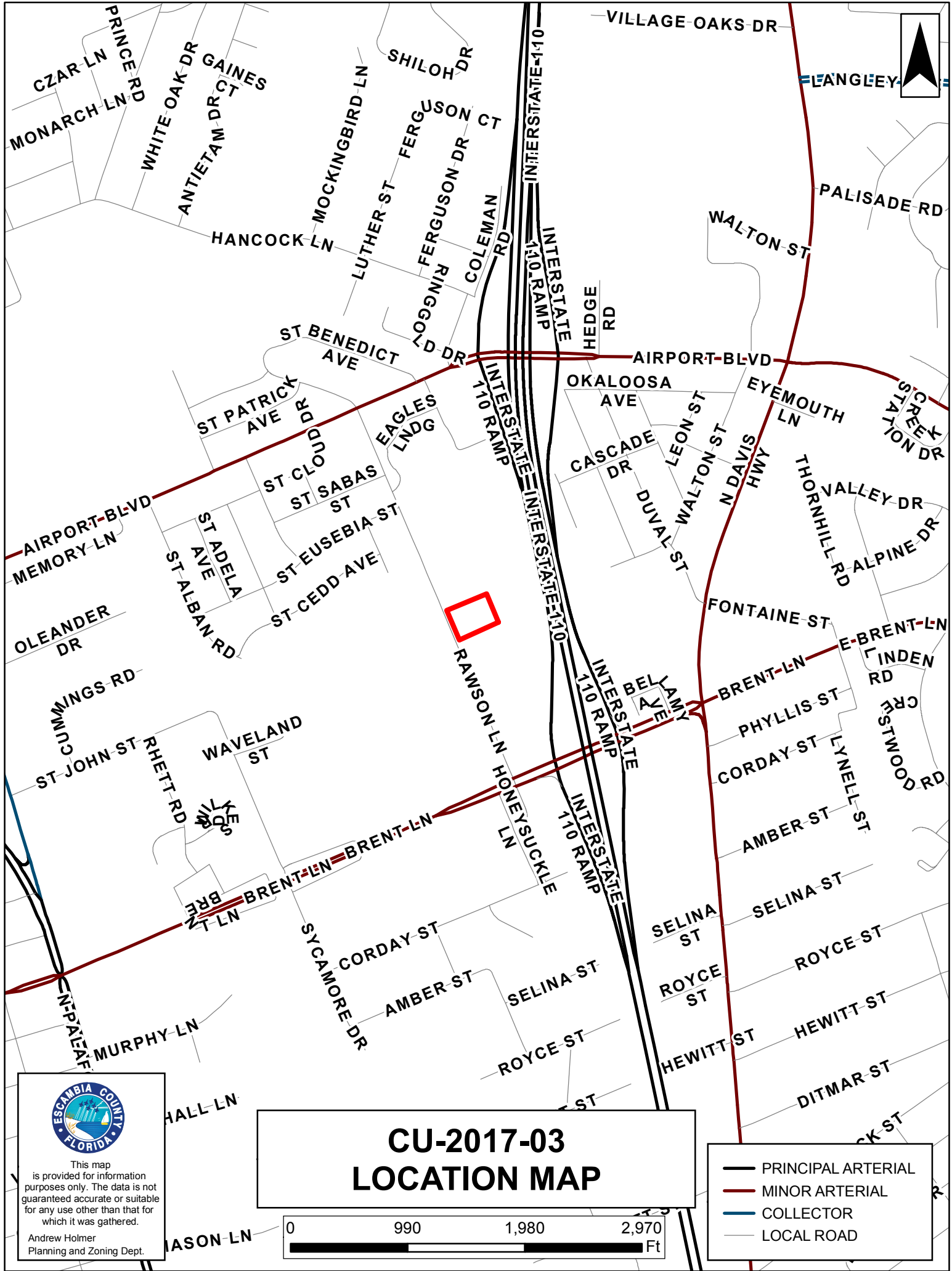
This project must meet any conditions imposed through the Site Plan Review process and comply with all regulations.

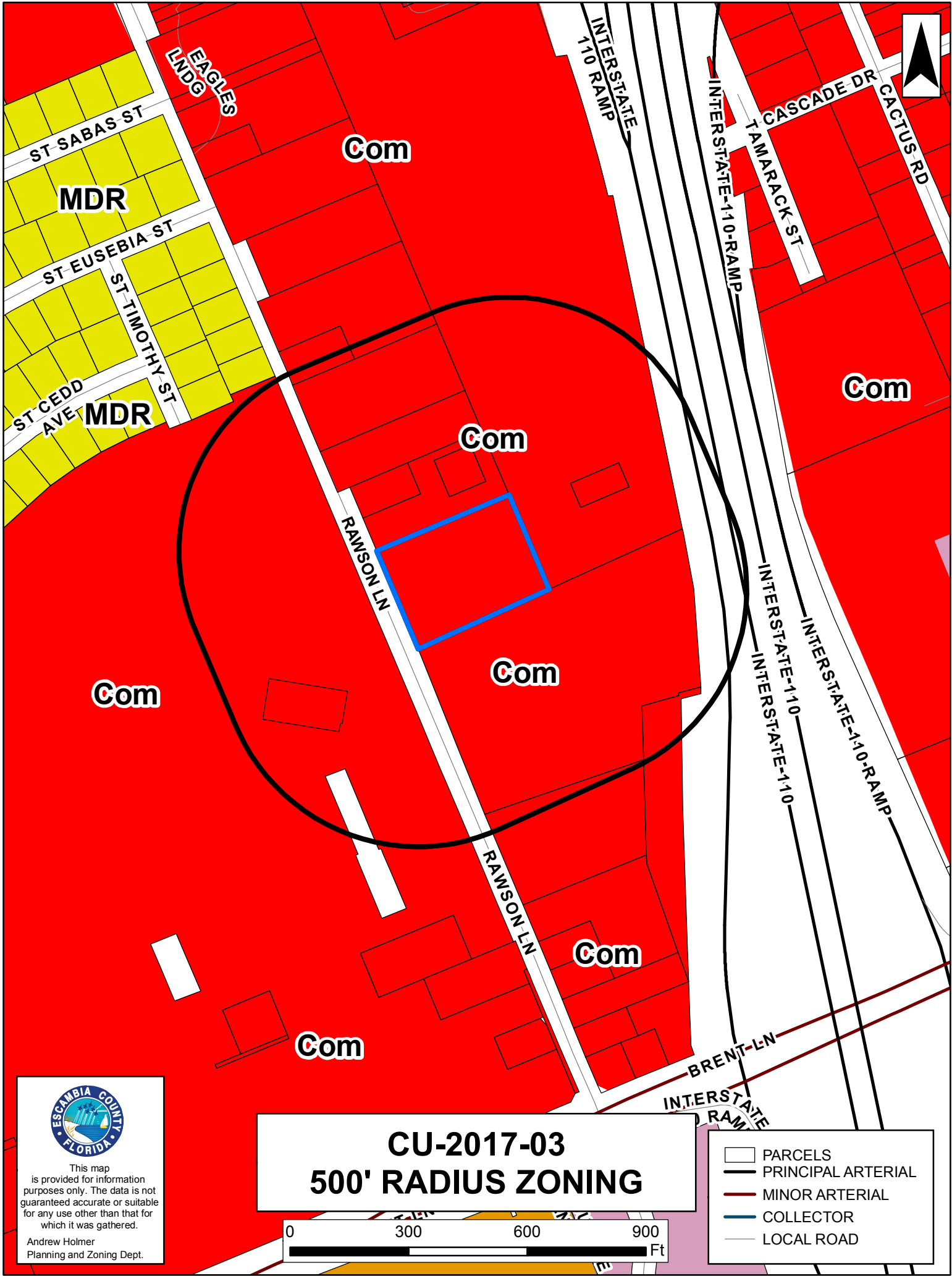
Attachments

Working Case File CU-2017-03

CU-2017-03

5408 Rawson Lane



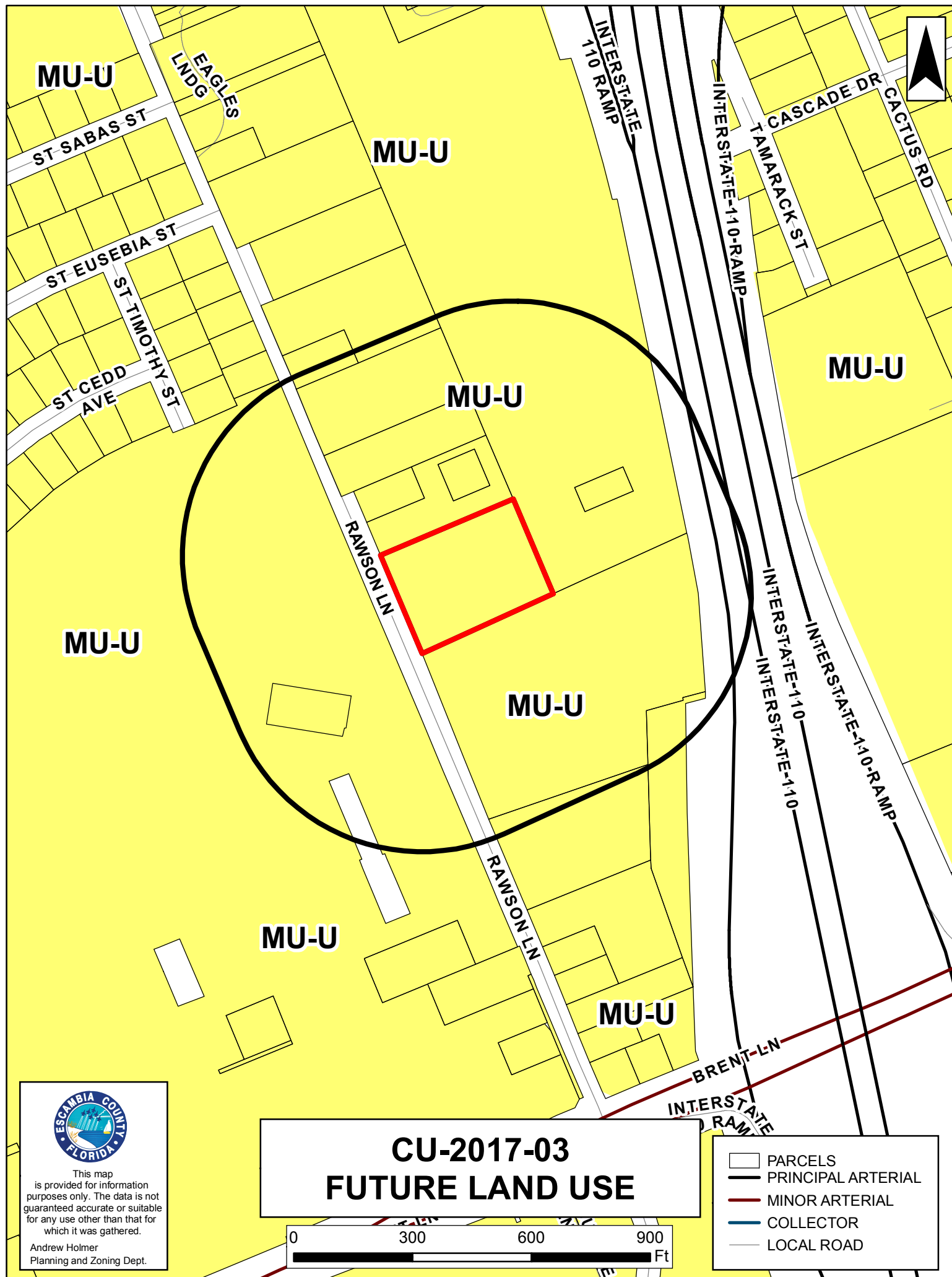


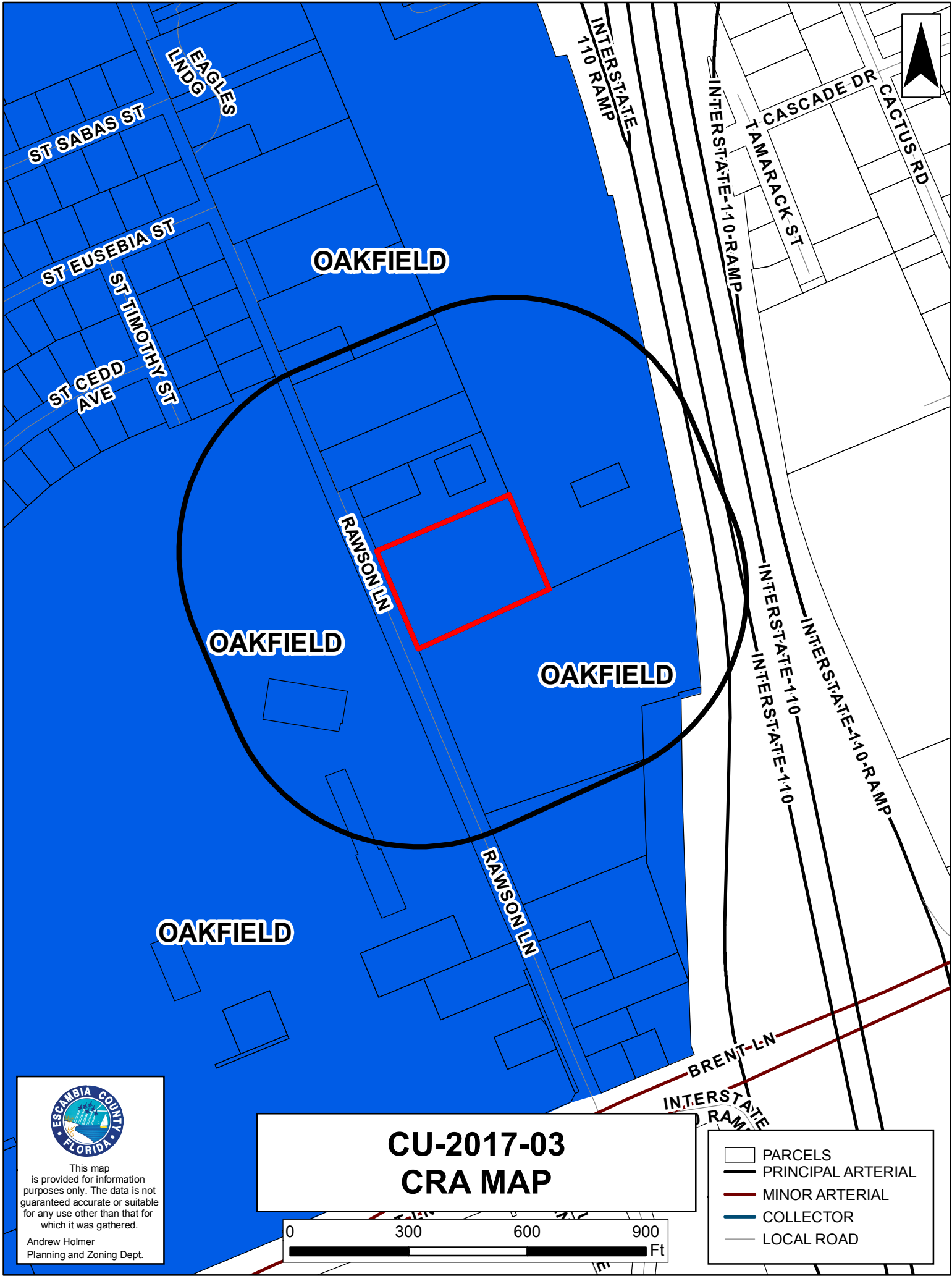
This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2017-03 500' RADIUS ZONING

- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD





This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.



RAWSON LN



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

CU-2017-03 AERIAL MAP

0 100 200 300
Ft

- PARCELS
- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS

January 10, 2017

Mr. Andrew D. Holmer
Development Services Manager
Escambia County
3363 West Park Place
Pensacola, Florida 32505

Re: Conditional Use Application – Pensacola Christian College, Inc. – S-11A Dorm L
KH&A Project No. 2016 08

Dear Mr. Holmer,

On behalf of Pensacola Christian College, Inc., we hereby submit the following items required for review and approval of the Conditional Use Request for the subject project.

1. This letter identifying the project and listing the items submitted.
2. A check payable to Escambia County in the amount of \$1,275.50 for the Conditional use Application submittal fee.
3. A copy of the Conditional Use Application Form & Associated Exhibits (ECUA Utility Capacity Reservation Letter and Proof of Ownership Doc).
4. One (1) set of the proposed site plans with vicinity map.
5. One (1) copy of the site design narrative.

The above listed items are submitted both on CD and as a hard copy. I believe this fulfills the requirement for review of this project. If you have any questions or need additional information, feel free to call me.

Very truly yours,

KENNETH HORNE & ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "Kenneth C. Horne", is written over a horizontal line.

Kenneth C. Horne, PE
President

CC: Mr. Dan Moye, PCC
Mr. Brent Phillips, PCC
Stephen B. Shell, Shell Fleming

KENNETH HORNE & ASSOCIATES, INC.
Escambia County

Check Number: 18000
Check Date: Jan 10, 2017

18000

Check Amount: \$1,275.50

Item to be Paid - Description

Discount Taken Amount Paid

Conditional Use Permit PCC Dorm 201608

1,275.50

KENNETH HORNE & ASSOCIATES, INC.

7201 NORTH 9TH AVENUE, SUITE 6
PENSACOLA, FL 32504
PH (850) 471-9005
FAX (850) 471-0093



Coastal Bank and Trust

a division of SYNOVUS® BANK

63-814/632

18000

DATE

Jan 10, 2017

AMOUNT

*****\$1,275.50

Memo: Conditional Use PCC Dorm 1608

PAY

One Thousand Two Hundred Seventy-Five and 50/100 Dollars

Escambia County
TO THE ORDER OF: 3363 West Park Place
Pensacola, FL 32505

COPY - VOID



Kenneth CL

AUTHORIZED SIGNATURE

⑈018000⑈ ⑆063208140⑆ 04 084 3⑈

Security features. Details on back.

**Escambia County Planning and Zoning**

Development Services Department

3363 West Park Place

Pensacola, FL 32505

Phone: (850) 595-3475 • Fax: (850) 595-3481

<http://myescambia.com/business/ds>

Board of Adjustment ApplicationFOR OFFICE USE ONLY - Case Number: CU2017-03 Accepted by: C/M/DFL BOA Meeting: 02-15-17Condition Use Request for: Dormitory in Commercial Zone with MU – U, (Mixed Use Urban) FLU**1. Contact Information:**A. Property Owner/Applicant: Pensacola Christian College, Inc.B. Mailing Address: 5408 Rawson Lane, Pensacola, FL 32503Business Phone (850) 478-8496 Cell: (N/A)Email: bphillips@pcci.eduC. Authorized Agent (if applicable): Kenneth C. Horne, PEMailing Address: 7201 North Ninth Avenue, Pensacola, FL 32504Business Phone: (850-471-9005) Cell: (850-206-6067)Email: ken@kh-a.com

Note: Owner must complete the attached Agent Affidavit. If there is more than one owner, each owner must complete an Agent Affidavit. Application will be voided if changes to this application are found.

2. Property Information:A. Existing Street Address: 5408 Rawson LaneParcel ID (s): 35-1S-30-3201-000-002, 35-1S-30-3102-000-000,35-1S-30-3201-000-000, 48-1S-30-2113-000-010B. Total acreage of the subject property: 5.00 (Project Limits Only)C. Existing Zoning: "C"FLU Category: MU-UD. Is the subject property developed (if yes, explain): Yes. The property lies within the PCC Campus on the east side of Rawson Lane. Current Land Use is parking and lay down yards for Grounds Maintenance function.E. Sanitary Sewer: X Septic:

3. Amendment Request

- A. Please provide a general description of the proposed request, explaining why it is necessary and/or appropriate.

The request is to allow construction of student housing in reasonable proximity to existing educational and support facilities (i.e. to classrooms, dining, recreational, and administrative functions). Per the most recent amendment of the Escambia County Land Development Code, any proposed student housing within the PCC Campus is a Conditional Use as opposed to an allowed use. Failure to approve the Conditional use allowing housing within the existing PCC campus would either curtail future growth, or force student housing into remote locations.

- B. For Variance Request – **N/A**

- C. For Conditional Use Request – Please address ALL the following approval conditions for your Conditional Use request. (use supplement sheets as needed)

1. General compatibility. The proposed use can be conducted and operated in a manner that is compatible with adjacent properties and other properties in the immediate area.

The proposed use is not only compatible, but precisely consistent with the Higher Education land use within the PCC Campus. The proposed dormitory site is surrounded by PCC owned property and is over 575' from the nearest non-PCC residential property. There are three other existing dormitories that are in equal or closer proximity to the nearest non-PCC residential parcel than the proposed structure.

2. Facilities and services. Public facilities and services, especially those with adopted levels of service, will be available; will provide adequate capacity to serve the proposed use consistent with capacity requirements.

Water & sewer service are provided by the Emerald Coast Utilities Authority (ECUA). Exhibit "A" is a Letter of Capacity Reservation documenting ECUA's capability for provision of service to the project. Stormwater will be managed by expansion of an existing stormwater pond on PCC property. The pond will be designed for compliance with all

local and State requirements. The Stormwater Management Plan documents comply with all Escambia County and State of Florida requirements relative to stormwater quality and flood attenuation. This document has been submitted to and will be reviewed and permitted by both the Escambia County Land Development Review Authorities and the Northwest Florida Water Management District. All aspects of the project are subject to and being reviewed by ESCO staff ensuring compliance with all capacity related requirements.

3. On-site circulation. Ingress to and egress from the site and its structures will be sufficient, particularly regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

Access to the project will be from Rawson lane and will be sufficient regarding vehicle and pedestrian safety and convenience, efficient traffic flow and control, on-site parking and loading, and emergency vehicle access.

4. Nuisances and hazards. The scale, intensity, and operation of the use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

The proposed use is precisely consistent with the Higher Education land use within the PCC Campus. The proposed use is consistent with the scale of other dormitories on the PCC Campus. The proximity of the proposed new dormitories to existing campus facilities not only creates a well - planned, walkable higher education community but avoids the sprawl and unnecessary automobile traffic generation and safety issues associated with attempting to locate these students off campus. The proposed use will not generate unreasonable noise, glare, dust, smoke, odor, vibration, electrical interference, or other nuisances or hazards for adjoining properties and other properties in the immediate area.

5. Solid waste. All on-site solid waste containers will be appropriately located for functional access, limited off-site visibility and minimal odor and other nuisance impacts.

Solid Waste receptacles are located in enclosed trash rooms on each wing of the dorm. These are serviced daily by PCC personnel with waste transferred to the Escambia County Landfill. This is consistent with the waste management operation at the existing dormitories.

6. Screening and buffering. Where not otherwise required by the LDC, screening and buffering will be provided if appropriate to the proposed use and site.

As previously stated, the proposed dormitory site is surrounded by PCC owned property and is over 575' from the nearest non-PCC residential property.

7. Signs and lighting. All exterior signs and lights, whether attached or freestanding, will be compatible with adjoining properties and other properties in the immediate area, especially regarding glare and traffic safety.

Signs and lighting will be consistent with existing dorms within the PCC Campus and will be in accordance with all Escambia County Land Development Code Requirements.

4. Please complete the following form (if applicable): Affidavit of Owner/Limited Power of Attorney

AFFIDAVIT OF OWNER AND LIMITED POWER OF ATTORNEY

(if applicable)

As owner of the property located at 5408 Rawson Lane, Florida,
property reference number(s) 35-1S-30-3201-000-02, 35-1S-30-3102-000-000,
35-1S-30-3201-000-000, 48-1S-30-2113-000-010

I hereby designate Kenneth C. Horne, PE or designee
for the sole purpose of completing this application and making
a presentation to the Planning Board and the Board of County Commissioners to request a rezoning on
the above referenced property. This Limited Power of Attorney is granted on this 10th day of JANUARY
the year of, 2017, and is effective until the Board of County Commissioners or the Board of
Adjustment has rendered a decision on this request and any appeal period has expired. The owner
reserves the right to rescind this Limited Power of Attorney at any time with a written, notarized notice
to the Development Services Bureau.

Agent Name: Kenneth C. Horne, PE Email: ken@kh-a.com
Address: 7201 North Ninth Avenue Phone: (850) 471-9005

Troy Shoemaker
Signature of Property Owner

TROY SHOEMAKER
Printed Name of Property Owner

1/10/17
Date

Signature of Property Owner

Printed Name of Property Owner

Date

STATE OF FLORIDA COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 10th day of JANUARY 2017,
by TROY SHOEMAKER.

Personally Known X. Produced Identification - type of identification produced:
_____.

Evie Loomer
Signature of Notary

EVIE LOOMER
Printed Name of Notary



EVIE LOOMER
MY COMMISSION # EE 851778
EXPIRES: February 1, 2017
Bonded Thru Budget Notary Services

(Notary Seal)

5. Submittal Requirements

A. ✓ Completed application: All applicable areas of the application shall be filled in and submitted to the Planning and Zoning Department, 3363 West Park Place, Pensacola, FL 32505. \$1275.50

B. ✓ Application Fees: To view fees visit the website:
<http://myescambia.com/business/board-adjustment> or contact us at 595-3448

Note: Fees include all notices and advertisements required for the public hearing and a \$5 technical fee. Payments must be submitted prior to 3 pm of the closing date of acceptance of application. Please make checks payable to Escambia County. MasterCard and Visa are also accepted.

C. ✓ Legal Proof of Ownership (ex: copy of Tax Notice or Warranty Deed) AND a Certified Boundary Survey (Include Corporation/LLC documentation if applicable.)

D. N/A Compatibility Analysis (if applicable): If the subject property does not meet the roadway requirements of Locational Criteria, a compatibility analysis prepared by the applicant is required to provide substantial evidence of unique circumstances regarding the parcel or use that were not anticipated by the alternative criteria. (See "Documented Compatibility" within the request zoning district of the LDC.)

E. ✓ Signed and Notarized Affidavit of Owner/Limited Power of Attorney AND Concurrency Determination Acknowledgement (pages 4 and 5).

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

Kenneth Horne
Signature of Owner/Agent

Kenneth C. Horne
Printed Name Owner/Agent

1/10/17
Date

Signature of Owner

Printed Name of Owner

Date

STATE OF Florida COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 10th day of January 2017, by Kenneth C. Horne.

Personally Known X. Produced Identification - type of identification produced: _____.

Belinda G. Rowell
Signature of Notary

Belinda G. Rowell
Printed Name of Notary

BELINDA G. ROWELL (Notary Seal)
NOTARY PUBLIC, STATE OF FLORIDA
Commission No. GG 24815
My Commission Expires Nov. 7, 2020



P.O. Box 15311 • 9255 Sturdevant Street
Pensacola, Florida 32514-0311
ph: 850 476-5110 • fax: 850 969-3308

December 21, 2016

Kenneth Horne & Associates
Attn: Mike Sanders
7201 N. 9th Avenue, Suite 6
Pensacola, Florida 32504

Re: **Letter of Capacity Reservation**
Pensacola Christian College 5-11A Dorm L-5408 Rawson Lane

Dear Mr. Sanders:

In response to your inquiry concerning availability of water and sewer services for the above referenced project, ECUA anticipates no problems in water supply or sewage treatment plant capacity. Our review indicates this project will not degrade ECUA's water and sewer systems to a degree which would cause these systems to fail to meet the adopted levels of service as defined in the Escambia County Comprehensive Plan.

For the purpose of concurrency review, ECUA will guarantee the availability of water and sewer system capacity up to the requested demand and flow for a period not to exceed one year from the date of this letter. The administration of the Concurrency Review Process is the sole responsibility of Escambia County. This letter is provided to assist in that process.

Connection of the proposed project to ECUA's systems is the responsibility of the developer. Extensions to the ECUA potable water distribution and sewage collection systems to serve this project must be designed, approved, and constructed in accordance with ECUA's policies and procedures and all applicable permitting requirements. Wastewater capacity impact fees are due and payable prior to issuance of building permits. Water capacity impact fees are due prior to actual connection to the ECUA system.

Sincerely,

A handwritten signature in blue ink, appearing to read "W. E. Johnson, Jr.", is written over the typed name and title.

William E. Johnson, Jr., PE/LS
Director of Engineering

WEJ/bs

x:\tracking\concurrency-availability ltr from request for service form\2016\pcc-5408 rawson lane.docx

Vicki Campbell
District One

Lois Benson
District Two

Elvin McCorvey
District Three

Dale Perkins
District Four

Larry Walker
District Five

EXHIBIT A
Page 1 of 4

Capacity Reservation Form



Date 12-21-16

Service Requested:

Water X Sewer X

Name of Project PCC, S-11A Dorm L

Area(Acres) 3.61

Project Address (attach location map): 5408 Rawson Lane

Type Development: Residential _____ Commercial _____ Industrial _____ Other X

(Explain) Educational (Dormitory)

Number and/or Size of Units 243 units, 962 maximum occupancy

Estimated Flow: (Average Day) Water 28860 gpd Sewer 28860 gpd Fire 4" Service

How will water and/or sewer be provided if not from ECUA? _____

Special Requirements: _____

Owner of Property: (type or print) Pensacola Christian College, Inc.

Address: 250 Brent Lane Pensacola FL 32503 Phone: 969-1610

Developer: (type or print) same as Owner

Address: _____ Phone: _____

Engineer: (type or print) Kenneth Horne & Associates, Mike Sanders

Address: (type or print) 7201 W 9th Ave Suite 6 Phone: 471-9005 Email: mike@kh-u.com

Submitted By: (type or print) Mike Sanders, KHA Title: Project Manager

Signature of Submitter Mike Sanders Title: Project Manager

FOR ECUA USE:

MAP PAGE: W49

Nearest Water Line of Adequate Size: Rawson Ln

Size: 12" Pressure: FM # 6056

Nearest Sewer Line of Adequate Size: Rawson Ln

Size: 8" 1st L/S: _____ 2nd L/S: _____ Plant: CWRF

ECUA Sanitation? _____

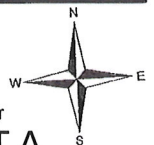
Prepared By [Signature] Date 12/21 Reviewed By _____

9/1/16

5408 Rawson Ln



DISCLAIMER: The Emerald Coast Utilities Authority map/data is informational records of the approximate location of ECUA water and/or sewer facilities only. No representation is made as to its accuracy, and ECUA disclaims any and all liability with respect to any information shown. It is provided for information purposes only. **MAP INFO IS NOT TO BE USED ON DESIGN OR CONSTRUCTION PLANS OR ANY TYPE OF ENGINEERING SERVICES BASED ON INFORMATION DEPICTED HEREIN.** This map/data is not guaranteed accurate or suitable for any use other than that for which it was gathered. Any use of this information by any other organization for any other purpose and any conclusions





ECUA Fire Hydrant Flow Data


Requested Information

In response to your request for fire hydrant flow information, ECUA is able to provide the data in the table below. Additional testing or data collection may be performed with the approval and supervision of ECUA.

ECUA Fire Hydrant #	Date Tested	Flow [gpm]	Static Pressure [psi]	Residual Pressure [psi]	Comments
6056	12/14/15	1090	64	58	Rawson Ln/Dixie Ln

DISCLAIMER

This Emerald Coast Utilities Authority fire hydrant flow test data is from a single test performed at an arbitrary point in time and as such is not assumed to be representative of typical water system conditions. No representation is made as to its accuracy and ECUA disclaims any and all liability with respect to any information given. It is provided as information only and is not to be used as the basis for development of construction plans or any type of engineering service. This data is not guaranteed to be accurate or suitable for any use other than that for which it was gathered. Any use of this information by any other organization for any other purpose and any conclusions drawn from the use of this data is strictly the responsibility of the user.

General Information Reference: 351S303102000000 Account: 040145500 Owners: PENSACOLA CHRISTIAN COLLEGE INC Mail: PO BOX 18000 PENSACOLA, FL 32523 Situs: 5416 RAWSON LN 32503 Use Code: PRIVATE SCHOOL-GRADE SCHOOL Taxing Authority: COUNTY MSTU Tax Inquiry: Open Tax Inquiry Window Tax Inquiry link courtesy of Janet Holley Escambia County Tax Collector		Assessments <table border="1"> <thead> <tr> <th>Year</th> <th>Land</th> <th>Imprv</th> <th>Total</th> <th>Cap Val</th> </tr> </thead> <tbody> <tr> <td>2016</td> <td>\$402,325</td> <td>\$1,123,507</td> <td>\$1,525,832</td> <td>\$1,525,832</td> </tr> <tr> <td>2015</td> <td>\$402,325</td> <td>\$1,004,411</td> <td>\$1,406,736</td> <td>\$1,406,736</td> </tr> <tr> <td>2014</td> <td>\$402,325</td> <td>\$1,004,571</td> <td>\$1,406,896</td> <td>\$1,406,896</td> </tr> </tbody> </table> <p align="center">Disclaimer</p> <p align="center">Amendment 1/Portability Calculations</p>	Year	Land	Imprv	Total	Cap Val	2016	\$402,325	\$1,123,507	\$1,525,832	\$1,525,832	2015	\$402,325	\$1,004,411	\$1,406,736	\$1,406,736	2014	\$402,325	\$1,004,571	\$1,406,896	\$1,406,896
Year	Land	Imprv	Total	Cap Val																		
2016	\$402,325	\$1,123,507	\$1,525,832	\$1,525,832																		
2015	\$402,325	\$1,004,411	\$1,406,736	\$1,406,736																		
2014	\$402,325	\$1,004,571	\$1,406,896	\$1,406,896																		
Sales Data <table border="1"> <thead> <tr> <th>Sale Date</th> <th>Book</th> <th>Page</th> <th>Value</th> <th>Type</th> <th>Official Records (New Window)</th> </tr> </thead> <tbody> <tr> <td>08/1980</td> <td>1465</td> <td>91</td> <td>\$475,000</td> <td>WD</td> <td>View Instr</td> </tr> <tr> <td>08/1980</td> <td>1465</td> <td>89</td> <td>\$100</td> <td>WD</td> <td>View Instr</td> </tr> </tbody> </table> Official Records Inquiry courtesy of Pam Childers Escambia County Clerk of the Circuit Court and Comptroller		Sale Date	Book	Page	Value	Type	Official Records (New Window)	08/1980	1465	91	\$475,000	WD	View Instr	08/1980	1465	89	\$100	WD	View Instr	2016 Certified Roll Exemptions FRATERNAL AND OTHER Legal Description BEG AT NW COR OF CLOPTONS 60A TRACT ELY ALG N LI OF TRACT 390 72/100 FT FOR POB 90 DEG LEFT 1686 17/100 FT 90 DEG 23... Extra Features ASPHALT PAVEMENT CONCRETE PAVING MISC TENNIS COURT		
Sale Date	Book	Page	Value	Type	Official Records (New Window)																	
08/1980	1465	91	\$475,000	WD	View Instr																	
08/1980	1465	89	\$100	WD	View Instr																	
Parcel Information Section Map Id: 35-1S-30-3 Approx. Acreage: 16.9400 Zoned: Com Evacuation & Flood Information Open Report		Launch Interactive Map  View Florida Department of Environmental Protection(DEP) Data																				

General Information

Reference: 351S303201000000
Account: 040146000
Owners: PENSACOLA CHRISTIAN COLLEGE INC
Mail: PO BOX 18000
 PENSACOLA, FL 32523
Situs: 5408 RAWSON LN 32503
Use Code: PRIVATE SCHOOL-GRADE SCHOOL
Taxing Authority: COUNTY MSTU
Tax Inquiry: [Open Tax Inquiry Window](#)
 Tax Inquiry link courtesy of Janet Holley
 Escambia County Tax Collector

Assessments

Year	Land	Imprv	Total	Cap Val
2016	\$52,250	\$334,784	\$387,034	\$381,940
2015	\$52,250	\$294,969	\$347,219	\$347,219
2014	\$52,250	\$293,618	\$345,868	\$345,868

[Disclaimer](#)[Amendment 1/Portability Calculations](#)**Sales Data**

Sale Date	Book	Page	Value	Type	Official Records (New Window)
07/2000	4636	31	\$550,000	CJ	View Instr
04/1999	4514	1647	\$25,000	QC	View Instr

Official Records Inquiry courtesy of Pam Childers
 Escambia County Clerk of the Circuit Court and
 Comptroller

2016 Certified Roll Exemptions

FRATERNAL AND OTHER

Legal Description

BEG AT NW COR OF CLOPTONS 60A TRACT E 390
 72/100 FT N AT RT ANG 266 16/100 FT W 390
 72/100 FT S 266 16/100 FT TO...

Extra Features

ASPHALT PAVEMENT

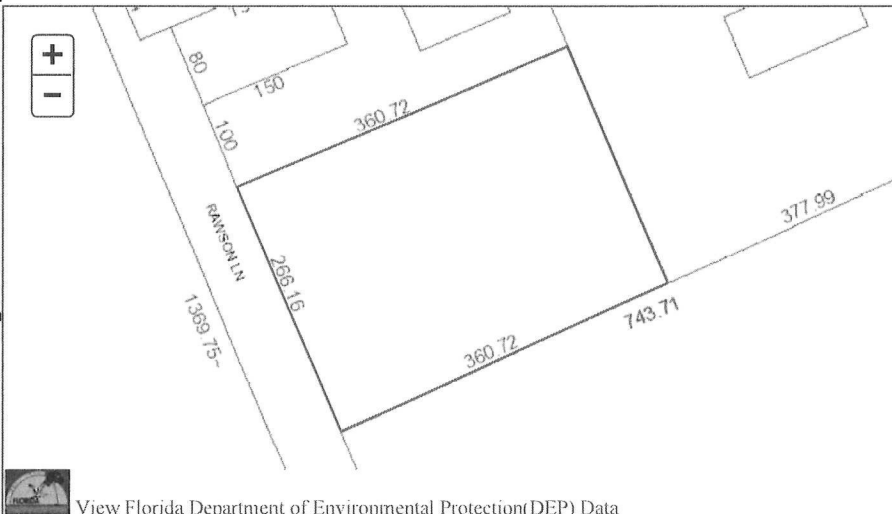
Parcel Information[Launch Interactive Map](#)

Section Map Id:
 35-1S-30-3

Approx. Acreage:
 2.2000

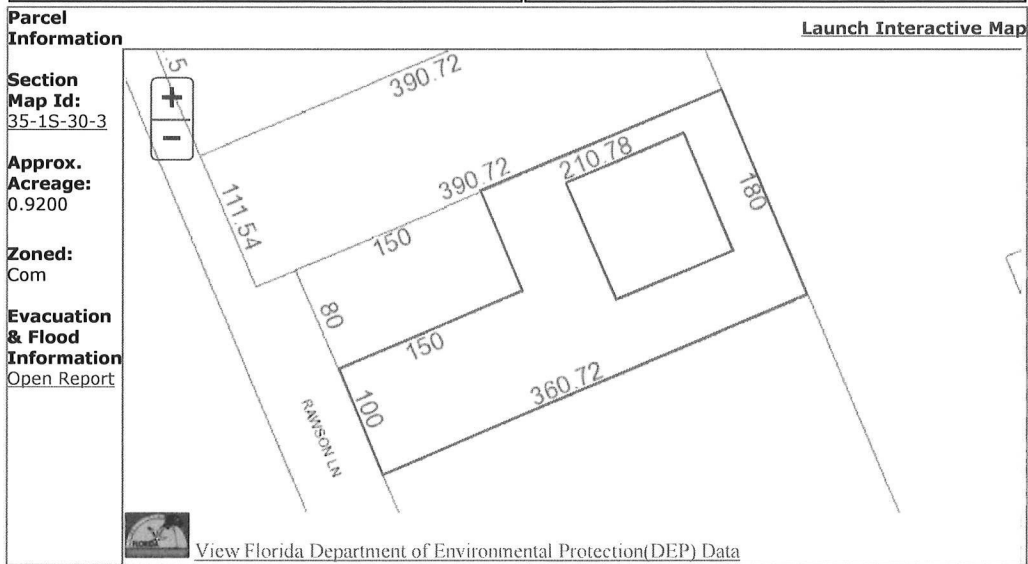
Zoned:
 Com

Evacuation & Flood Information
[Open Report](#)

[View Florida Department of Environmental Protection\(DEP\) Data](#)

General Information						Assessments				
Reference:	351S303201000002					Year	Land	Imprv	Total	<u>Cap Val</u>
Account:	040148000					2016	\$21,850	\$10,043	\$31,893	\$31,893
Owners:	PENSACOLA CHRISTIAN COLLEGE INC					2015	\$21,850	\$10,043	\$31,893	\$31,893
Mail:	PO BOX 18000					2014	\$21,850	\$9,143	\$30,993	\$30,993
	PENSACOLA, FL 32523					Disclaimer				
Situs:	5400 BLK RAWSON LN 32503					Amendment 1/Portability Calculations				
Use Code:	PARKING LOTS									
Taxing Authority:	COUNTY MSTU									
Tax Inquiry:	Open Tax Inquiry Window									
Tax Inquiry link courtesy of Janet Holley										
Escambia County Tax Collector										

Sales Data						2016 Certified Roll Exemptions				
Sale Date	Book	Page	Value	Type	Official Records (New Window)	FRATERNAL AND OTHER				
04/1984	2306	999	\$100	OT	View Instr	Legal Description				
08/1980	1465	89	\$100	WD	View Instr	BEG AT NW COR OF CLOPTONS 60A TRACT E 390				
08/1980	1424	91	\$475,000	WD	View Instr	72/100 FT N 266 42/100 FT FOR POB N 180 FT W				
12/1979	1424	967	\$475,000	WD	View Instr	210 72/100 FT TO A POINT 180...				
Official Records Inquiry courtesy of Pam Childers						Extra Features				
Escambia County Clerk of the Circuit Court and						ASPHALT PAVEMENT				
Comptroller						CHAINLINK FENCE				
						LIGHTS				



General Information						Assessments				
Reference: 481S302113000010						Year	Land	Imprv	Total	Cap Val
Account: 043161500						2016	\$164,113	\$946,445	\$1,110,558	\$830,923
Owners: PENSACOLA CHRISTIAN COLLEGE INC						2015	\$164,113	\$874,652	\$1,038,765	\$755,385
Mail: PO BOX 18000						2014	\$164,112	\$525,602	\$689,714	\$689,714
Address: PENSACOLA, FL 32523						Disclaimer				
Situs: 5404 RAWSON LN 32503						Amendment 1/Portability Calculations				
Use Code: CHURCH										
Taxing Authority: COUNTY MSTU										
Tax Inquiry: Open Tax Inquiry Window										
Tax Inquiry link courtesy of Janet Holley Escambia County Tax Collector										
Sales Data						2016 Certified Roll Exemptions				
						FRATERNAL AND OTHER				
						Legal Description				
						BEG AT INTER OF N LI OF CLOPTONS 60A TRACT DB 74 P 255 AND WLY R/W LI OF INTERSTATE H/W NO 110 300 FT...				
						Extra Features				
						ASPHALT PAVEMENT CANOPY				

Parcel Information
Section Map Id: 48-1S-30-3
Approx. Acreage: 6.9100
Zoned: Com
Evacuation & Flood Information
[Open Report](#)

[Launch Interactive Map](#)
[View Florida Department of Environmental Protection \(DEP\) Data](#)

Site Design Narrative

S-11A Dorm L

PENSACOLA CHRISTIAN COLLEGE Pensacola, FL

Prepared By: Kenneth Horne & Associates, Inc.
In association with
Strobel & Hunter Architects

December, 2016

Scope of Work: The applicant proposes to construct an 11 story dormitory to house future students of Pensacola Christian College (PCC). The dormitory will accommodate up to 962 students and staff. The proposed site is located on the east side of Rawson Lane approximately 0.28 miles north of Brent Lane (roughly half way between Brent Lane and Airport Blvd). The footprint of the building is approximately 17,137 SF. Twenty eight parking spaces including two handicap spaces, will be constructed on site with the dormitory, although sufficient and adequate parking exist within the campus to support the increase in students and staff. The existing drive into the PCC maintenance area will be widened by twelve feet at the beginning of the project to help accommodate construction traffic. All necessary wastewater, potable water and fire water lines will be installed to support the building. Approximately 3.61 acres will be disturbed during construction. The project site is located within PCC property on east of the main campus. All property surrounding and across Rawson Lane from the site is owned by PCC.

This document addresses civil, sitework, water, and sewer utilities as necessary to support the design and construction of the facility along with documentation of compliance with the Escambia County Land Development Code as it relates to issues such as access management, parking, stormwater management, utility availability, traffic concurrency etc.

Site Location & Environmental: The proposed project is located approximately 0.28 miles north of Brent Lane on the east side of Rawson Lane. Many years ago the site was a small trailer park. Several concrete patios associated with the old trailer park remain on the site. The site is currently a rock/concrete parking area, and a material storage area. The site is within Pensacola Christian College's campus and Pensacola Christian College owns all the surrounding property. The site is across Rawson Lane from the main College campus. Immediately east of the site is the Grounds Maintenance building, south of the site is Rawson Lane Chapel. North of the site is the existing drive into the PCC maintenance area. The rock/concrete parking area, and sand and rock materials stored onsite will be removed prior to construction. No wetlands or endangered species will be impacted by the proposed development.

A Federal Aviation Administration permit has been obtained for this project (2016-ASO-27874-OE).

Tree Removal: It will be necessary to remove twenty-one protected trees within the limits of construction. Five of these trees are located within the building footprint. The sixteen trees not within the footprint are located within the paved areas around the building or in very close proximity to the building, paved areas or underground utilities. These sixteen trees will not survive construction and the installation of the utilities. Nineteen protected trees within the limits of construction will be preserved. It will be necessary to trim limbs from some of the trees to remain. Mitigation for protected trees removed will be as per County requirements. No trees outside the limits of construction will be removed.

Topographical Survey: The design of the facility is based upon a topographical survey prepared by Pittman Glaze & Associates, Inc., and site investigation.

Stormwater Pollution Prevention: Silt fences and/or haybale sediment barriers are incorporated into the design to prevent sediment migration off-site. These measures will be depicted on the Existing Conditions & Demolition Plan, and in the General Notes. The Contractor will be required to file an NPDES NOI for Stormwater Discharge During Construction Activities. It will be the Contractor's responsibility to install and maintain the proper sediment/erosion control devices as per Escambia County requirements.

Project Site Access: Temporary construction access will be off Rawson Lane. Upon completion of construction the site shall be accessed via a private horseshoe driveway/drop off drive off Rawson Lane. Two driveway connections are proposed to be made to Rawson Lane. Due to the location of the site and existing driveways, the proposed driveways are unable to align with those across Rawson Lane or meet offset guidelines. The site is located at the intersection of Rawson Lane and PCC Maintenance Drive.

Crosswalk: An "at grade" pedestrian crosswalk will be constructed across Rawson Lane, mid-block. Due to the exist condition and location of the site, a mid-block crosswalk is necessary.

Site Demolition: Existing underground and overhead utilities on site that conflict with the proposed construction will be removed. The existing rock and the concrete patios will be removed from the site. Mitigation for tree removal will be as per Escambia County requirements.

Parking: Twenty eight parking spaces including two handicap spaces will be constructed on the dormitory site. A campus parking study has been performed in

association with this project. It was determined that more than adequate spaces are available campus wide. See attached parking analysis.

Handicap: Handicap access will be constructed to the main campus. Handicap access on site to the proposed building will meet all ADA and Escambia County requirements. The number of handicap spaces campus wide exceeds the ADA requirement for handicap parking spaces. See attached parking analysis.

Water Service & Fire Protection: Domestic water service for this project will be taken from the private PCC campus distribution system downstream of the existing ECUA meter on the west side of Rawson Lane. Backflow prevention devices are in place at the connection to the public water system. All potable water taps will be behind the ECUA meter.

A 6" dedicated fire line will be installed on the northeast side of the project to provide fire protection. This line will be installed downstream of the exiting backflow preventer on the existing dedicated fire line serving the Grounds Maintenance building. Three existing fire hydrants are in close proximity to the proposed building. One is approximately 200 feet west of the proposed building, one is approximately 265 feet northeast of the proposed building and one is approximately 360 feet east/southeast of the proposed building.

The fire sprinkler system in the building is separate from the potable water system. The building sprinkler system will be connected to the proposed dedicated fire line installed on the northeast side of the site.

Sanitary Sewer: An 8" sanitary sewer line will be installed on the northeast and southeast side of the building, connecting to an existing collection system via connection

to an existing manhole on the south side of the site. The existing system goes west through the main campus and eventually discharges into Rhett Road lift Station. The layout inside the building necessitates installing the wastewater services at more than one location, hence the reason for the proposed sewer to be installed on two sides of the building. The proposed sewer is for the building only and there are no plans to connect any future building or system to the line. A single service connection package has been submitted to ECUA.

Stormwater: An existing retention/detention stormwater pond southeast of the site will be expanded to accommodate runoff from the proposed site. This system will be sized to retain and treat a 1 inch volume over the drainage basin including the previously permitted Chapel/Nursery from October, 2008. The system has also been designed: 1) For the NFWFMD, the overall discharge rate for the 2 year, 24-hour design storm is reduced from pre-development conditions for the entire drainage basin; 2) for the FDOT, the discharge rate for the existing I-110 discharge is lower than the existing and previously permitted discharge rate for the 100 year storm of critical duration; and 3) for Escambia County, the discharge rate from the new pond for the 100 year storm of critical duration is less than the predevelopment discharge rate generated by the portion of the property occupied by the Chapel/Nursery projects and this project. The pond outfalls to Rawson Lane and FDOT I-110 Right of Way. See attached stormwater narrative and ERP calculations.

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SURVEYOR'S NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES OR THAT THEY ARE THE EXACT SIZE, MATERIAL, OR LOCATION AS INDICATED.
2. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
3. THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
4. THIS SURVEY IS SUBJECT TO SETBACKS, EASEMENTS, AND RESTRICTIONS OF RECORD.
5. TO ASSURE THE CONTRACTOR IS ON THE SAME VERTICAL AND HORIZONTAL DATUM AS THIS SURVEY, IT IS STRONGLY RECOMMENDED THAT VERTICAL CHECKS BE MADE BETWEEN TWO BENCHMARKS AND THAT HORIZONTAL CHECKS BE MADE BETWEEN THREE CONTROL POINTS OR PROPERTY CORNERS.
6. FOOTINGS AND FOUNDATIONS BELOW NATURAL GROUND NOT LOCATED.
7. DUE TO CURRENT SAFETY REGULATIONS, WE ARE UNABLE TO ACCESS ANY SEWER MANHOLES AND/OR STRUCTURES IN ORDER TO VERIFY PIPE SIZE OR MATERIAL. PIPE SIZE AND MATERIAL HAS BEEN SHOWN AS PER PLANS OR BY APPROXIMATE MEASUREMENTS. IT IS STRONGLY RECOMMENDED THAT SIZE AND MATERIAL ARE VERIFIED BEFORE ANY DESIGN WORK BEGINS.
8. COORDINATES SHOWN ARE STATE PLANE COORDINATES REFERENCED TO N.A.D. 83 DATUM, 2011 ADJUSTMENT, FLORIDA NORTH ZONE AND EXPRESSED IN U.S. SURVEY FEET.

BENCHMARKS:

48-14-E01V - A CONCRETE MONUMENT WITH F.D.O.T. BRASS DISK LOCATED 59'+/- SOUTH OF THE CENTERLINE OF BRENT LANE AND 1060'+/- WEST OF THE CENTERLINE OF RAWSON LANE; 21.5' WEST OF A SUPPORT POLE FOR BILLBOARD.
ELEVATION = 93.37' NAVD 88



















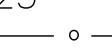













1587/47A - THE NORTH BONNET BOLT OF A FIRE HYDRANT LOCATED AT 5436 RAWSON LANE; 350'+/- SOUTH OF CENTERLINE OF ST. EUSEBIA STREET AND 20'+/- EAST OF CENTERLINE OF RAWSON LANE..
ELEVATION = 101.77'

1587/47B - THE NORTHEAST BONNET BOLT OF A FIRE HYDRANT LOCATED UNDER THE SKYWALK IN THE EAST RIGHT OF WAY OF RAWSON LANE; 250'+/- SOUTH OF CENTERLINE OF CONCRETE DRIVE TO MAINTENANCE BUILDING BY WATER TOWER.
ELEVATION = 102.22'

1587/47C - A COTTON GIN SPIKE IN THE WEST SIDE OF A LIGHT POLE LOCATED AT NORTHWEST CORNER OF FIELD, 50'+/- EAST OF NORTHEAST BUILDING CORNER OF DAY CARE, AND 30'+/- SOUTH OF GREEN HOUSE.
ELEVATION = 101.12'

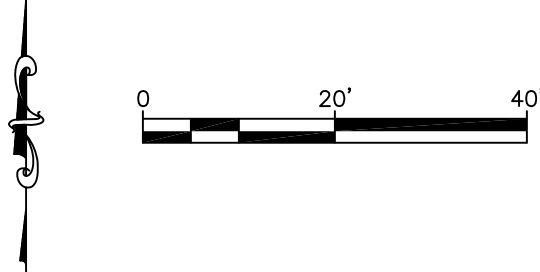
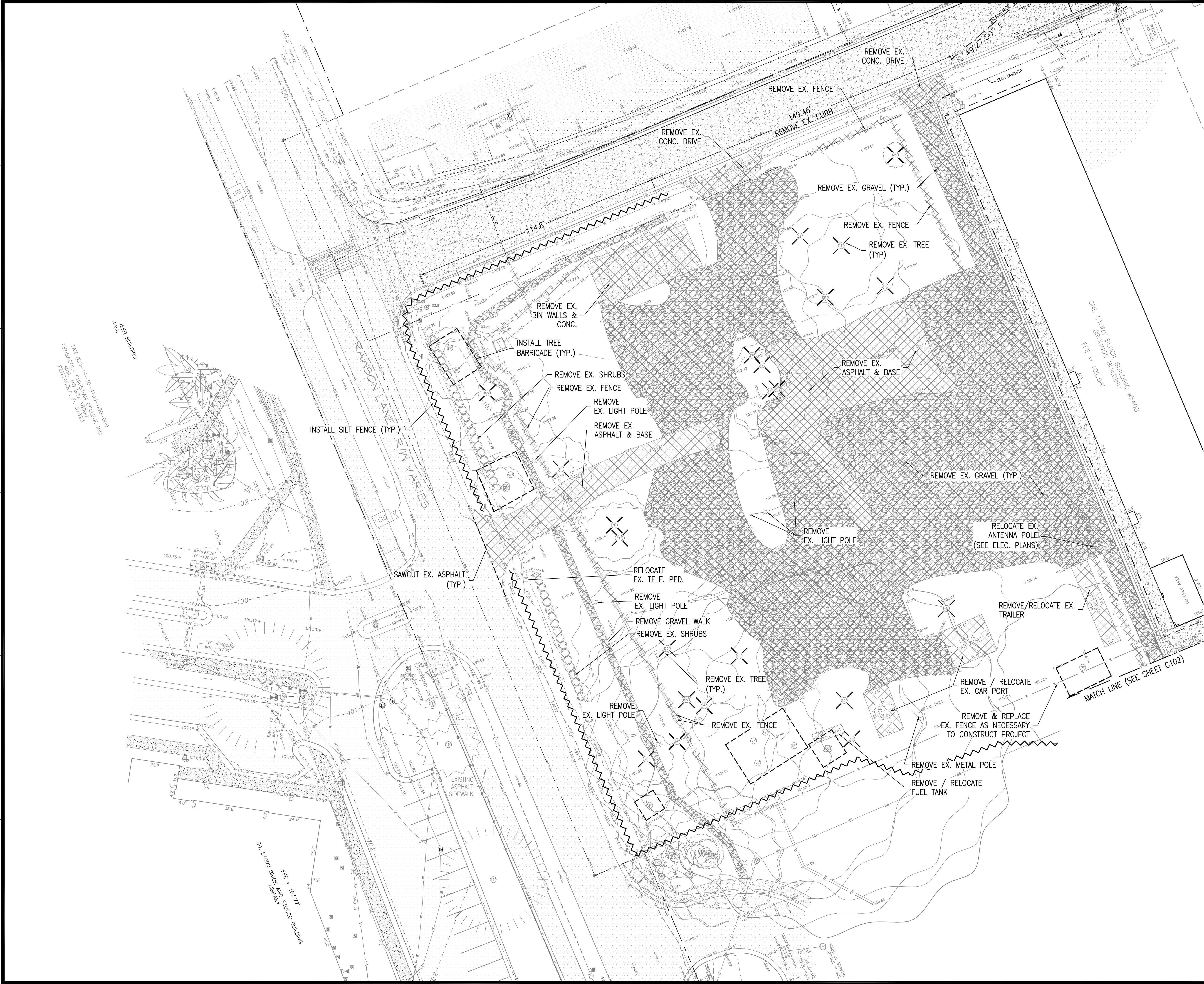
1587/47D - AN "X" CUT IN NORTHWEST BONNET BOLT OF A FIRE HYDRANT LOCATED SOUTHWEST OF WATER TOWER, 370'+/- EAST OF THE RAWSON LANE AND 25'+/- NORTH OF THE CENTERLINE OF CONCRETE DRIVE TO MAINTENANCE BUILDING.
ELEVATION = 104.00'

LEGEND:

R/W	RIGHT OF WAY
FFE	FINISHED FLOOR ELEVATION
BM	BENCHMARK
ELEV	ELEVATION
EX.	EXISTING
	ORNAMENTAL TREE
	OAK TREE
	EX. 1/2" CAPPED IRON ROD SET
	EX. 4"x4" CONCRETE MONUMENT FOUND
	EX. RAILROAD SPIKE FOUND
	EX. PERMANENT CONTROL POINT SET #7073
	EX. FIRE HYDRANT
	EX. SANITARY SEWER MANHOLE
	EX. STORM SEWER MANHOLE
	EX. MANHOLE
	EX. WATER VALVE
	EX. WATER METER
	EX. TELEPHONE EQUIPMENT
	EX. ELECTRIC EQUIPMENT
	EX. SPRINKLER CONTROL VALVE
	EX. BACKFLOW PREVENTOR
	EX. LIGHT POLE
	EX. STADIUM LIGHT
	EX. GUY WIRE
	EX. POWER POLE
	EX. STORM INLET
	EX. ROAD SIGN
	EX. GUARD POST
	EX. TELEPHONE MARKER
	EX. FLUSH STAND
	EX. WATER MAIN
	EX. SPOT ELEVATION
	EX. CONTOUR LINE
	EX. WOOD FENCE
	EX. CHAIN LINK FENCE
	EX. DECORATIVE FENCE
	EX. GUARD RAIL

PROJECT NO:	2016-08
C002	
SHEET:	3 OF 26

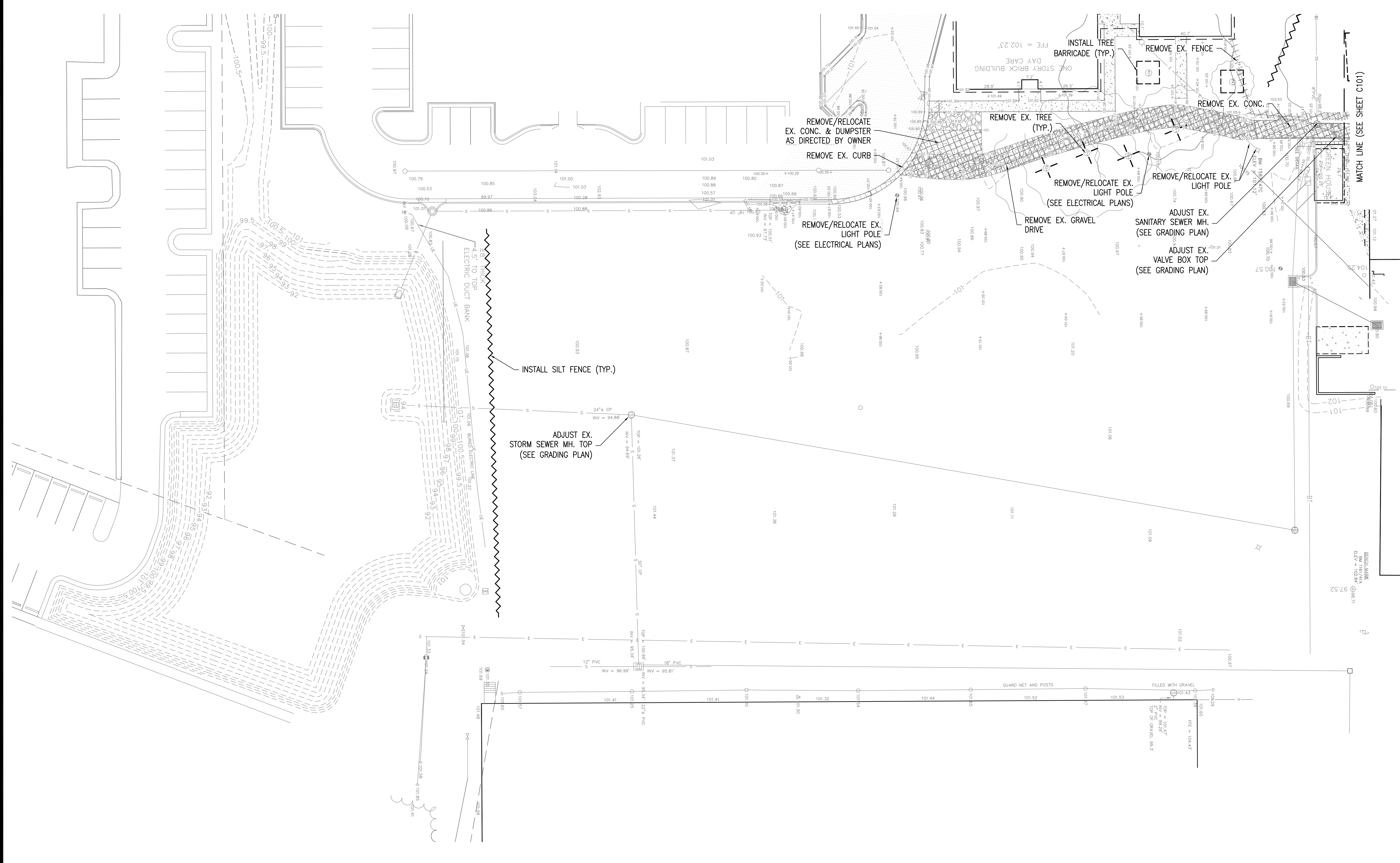
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DRAWN BY: LRR		PROJECT NO: 2016-08	
DESIGNED BY: GMS		C101	
CHECKED BY: KCH		SHEET: 4 OF 26	
DATE: 11/21/2016		NOT FOR CONSTRUCTION	
SCALE: X		BY: DATE:	
EXISTING CONDITIONS & DEMOLITION PLAN			
PENSACOLA CHRISTIAN COLLEGE		S-11A DORM 'L'	
ESCAMBIA COUNTY		FLORIDA	
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 8268			
THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.			

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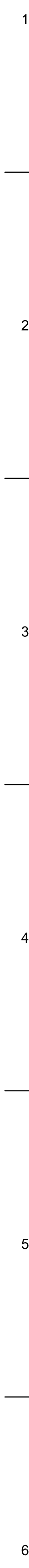
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A B C D E F G H

DRAWN BY: LRR		PROJECT NO: 2016-08	
DESIGNED BY: GMS		C102	
CHECKED BY: KCH		SHEET: 5 OF 26	
DATE: 11/21/2016			
NOT RELEASED FOR CONSTRUCTION			
BY: DATE:			
PENSACOLA CHRISTIAN COLLEGE		S-11A DORM 'L'	
EXISTING CONDITIONS & DEMOLITION PLAN		FLORIDA	
ESCAMBIA COUNTY		FLORIDA	
Kenneth Home & Associates, Inc.		CIVIL ENGINEERS	
PO BOX 10669, PENSACOLA, FLORIDA 32524		FL. CERTIFICATE OF AUTHORIZATION NO. 8268	
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504			
(850) 471-9005 info@kh-a.com FAX (850) 471-0093			
THIS DRAWING IS THE PROPERTY OF KENNETH HOME & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.			

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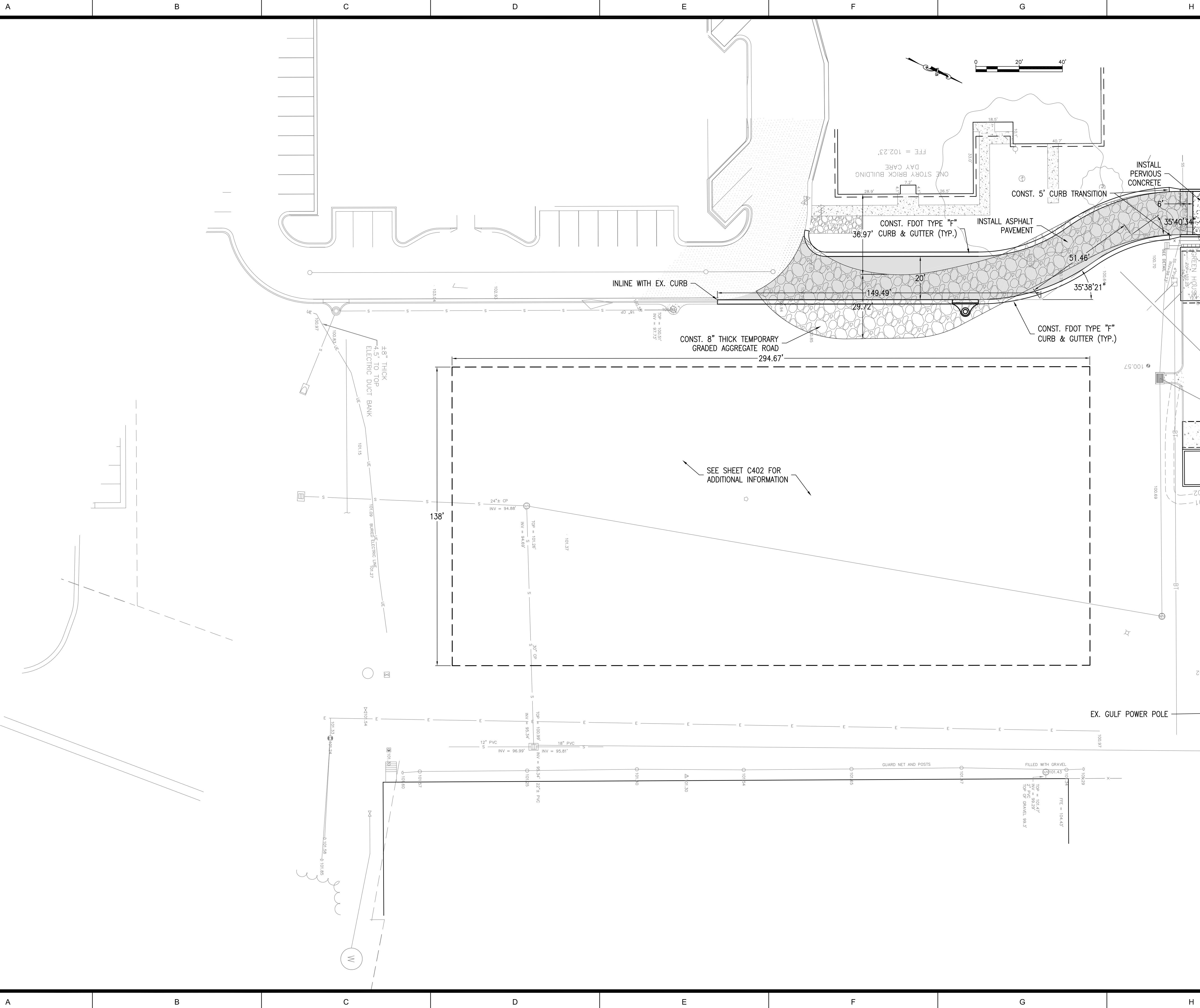
NOT FOR CONSTRUCTION



LRR		 Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10689, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 8263		THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE OTHER PARTY AND IS TO BE RETURNED UPON REQUEST.
Y: GAS				
Y: KCH				
11/21/2016				
1" = 20'				
RELEASED				
CONSTRUCTION				
DATE:				

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DRAWN BY: LRR		PROJECT NO: 2016-08	
DESIGNED BY: GMS		C202	
CHECKED BY: KCH		SHEET: 8 OF 26	
DATE: 11/21/2016		NOT FOR CONSTRUCTION	
SCALE: 1" = 20'		BY: DATE:	

PENSACOLA CHRISTIAN COLLEGE		Kenneth Horne & Associates, Inc.	
S-11A DORM 'L'		CIVIL ENGINEERS	
SITE PLAN		PO BOX 10669, PENSACOLA, FLORIDA 32524	
FLORIDA		7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504	
ESCAMBIA COUNTY		(850) 471-9005 info@kh-a.com FAX (850) 471-0093	
		FL CERTIFICATE OF AUTHORIZATION NO. 8288	

REVISIONS	
NO.	DATE

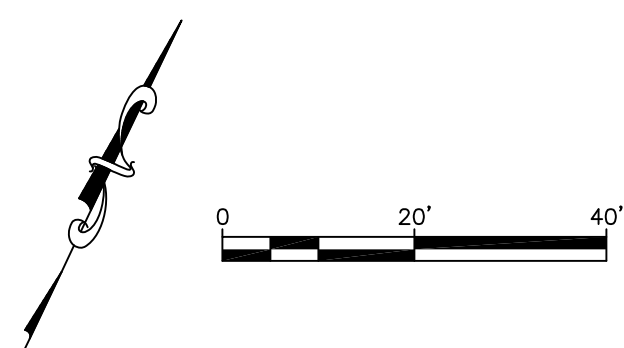
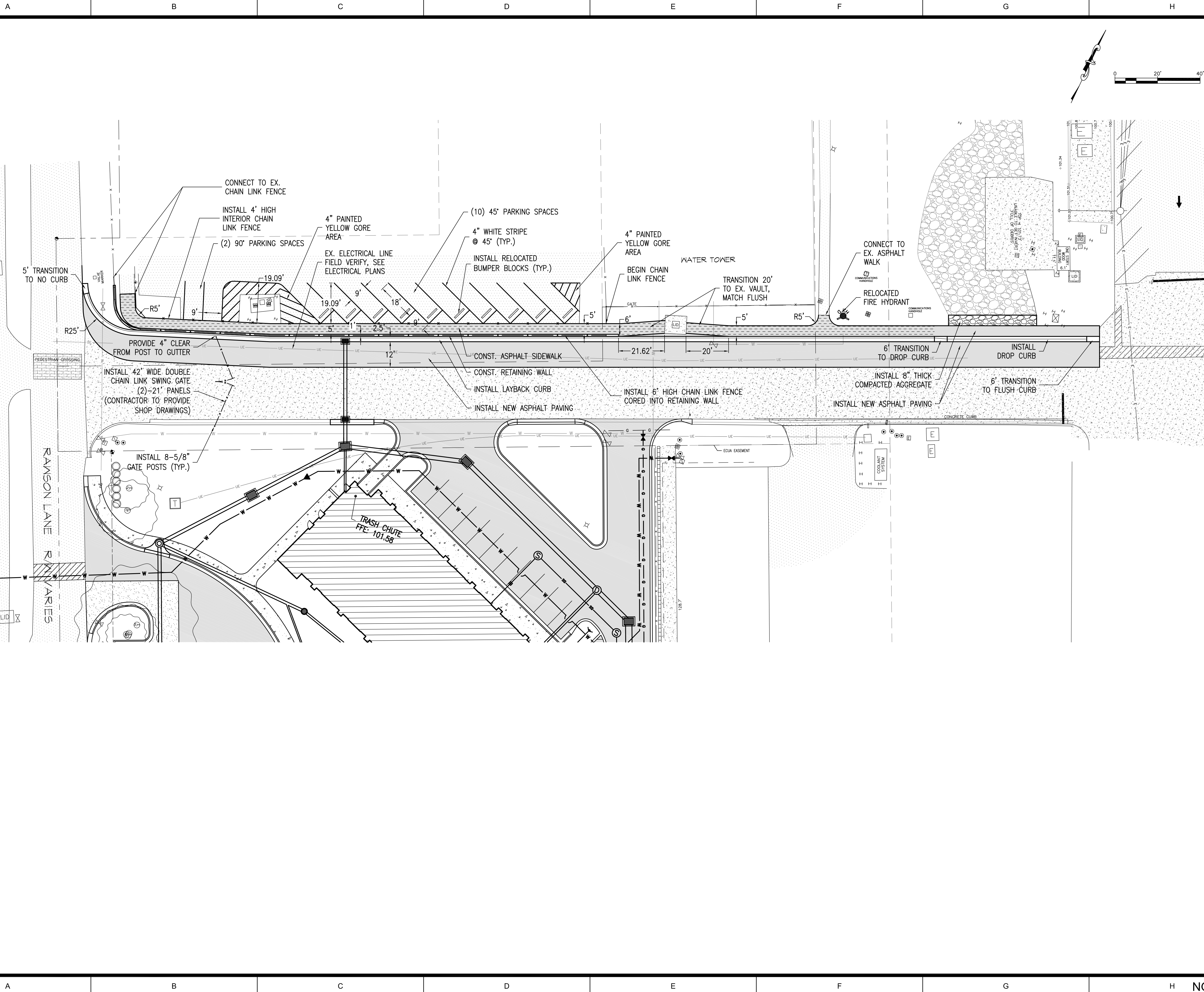
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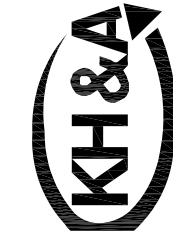
S:\Pcc Projects\2016-08 S-11A Dorm L\DWGS\CIVIL\16-08_WIDEN-ROAD-C203.dwg, Dec 29, 2016 - 1:31:40PM, Lee

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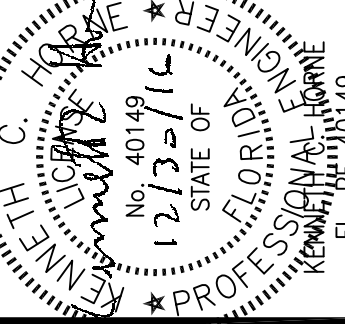
PROJECT NO: 2016-08	
C203	
SHEET: 9	OF 26

PENSACOLA CHRISTIAN COLLEGE	
SERVICE DRIVE	
SITE PLAN	
ESCAMBIA COUNTY	FLORIDA

**Kenneth Horne & Associates, Inc.**
CIVIL ENGINEERS

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FL CERTIFICATE OF AUTHORIZATION NO. 8268

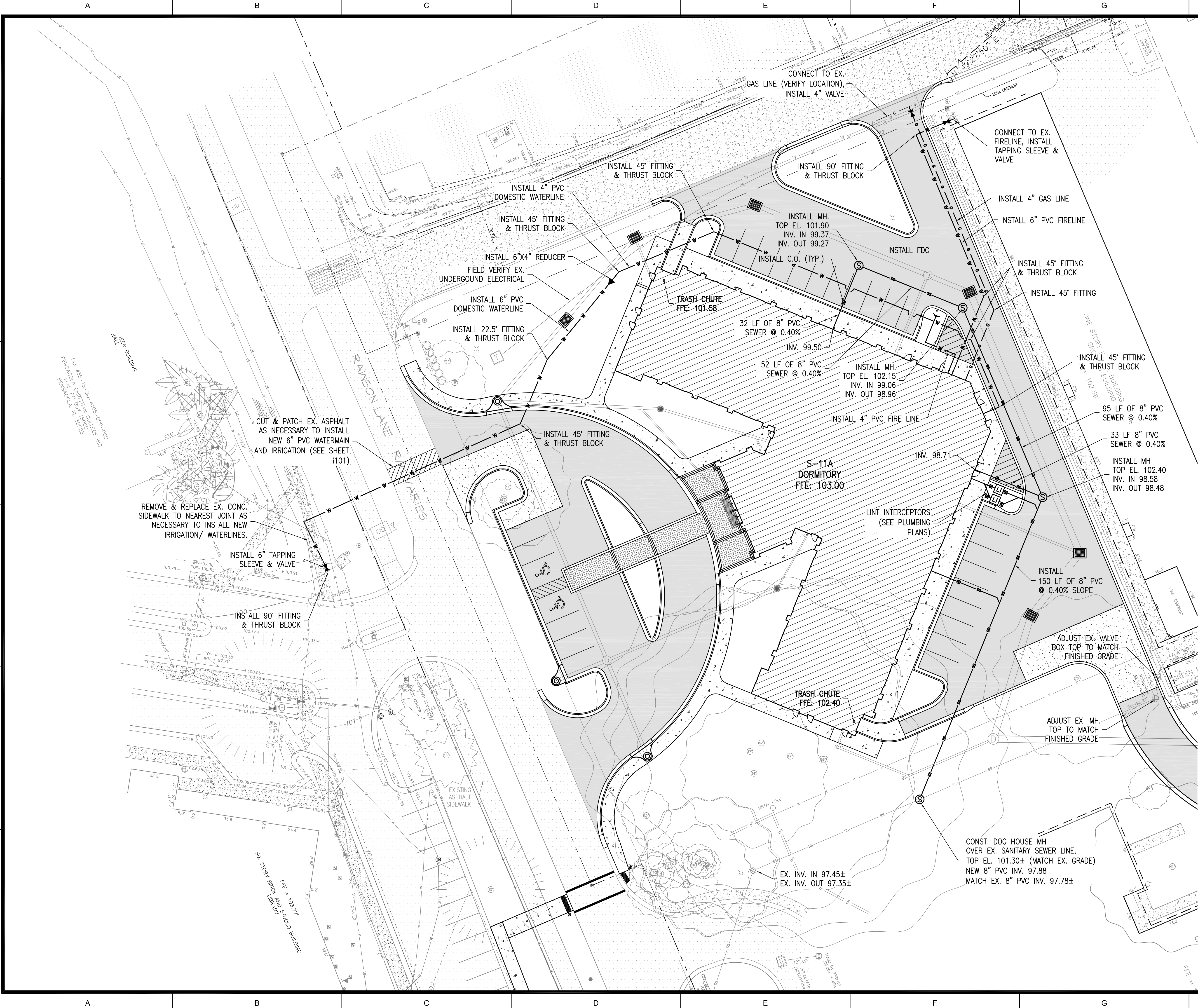


NO.	DATE	REVISIONS

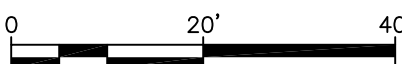
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S:\Pcc Projects\2016-08 S-11A Dorm L\DWGS\CIVIL\16-08_C30X.dwg, Dec 29, 2016 - 1:32:26PM, Lee



NOTE: NEW STORM PIPING SHOWN FOR COORDINATION WITH UTILITIES. SEE GRADING PLAN FOR STORM PIPING INFORMATION.



REVISIONS	
NO.	DATE

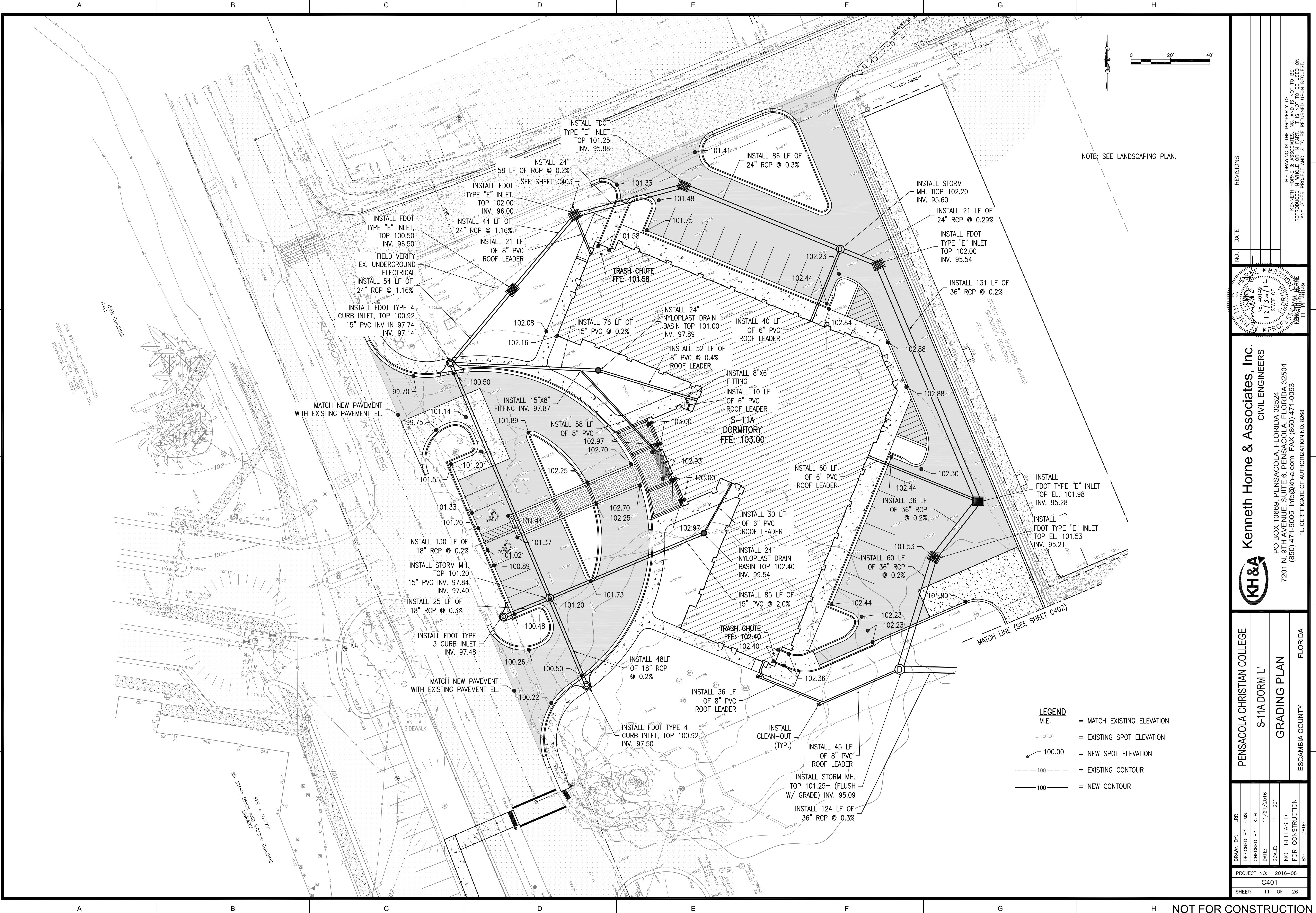
PENSACOLA CHRISTIAN COLLEGE		S-11A DORM 'L'		UTILITY PLAN	
DRAWN BY: LRR		DESIGNED BY: GMS		CHECKED BY: KCH	
DATE: 11/21/2016		SCALE: 1" = 20'		NOT RELEASED FOR CONSTRUCTION	
PROJECT NO: 2016-08		C301		SHEET: 10 OF 26	

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CIVIL ENGINEERS
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7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8268

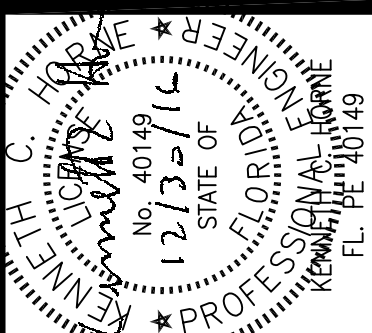
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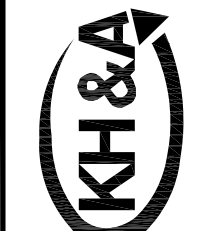
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REVISIONS	
NO.	DATE



Kenneth Home & Associates, Inc.
CIVIL ENGINEERS



PENSACOLA CHRISTIAN COLLEGE

S-11A DORM 'L'

GRADING PLAN

FLORIDA

ESCAMBIA COUNTY

PO BOX 10669, PENSACOLA, FLORIDA 32524

7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504

(850) 471-9005 info@kh-a.com FAX (850) 471-0093

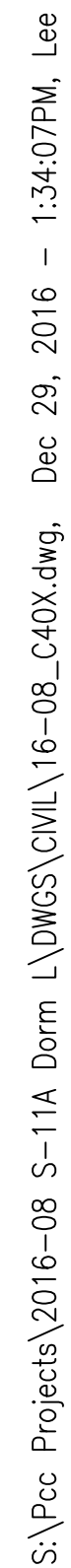
FL. CERTIFICATE OF AUTHORIZATION NO. 8288

FL. PE #10149

LRR	DESIGNED BY: GMS	CHECKED BY: KCH	DATE: 11/21/2016
PROJECT NO: 2016-08	SCALE: 1" = 20'	NOT RELEASED FOR CONSTRUCTION	BY: DATE:
SHEET: 11	OF 26	C401	

PROJECT NO: 2016-08	SCALE: 1" = 20'	NOT RELEASED FOR CONSTRUCTION	BY: DATE:
SHEET: 11	OF 26	C401	

NOT FOR CONSTRUCTION



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CIVIL ENGINEERS

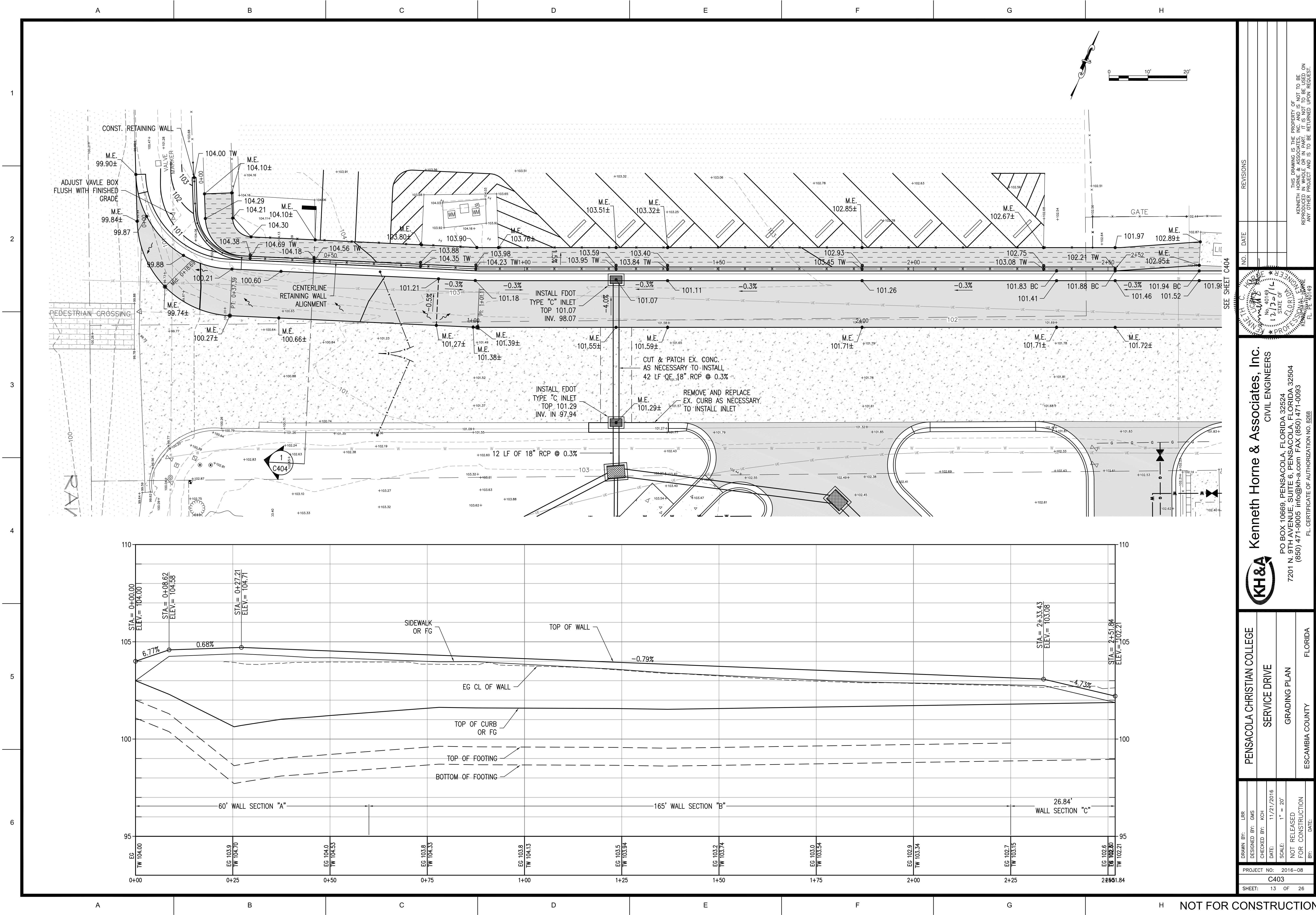
PENSACOLA CHRISTIAN COLLEGE	S-11A DORM 'I'
GRADING PLAN	
ESCAMBIA COUNTY	FLORIDA

DRAWN BY:	LRR
DESIGNED BY:	GMS
CHECKED BY:	KCH
DATE:	11/21/2016
SCALE:	1" = 20'
NOT RELEASED FOR CONSTRUCTION	
BY:	DATE:

PROJECT NO:	2016-08		
	C402		
SHEET:	12	OF	26

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S:\Pec Projects\2016-08 S-11A Dorm L\DWGS\CIVIL\16-08_WIDEN-ROAD_C40X.dwg, Dec 29, 2016 - 1:35:22PM, Lee



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NO.	DATE

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NO. 40149
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
KENNETH HORNE
FL. PE 40149

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL. CERTIFICATE OF AUTHORIZATION NO. 8268

PENSACOLA CHRISTIAN COLLEGE
SERVICE DRIVE
GRADING PLAN
FLORIDA
ESCAMBIA COUNTY

DRAWN BY:	LRR
DESIGNED BY:	GMS
CHECKED BY:	KCH
DATE:	11/21/2016
SCALE:	1" = 20'
NOT RELEASED FOR CONSTRUCTION	
BY:	

PROJECT NO: 2016-08
C403
SHEET: 13 OF 26

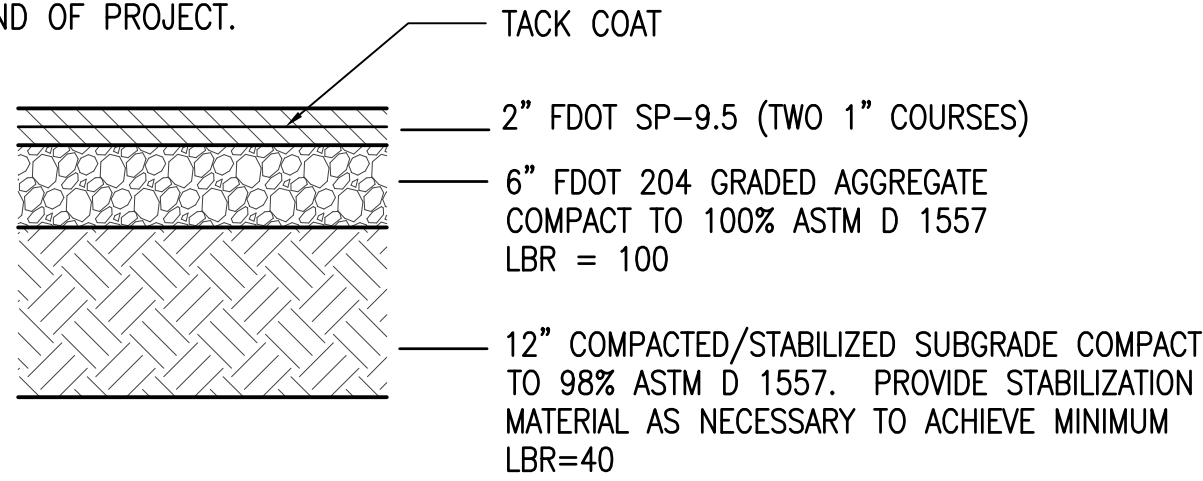
NOT FOR CONSTRUCTION

1 SECTION A
Scale: H:1" = 5' V: 1" =

PROJECT NO:	2016-08
SHEET:	14 OF 26
DRAWN BY:	LRR
DESIGNED BY:	GMS
CHECKED BY:	KCH
DATE:	11/21/2016
SCALE:	1" = 20'
NOT RELEASED FOR CONSTRUCTION	
BY:	DATE:
<div> <div> PENSACOLA CHRISTIAN COLLEGE SERVICE DRIVE GRADING PLAN ESCAMBIA COUNTY FLORIDA </div> <div>  <div> Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10689, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 8268 </div> </div> </div>	
<div> <div>  <div> THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST. </div> </div> <div> NO. 40149 2/13/14 STATE OF FLORIDA PROFESSIONAL ENGINEER KENNETH H. HORNE FL. PE 40149 </div> </div>	
NO.	DATE
REVISIONS	

S:\Pec Projects\2016-08 S-11A Dorm L\DWGS\CIVIL\16-08_C50X.dwg, Dec 29, 2016 - 1:38:00PM, Lee

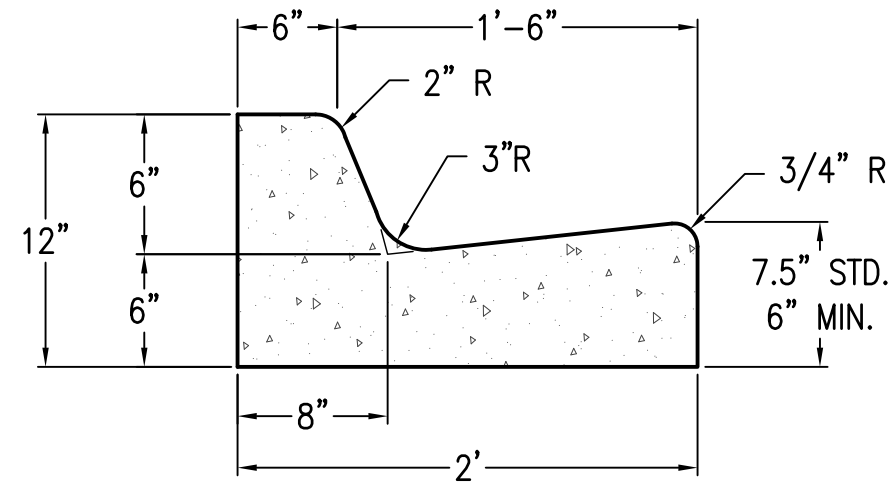
NOTE: LAST COURSE OF 1" ASPHALT TO BE PLACED AT END OF PROJECT.



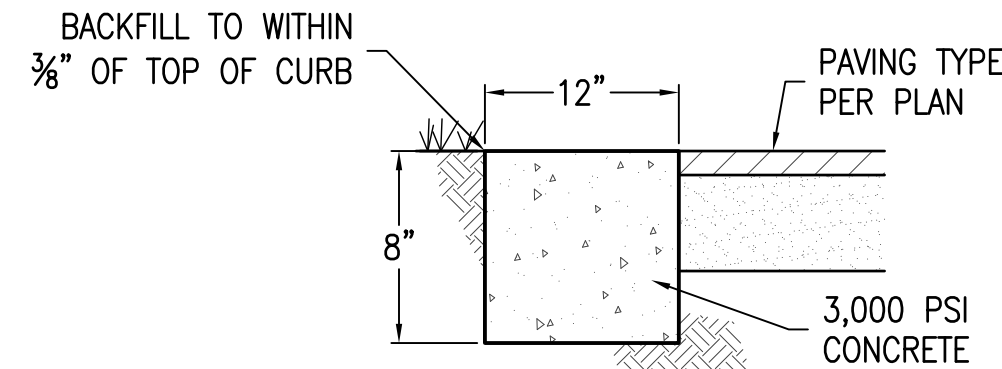
A ASPHALT PAVEMENT SECTION
C501 N.T.S.

CURB NOTES:

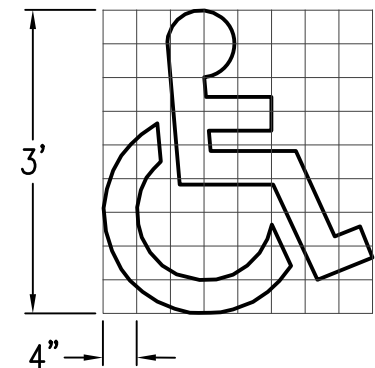
1. CONSTRUCT PER FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (SECTION 520).
2. (*) WHEN USED ON THE HIGH SIDE OF THE ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS SHOWN OTHERWISE ON THE PLANS.



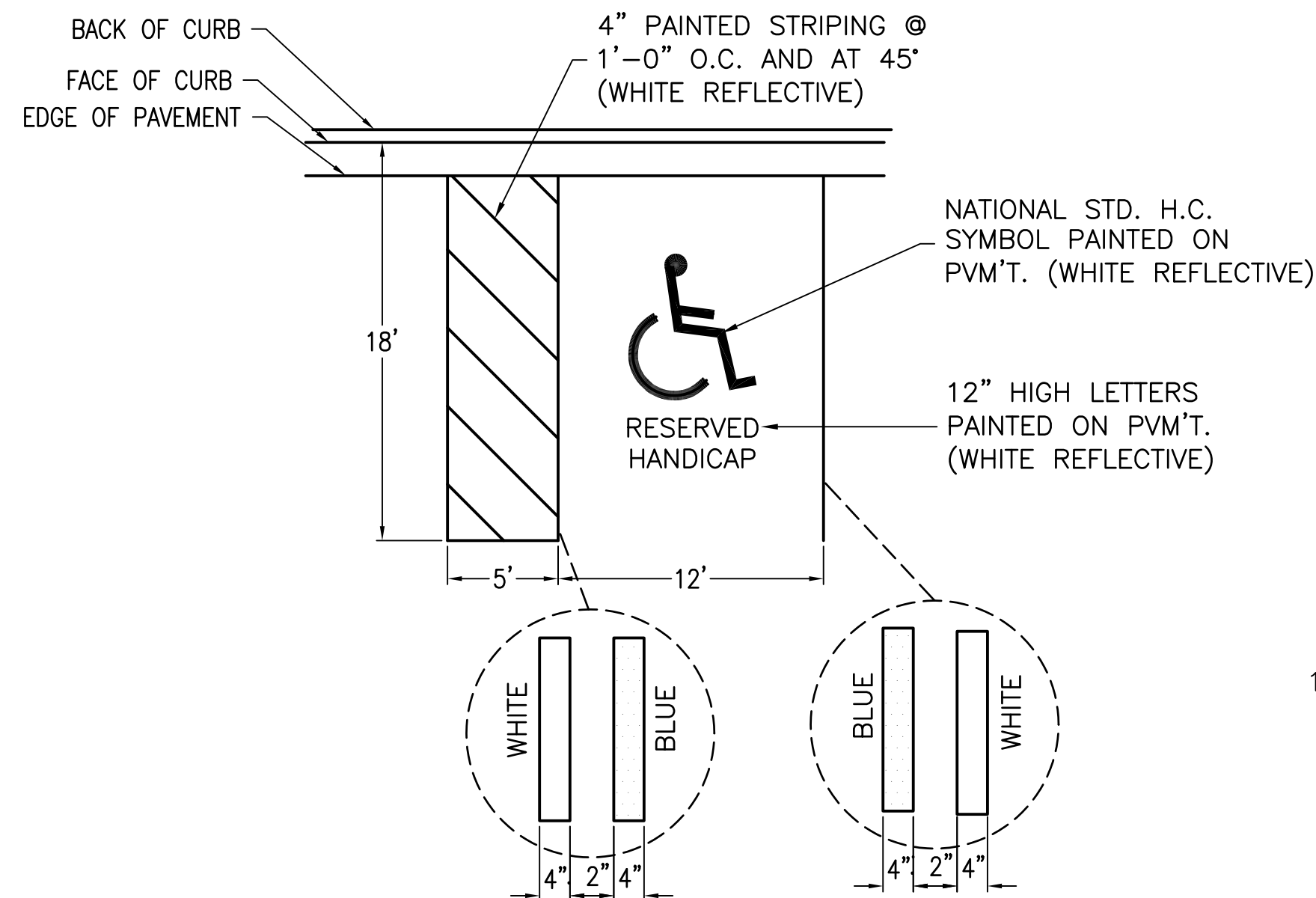
B TYPE "F" CURB & GUTTER DETAIL
C501 N.T.S.



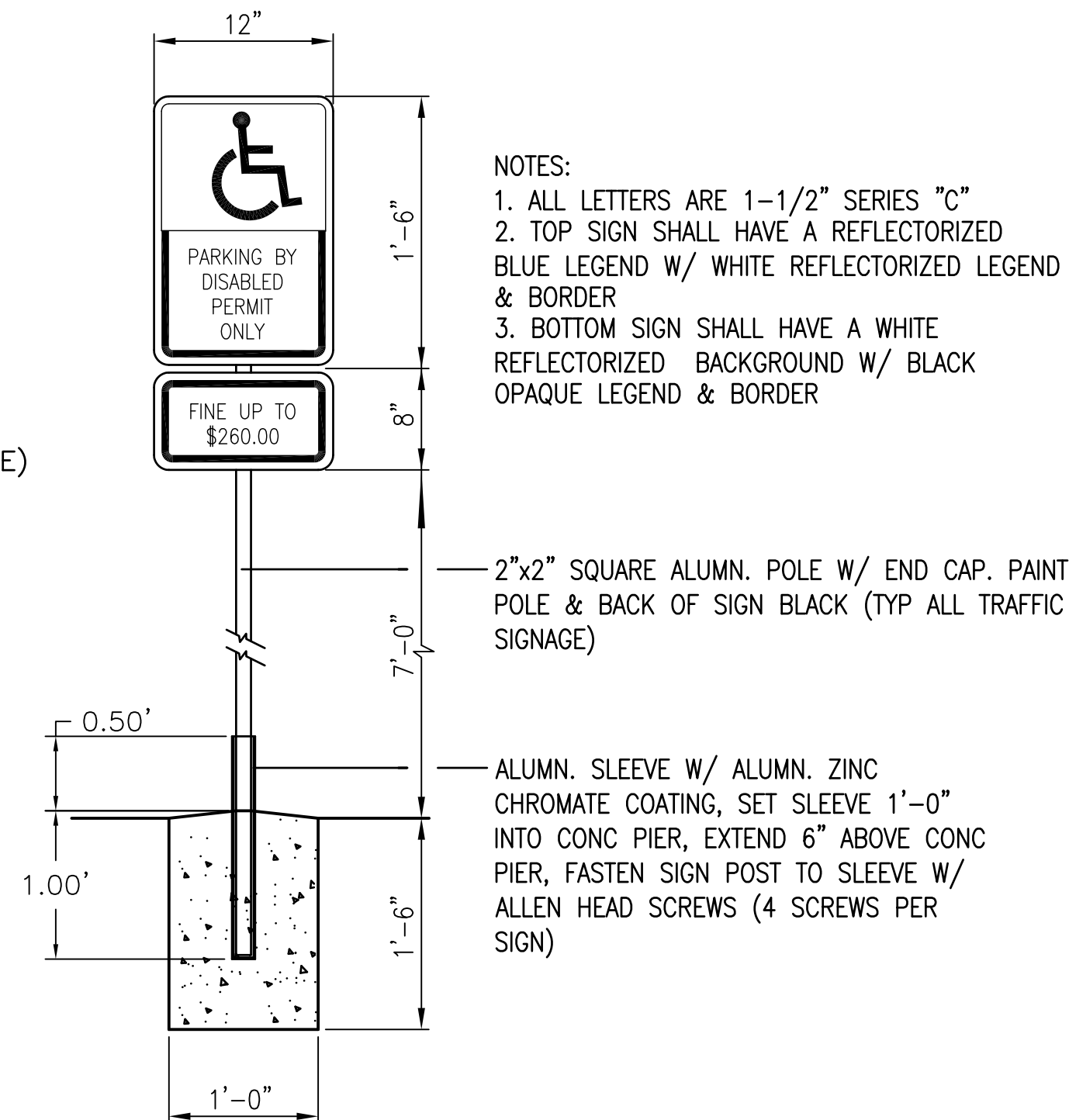
F RIBBON CURB DETAIL
C501 N.T.S.



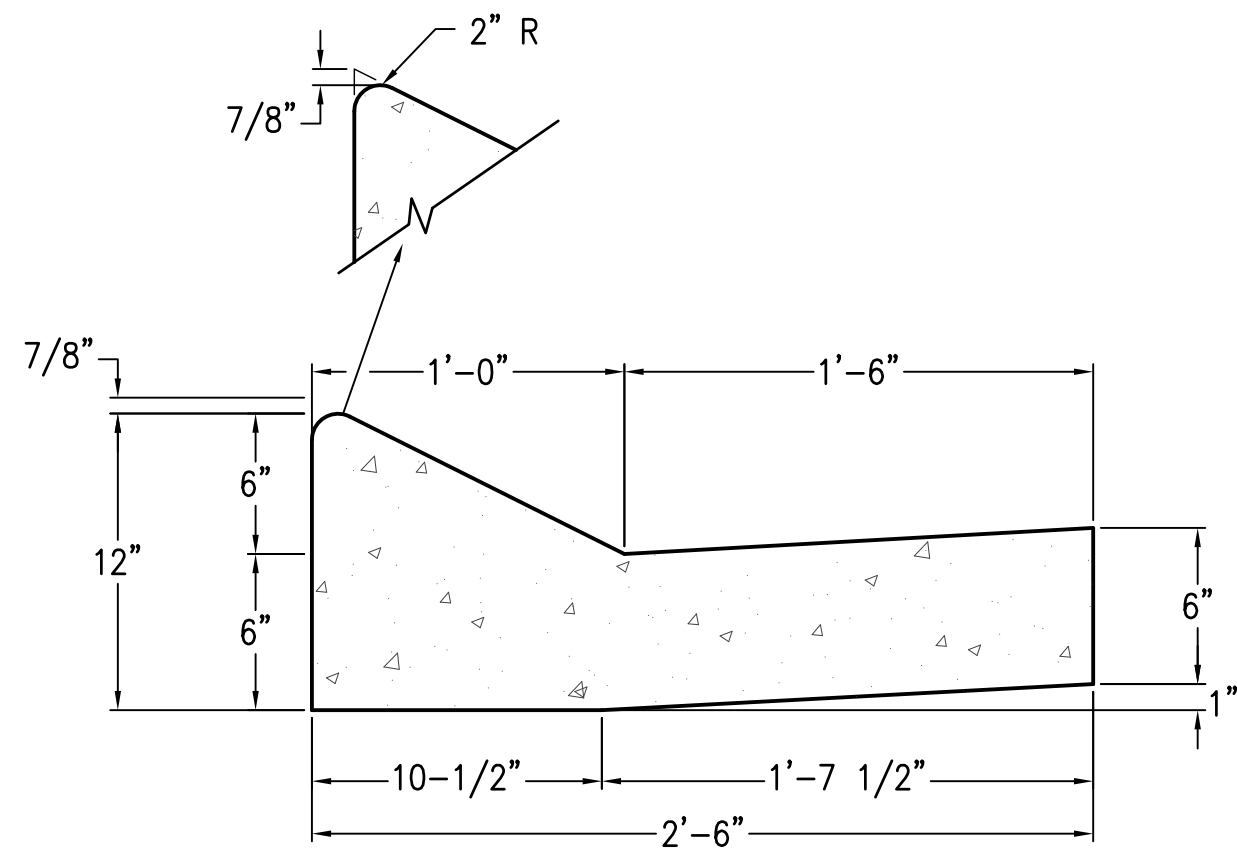
SYMBOL SHALL BE 3 FT. HIGH AND WHITE IN COLOR.



G HANDICAPPED PARKING SPACE STRIPING DETAIL
C501 N.T.S.

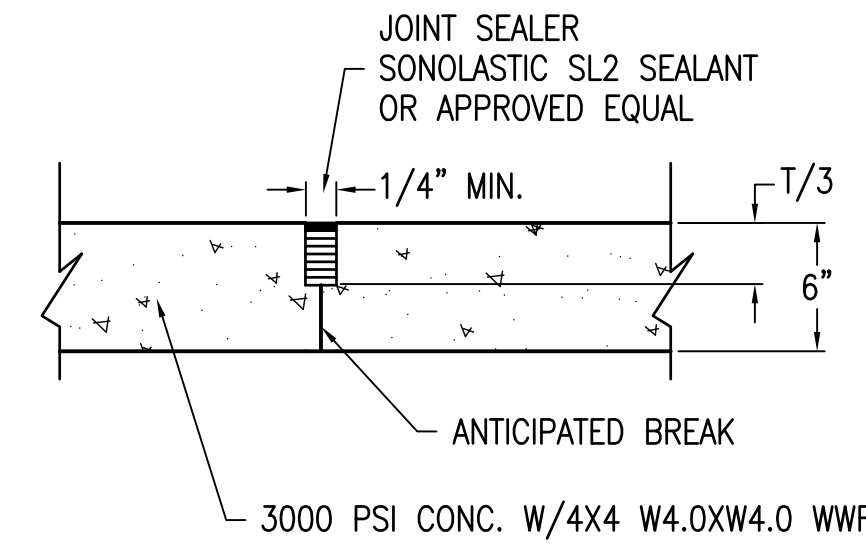


H HANDICAPP SIGN DETAIL
C501 N.T.S.



C LAYBACK CURB & GUTTER DETAIL
C501 N.T.S.

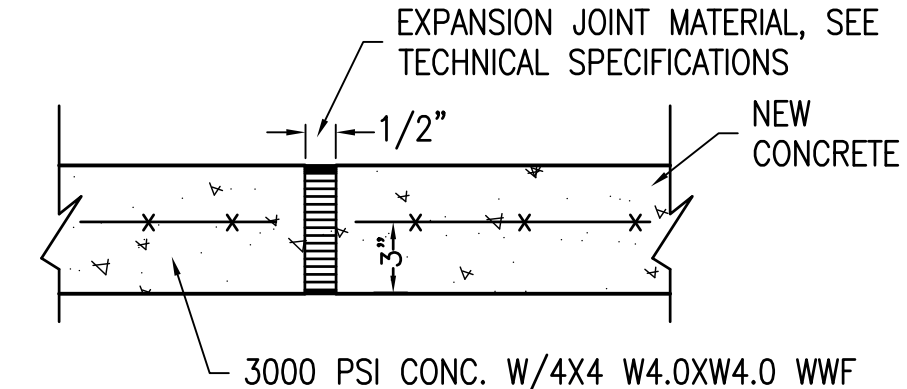
NOTE:
AFTER REINFORCEMENT (INCLUDING WWF) IS INSTALLED AND PRIOR TO PLACING CONCRETE, SAID REINFORCEMENT IS TO BE INSPECTED BY OWNER/ENGINEER.



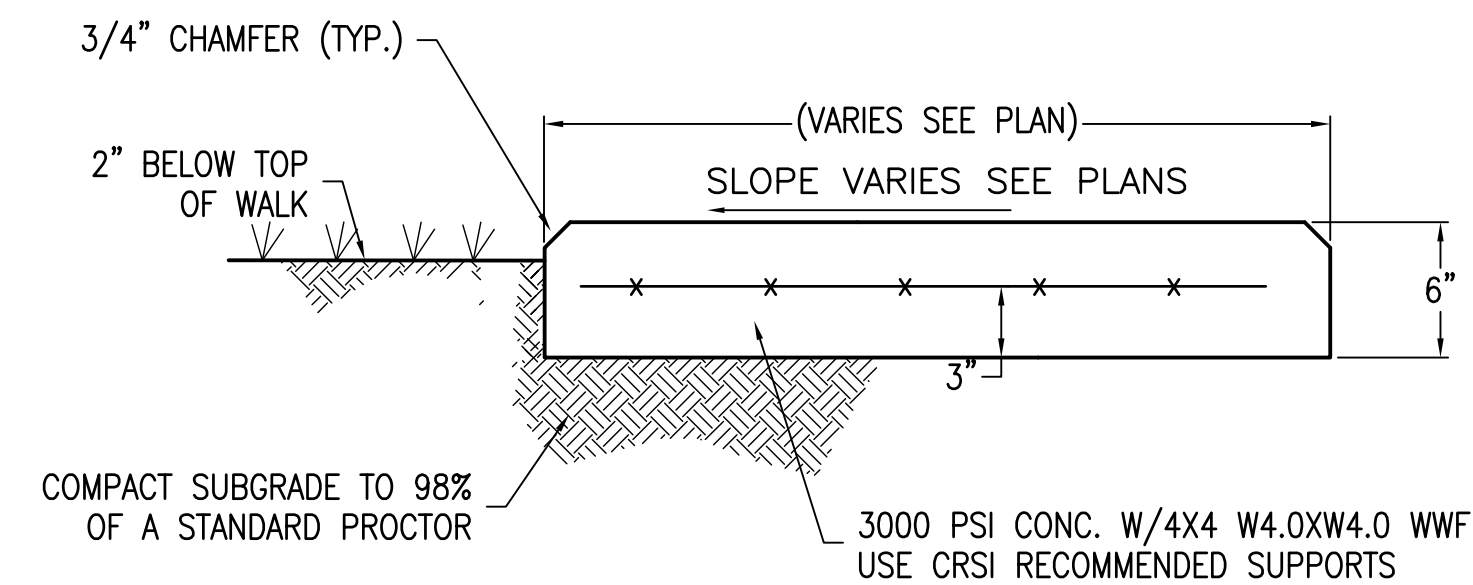
SIDEWALK CONTROL JOINT DETAIL
N.T.S.

SIDEWALK NOTES:

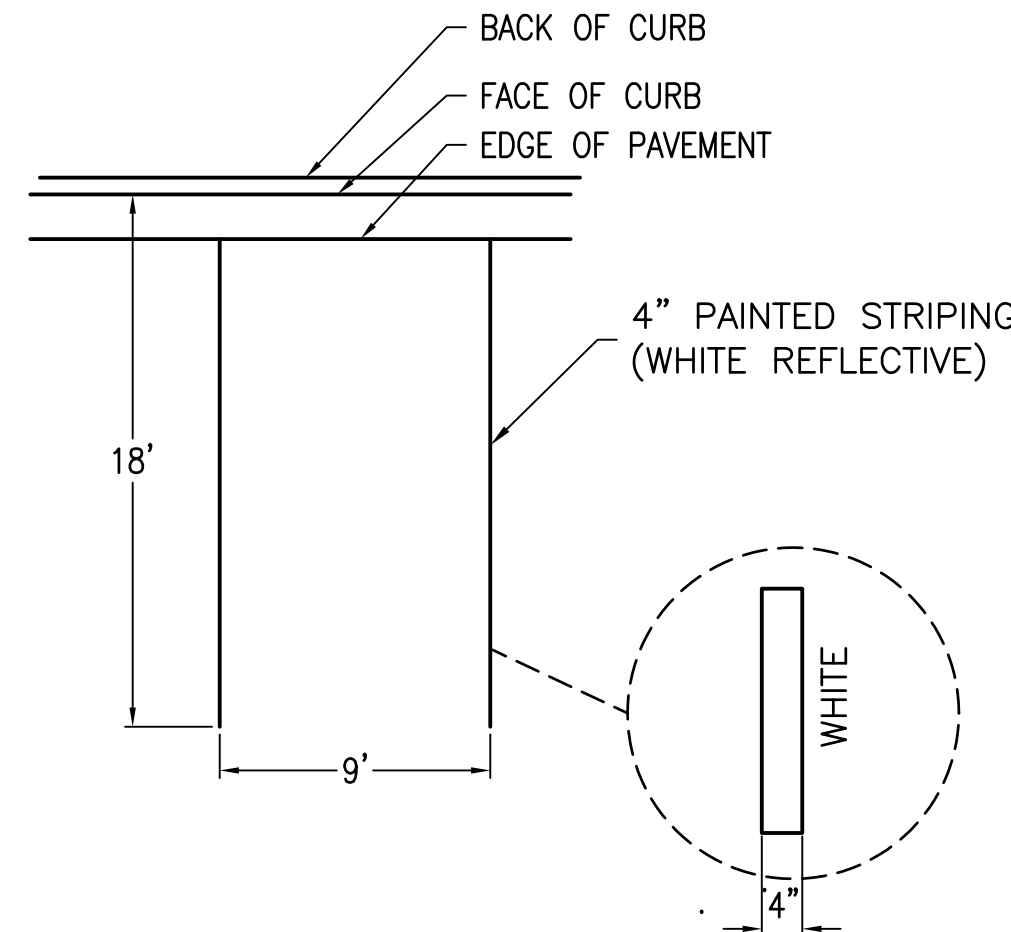
1. SCORED/TOOLED CONTROL JOINTS SHALL BE SPACED AT INTERVALS EQUAL TO WIDTH OF WALK.
2. CONSTRUCT EXPANSION JOINTS WHERE NEW CONCRETE ABUTS NEW OR EXISTING CONCRETE CURBS, ASPHALT, OR OTHER STRUCTURES AND/OR ON 12' CENTERS.
3. JOINT SEALER TO BE FLEXIBLE EXPOXY JOINTING COMPOUND, AS SPECIFIED.
4. CONTRACTOR TO SUBMIT CURING METHOD TO ENGINEER PRIOR TO SIDEWALK INSTALLATION.
5. CONTRACTOR TO TAKE EXTRA CARE TO ENSURE WWF IS PLACED CORRECTLY.



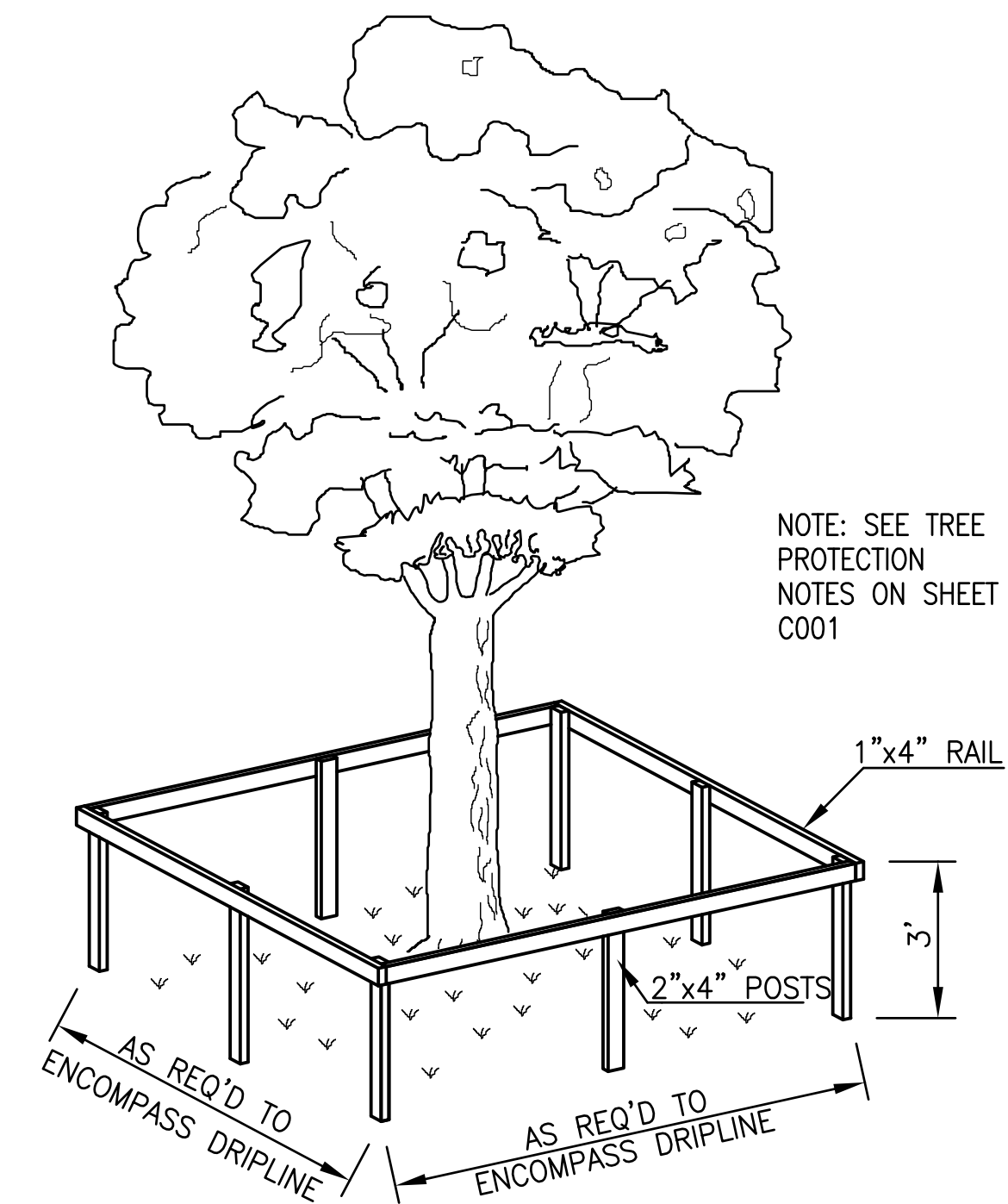
SIDEWALK EXPANSION JOINT DETAIL
N.T.S.



D SIDEWALK DETAIL
C501 N.T.S.

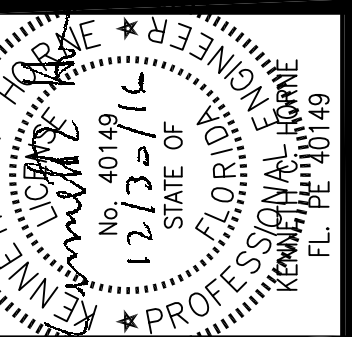


I STANDARD PARKING SPACE STRIPING DETAIL
C501 N.T.S.



J TREE PROTECTION DETAIL
C501 N.T.S.

NO.	DATE	REVISIONS
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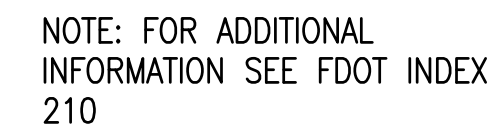
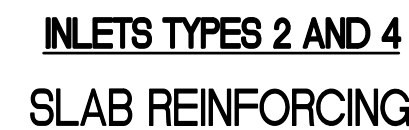
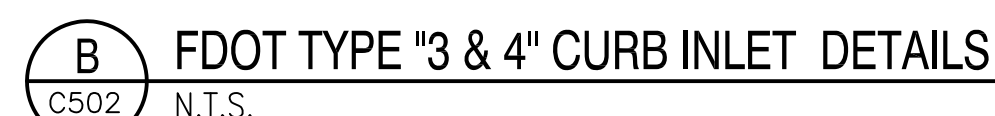
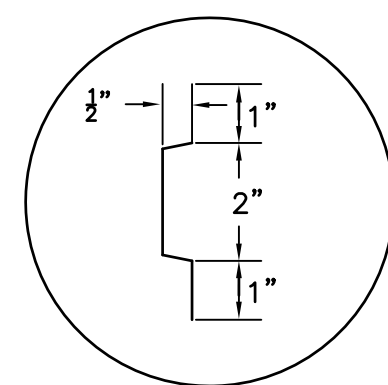
Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
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FL CERTIFICATE OF AUTHORIZATION NO. 8268

PENSACOLA CHRISTIAN COLLEGE	FLORIDA
S-11A DORM 'L'	DETAILS
ESCAMBIA COUNTY	

DRAWN BY: LRR	DESIGNED BY: GMS	CHECKED BY: KCH	DATE: 11/21/2016
SCALE: N.T.S.	NOT RELEASED FOR CONSTRUCTION	DATE:	

PROJECT NO: 2016-08
C501
SHEET: 15 OF 26

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- 3


- BASE SLAB NOTES:

- 4

- AND DATES OF MATERIAL SAMPLINGS.

NO.	DATE	REVISIONS

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A circular professional engineer seal for Kenneth C. Horn, State of Florida. The seal contains the text "KENNETH C. HORN", "No. 40149", "12/30/16", "STATE OF FLORIDA", and "PROFESSIONAL ENGINEER". The seal is stamped in black ink.

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CIVIL ENGINEERS

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(904) 474-8885; FAX (904) 474-8886

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(904) 474-0005; FAX (904) 474-0000

(850) 471-9005 info@kh-a.com FAX (850) 471-0093

FL. CERTIFICATE OF AUTHORIZATION NO. 82688

PENSACOLA CHRISTIAN COLLEGE

S-11A DORM 'L'

DETAILS

ESCAMBIA COUNTY
FLORIDA

ESCAMBIA COUNTY

DRAWN BY:	LRR
DESIGNED BY:	GMS
CHECKED BY:	KCH
DATE:	11/21/2016
SCALE:	N.T.S.
NOT RELEASED FOR CONSTRUCTION	
BY:	DATE:

PROJECT NO: 2016—08		
C502		
SHEET:	16	OF 26

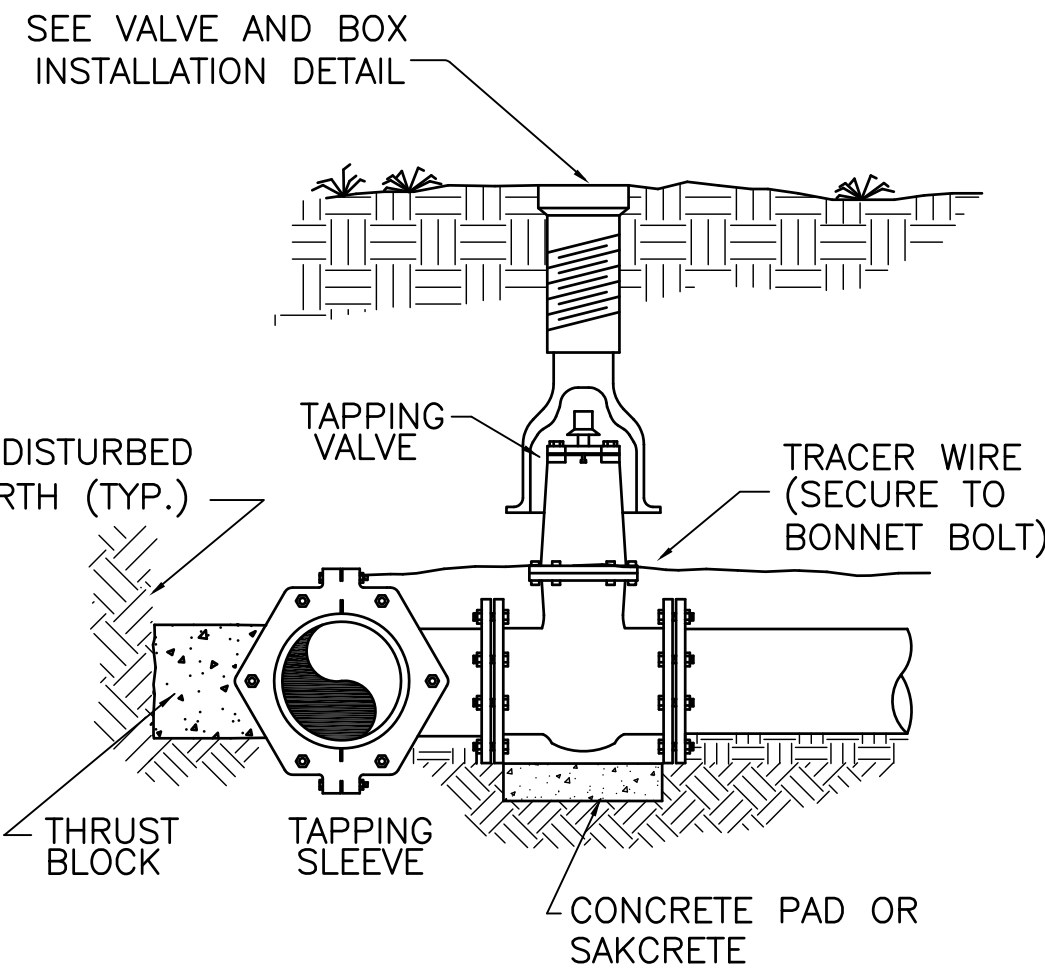
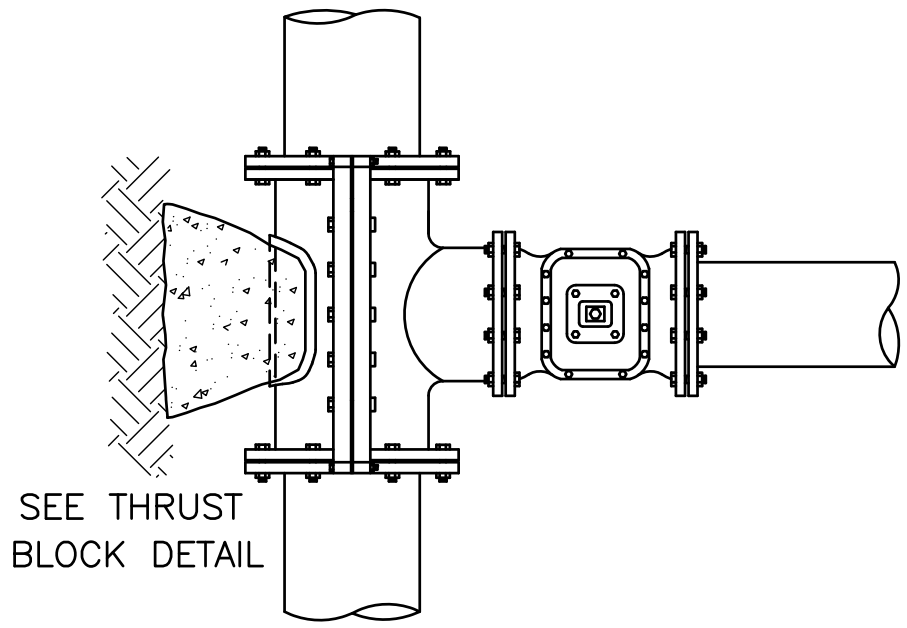
C502

SHEET: 16 OF 20

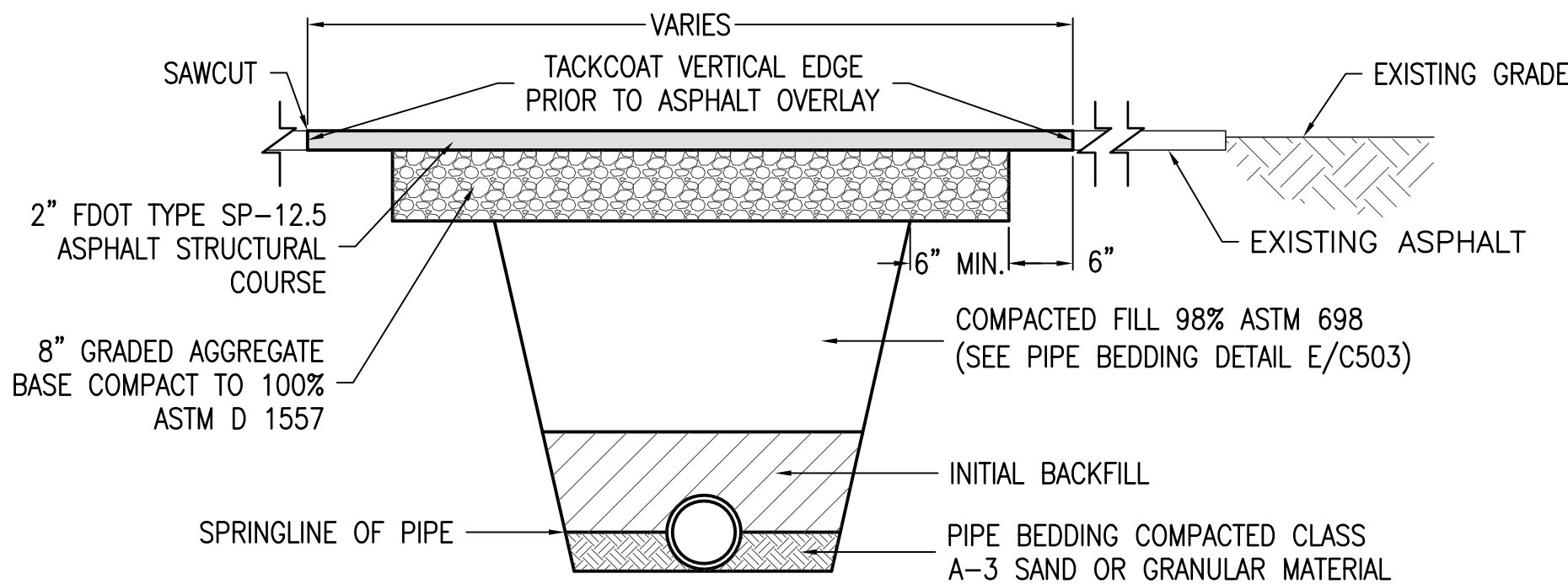
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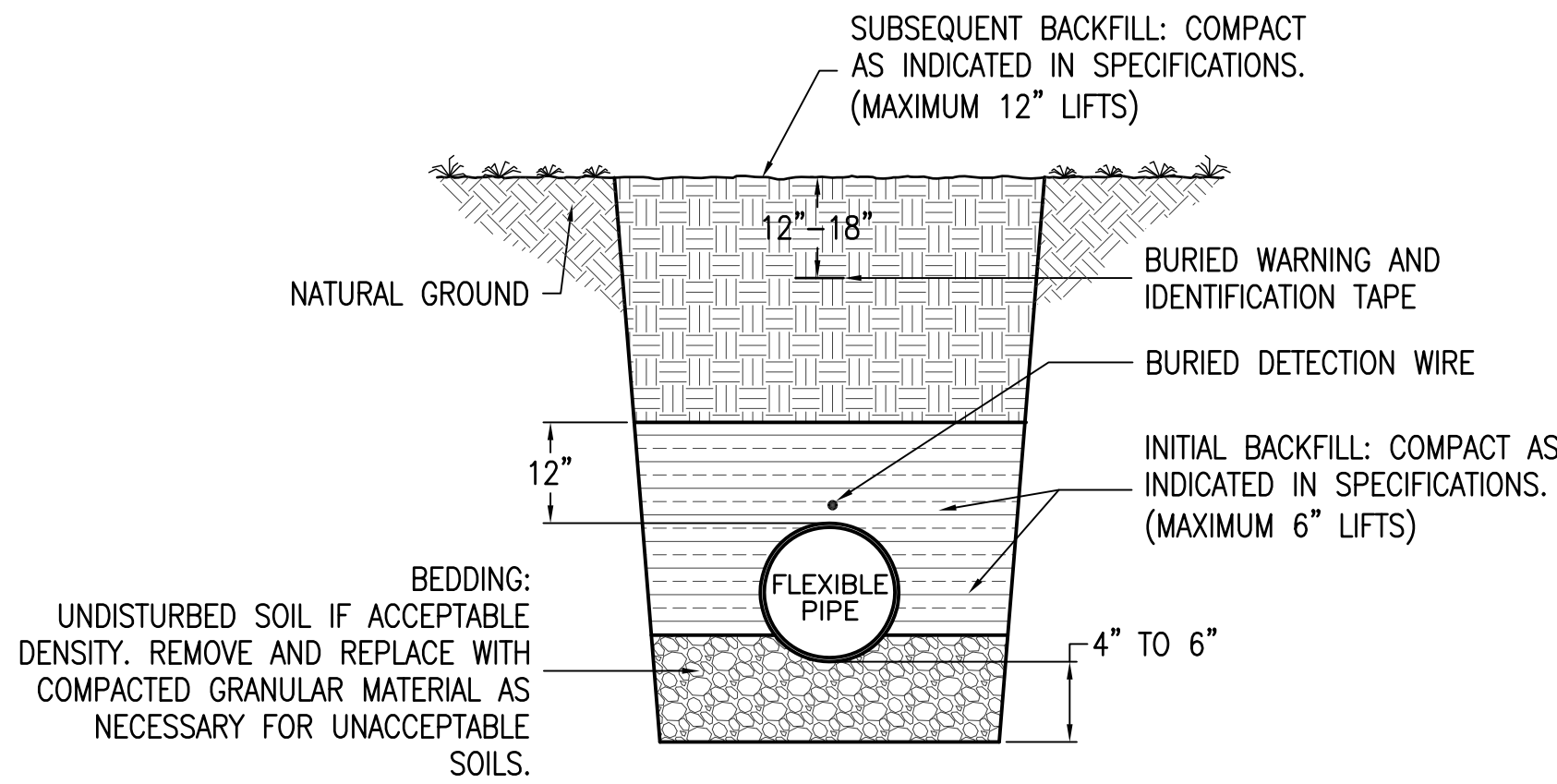
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A TAPPING SLEEVE & VALVE DETAIL
C503 N.T.S.



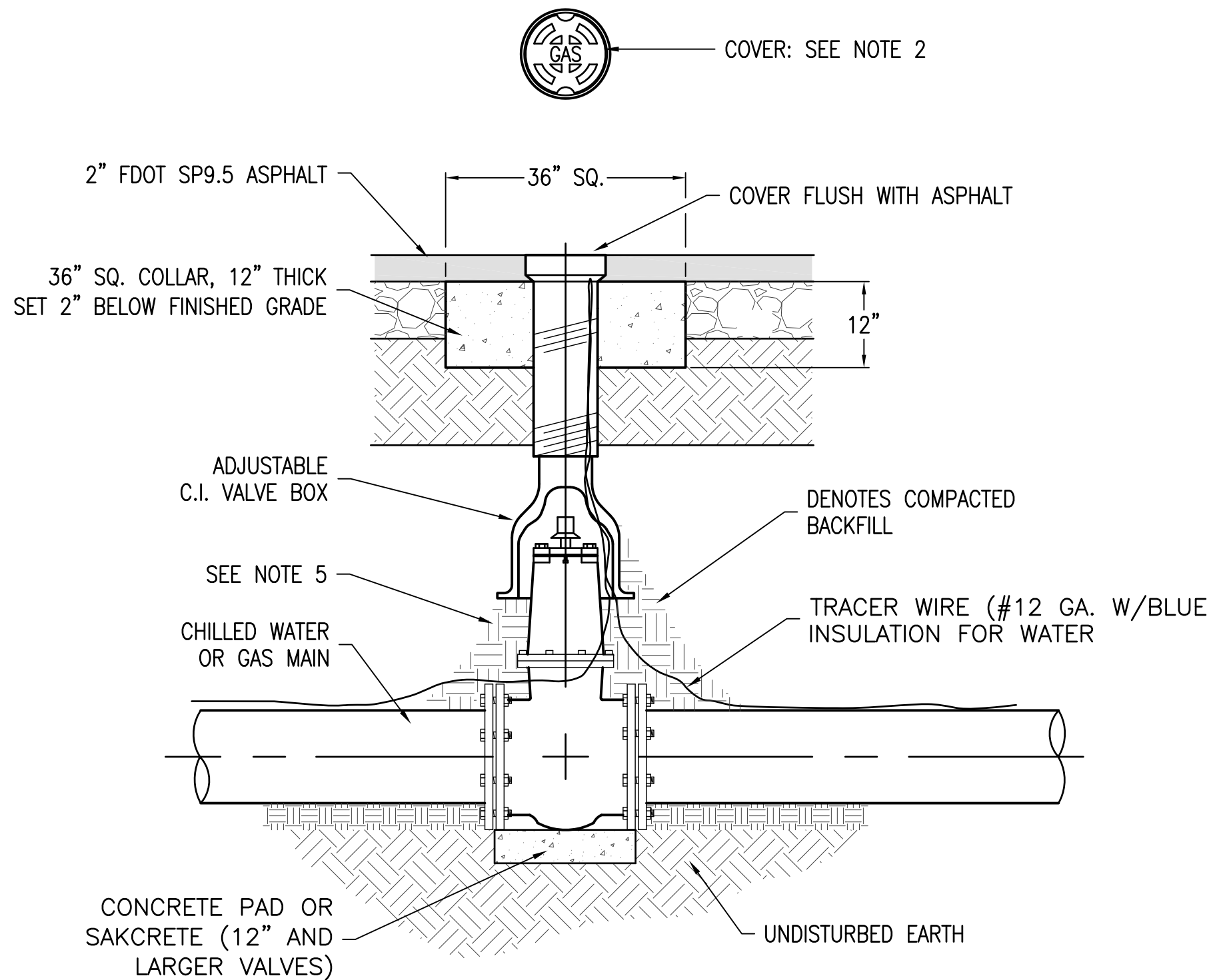
D ASPHALT CUT & PATCH DETAIL
C503 N.T.S.



E FLEXIBLE PIPE BEDDING DETAIL
C503 N.T.S.

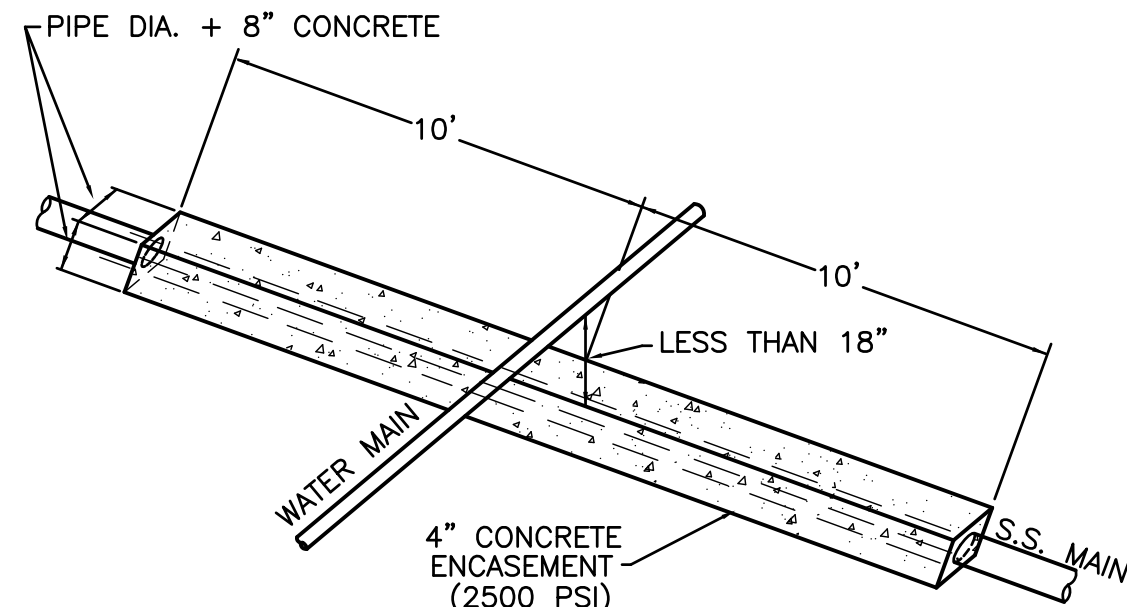
NOTES:

1. VALVE BOX AND BOOT SHALL BE CAST IRON.
2. VALVE COVER SHALL BE MARKED "CHILLED WATER OR "GAS" AS APPLICABLE.
3. VALVE BOX TOP SHALL BE FLUSH WITH FINISHED GRADE ASPHALT.
4. GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUAL.
5. EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.



B TYPICAL VALVE & BOX INSTALLATION SET IN ASPHALT PAVEMENT DETAIL
C503 N.T.S.

SANITARY SEWER LINES (GRAVITY OR PRESSURE) SHALL HAVE 18" OR GREATER VERTICAL CLEARANCE BELOW ANY POTABLE WATER LINE WHEN CROSSING. A MINIMUM OF 6" VERTICAL CLEARANCE IS REQUIRED FOR OTHER UTILITIES. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER LINE THAT IS PARALLEL TO AND LESS THAN 18" BELOW A POTABLE WATER LINE SHALL BE 10' OR GREATER. A MINIMUM OF 30" IS REQUIRED FOR OTHER UTILITIES. IF THIS IS NOT POSSIBLE OR PRACTICAL, SEE BELOW:



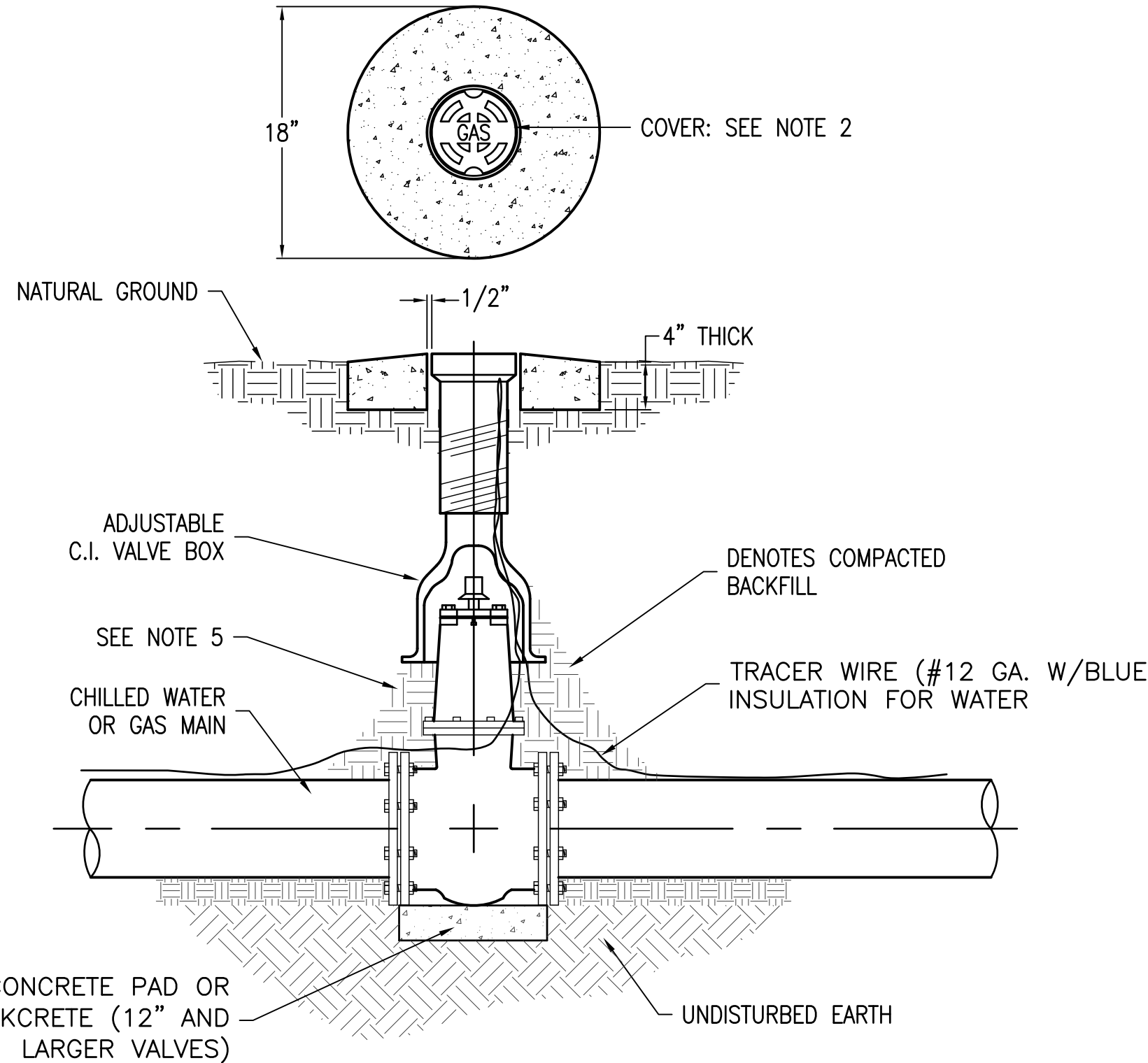
FOR CROSSING: ENCASE AS ABOVE SO THAT THE ENDS OF ENCASEMENT ARE AT LEAST 12' FROM ANY WATER LINE JOINT. WATER LINE JOINT MUST NOT BE CLOSER THAN 5' TO THE POINT OF CROSSING, OR IT MUST ALSO BE ENCASED.
ALTERNATE 1: USE EQUALLY (OR HIGHER) RATED PRESSURE PIPE FOR SEWER WITH NO JOINTS CLOSER THAN 12' APART AND 6" VERTICAL.
ALTERNATE 2: PLACE SEWER LINE INTO STEEL CASING AND CENTER 20' PIECE WITH 4' VERTICAL CLEARANCE AND SEAL ENDS.

FOR PARALLEL: AND 6' TO 10' APART USE ALTERNATE 2, BUT IF MORE THAN 40' IN LENGTH, ALTERNATE 1 MUST BE USED AND JOINTS ARE TO BE STAGGERED. IF LINES MUST BE 3' TO 6' APART, ALTERNATE 1 MUST BE USED WITH A HIGHER RATED PRESSURE PIPE FOR SEWER (i.e., WATER LINE IS DR25 THEN USE DR18 OR 21 FOR SEWER).

F SEWER-WATER SEPARATION & CLEARANCES DETAIL
C503 N.T.S.

NOTES:

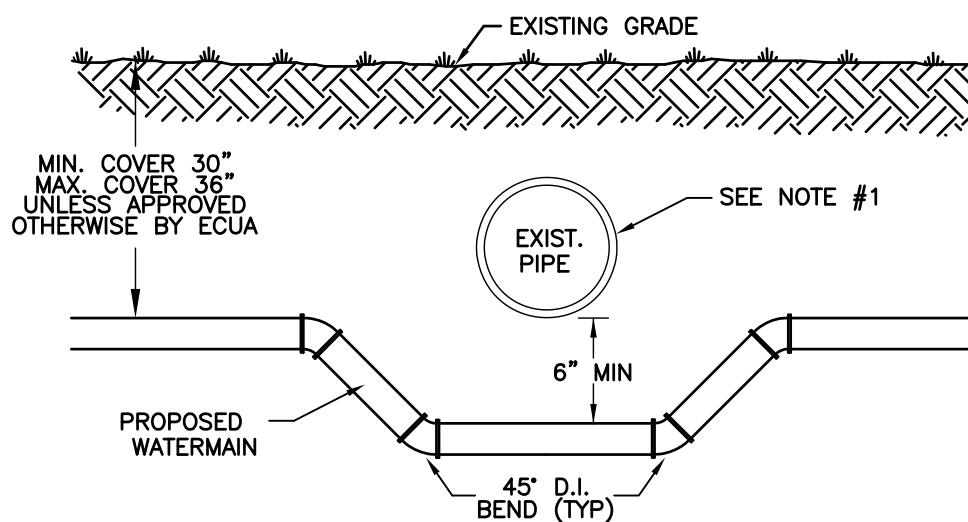
1. VALVE BOX AND BOOT SHALL BE CAST IRON.
2. VALVE COVER SHALL BE MARKED "CHILLED WATER OR "GAS" AS APPLICABLE.
3. VALVE BOX TOP SHALL BE 1/2" ABOVE NATURAL GROUND LEVEL.
4. GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUAL.
5. EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.



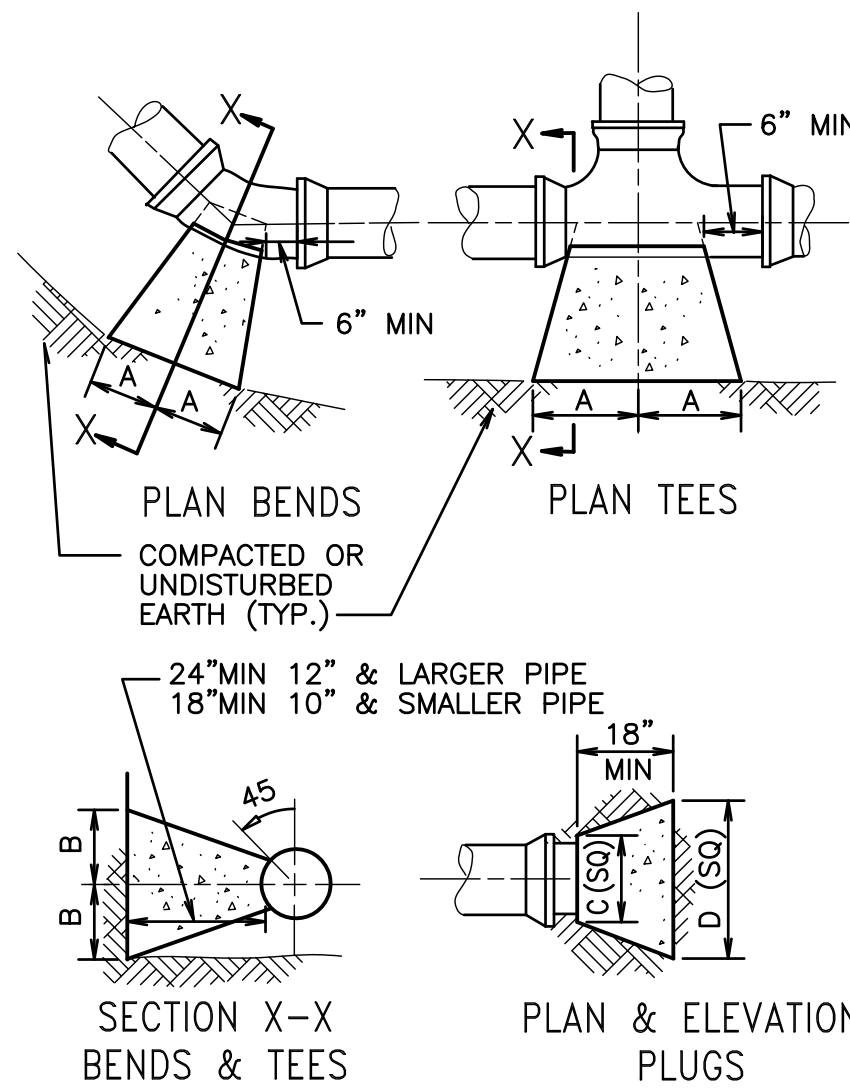
C TYPICAL VALVE & BOX INSTALLATION SET IN NATURAL GRADE DETAIL
C503 N.T.S.

NOTES:

1. IF EXISTING PIPE IS A SEWER MAIN, REFER TO ENCASEMENT DETAIL FOR ADDITIONAL SPECIFICATIONS.
2. ALL FITTINGS ARE TO BE C.I. RETAINING JOINT TYPE.



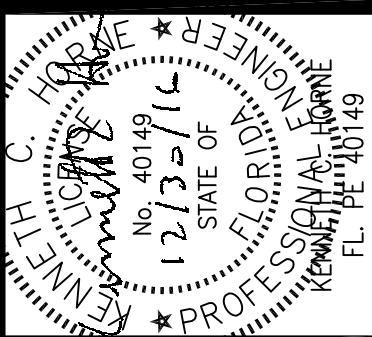
G CONFLICT DETAIL
C503 N.T.S.



SIZE	1/4 BENDS		1/8 BENDS		1/16 BENDS		TEES		PLUGS	
	A	B	A	B	A	B	A	B	C	D
6"	16"	10"	9"	10"	6"	8"	10"	12"	10"	21"
8"	22"	13"	12"	13"	8"	10"	13"	16"	12"	29"
10"	26"	17"	14"	17"	10"	13"	16"	20"	14"	36"
12"	29"	21"	16"	21"	11"	16"	18"	24"	16"	41"
14"	35"	24"	19"	24"	12"	20"	22"	27"	18"	48"
16"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"

H THRUST BLOCK DETAILS
C503 N.T.S.

REVISIONS		NO.	DATE	BY	CHKD.



Kenneth Home & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL. CERTIFICATE OF AUTHORIZATION NO. 8288

PENSACOLA CHRISTIAN COLLEGE	S-11A DORM 'L'	DETAILS	FLORIDA
ESCAMBIA COUNTY			

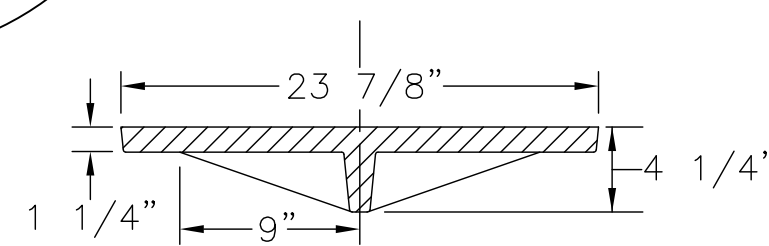
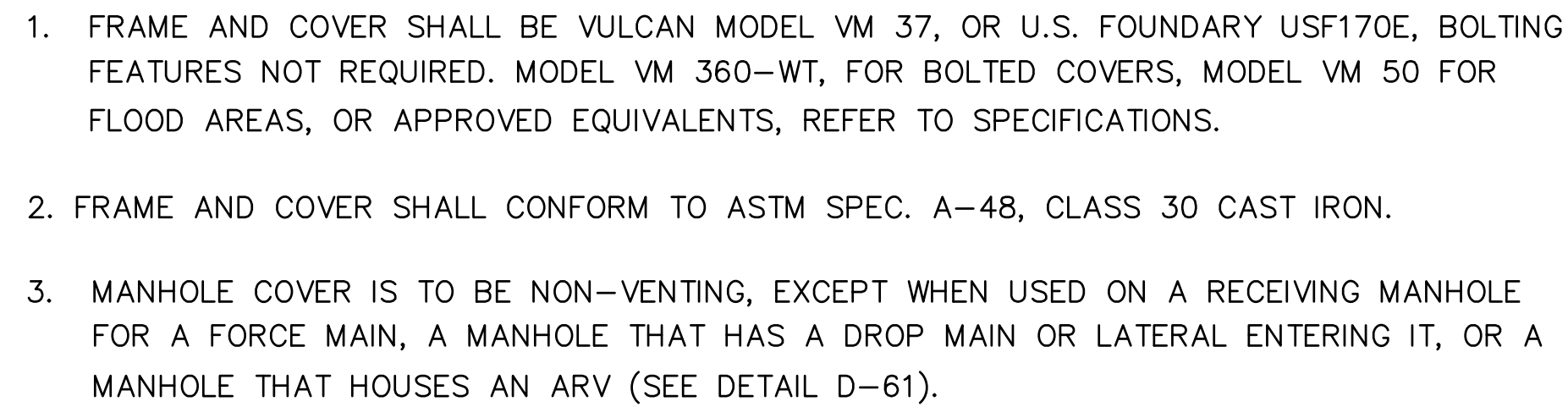
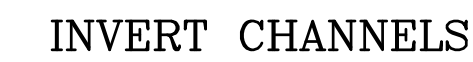
DRAWN BY: LRR	DESIGNED BY: GMS	CHECKED BY: KCH	DATE: 11/21/2016
SCALE: N.T.S.	NOT RELEASED FOR CONSTRUCTION	BY: DATE:	

PROJECT NO: 2016-08
C503
SHEET: 17 OF 26



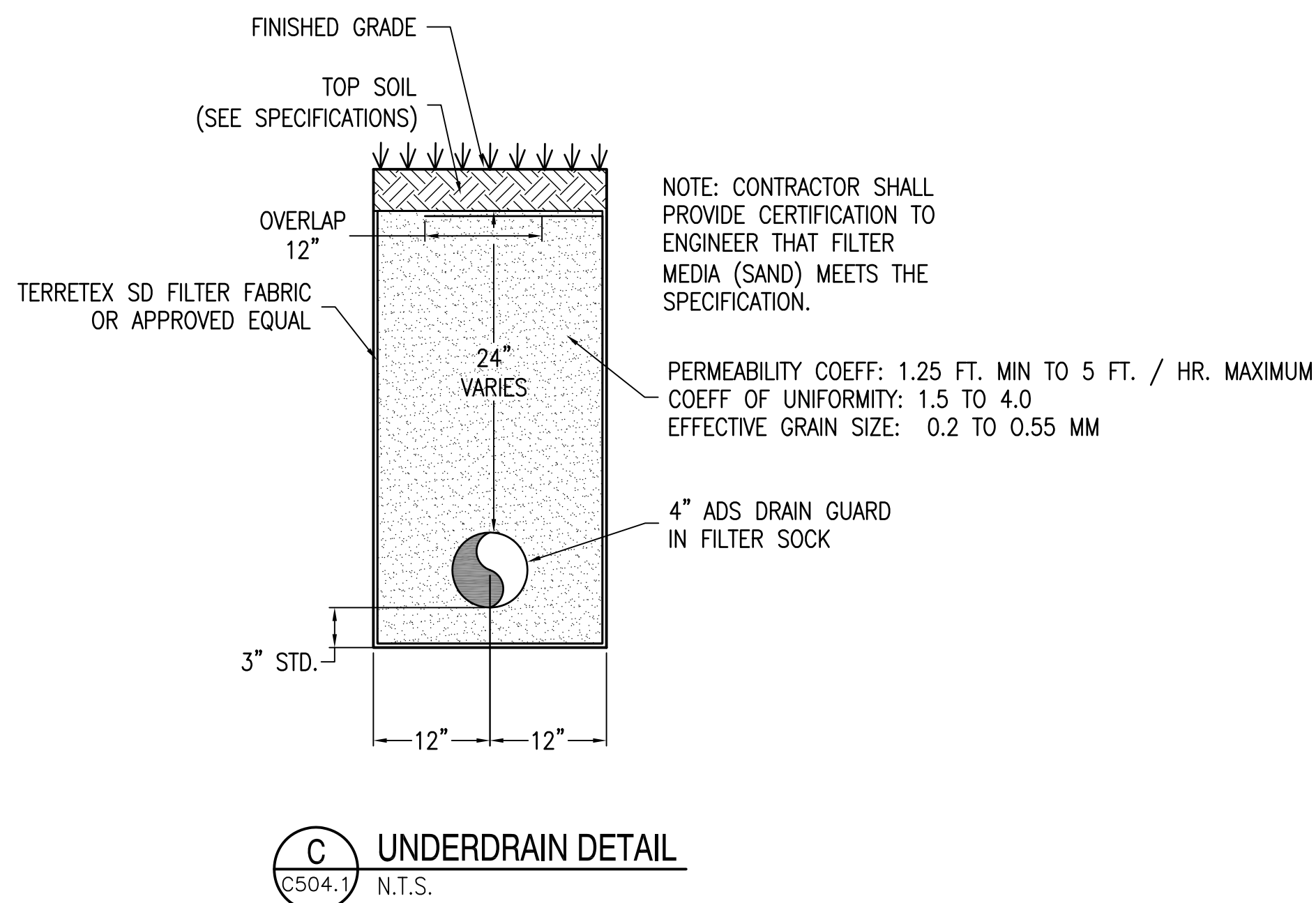
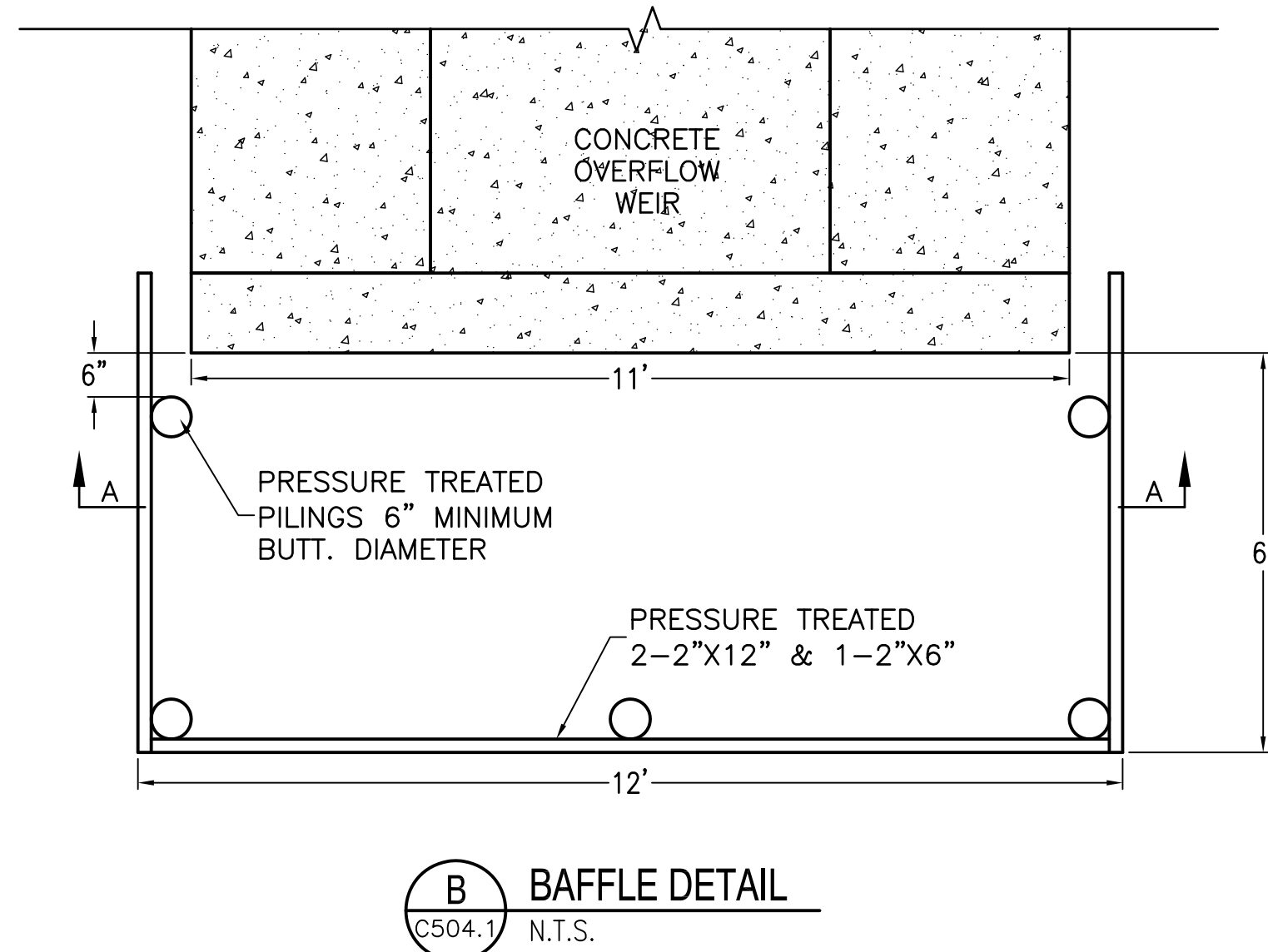
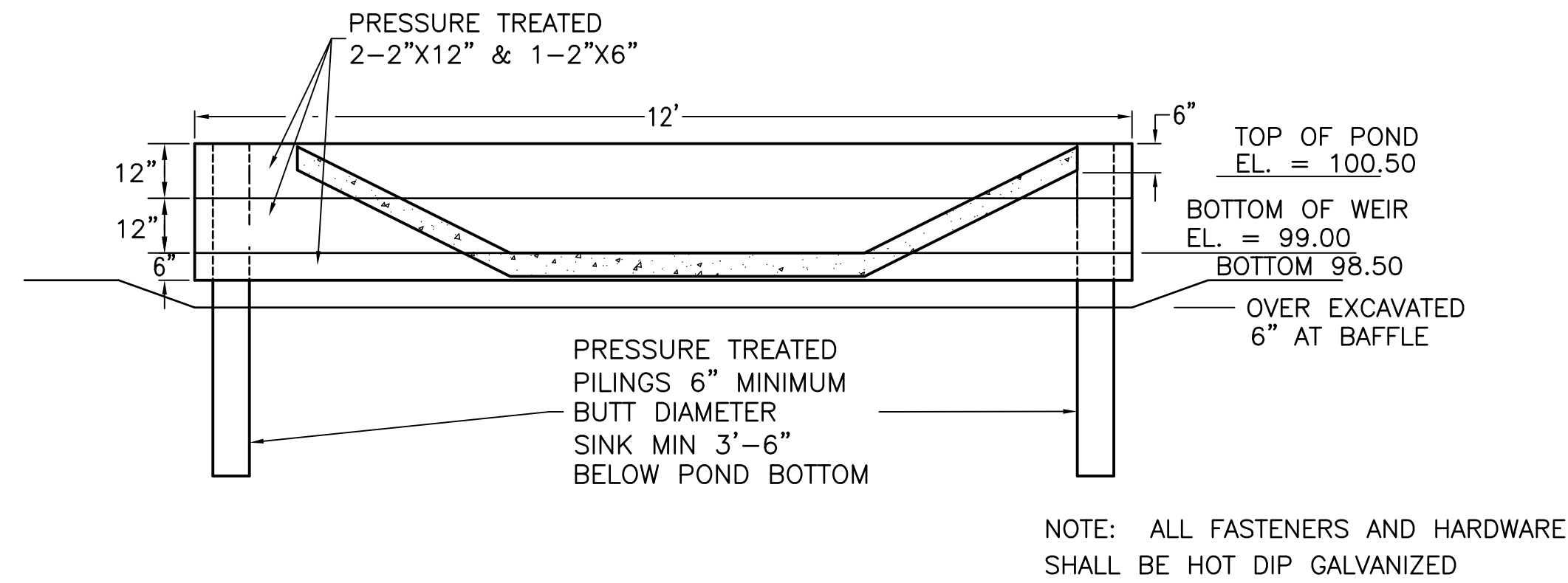
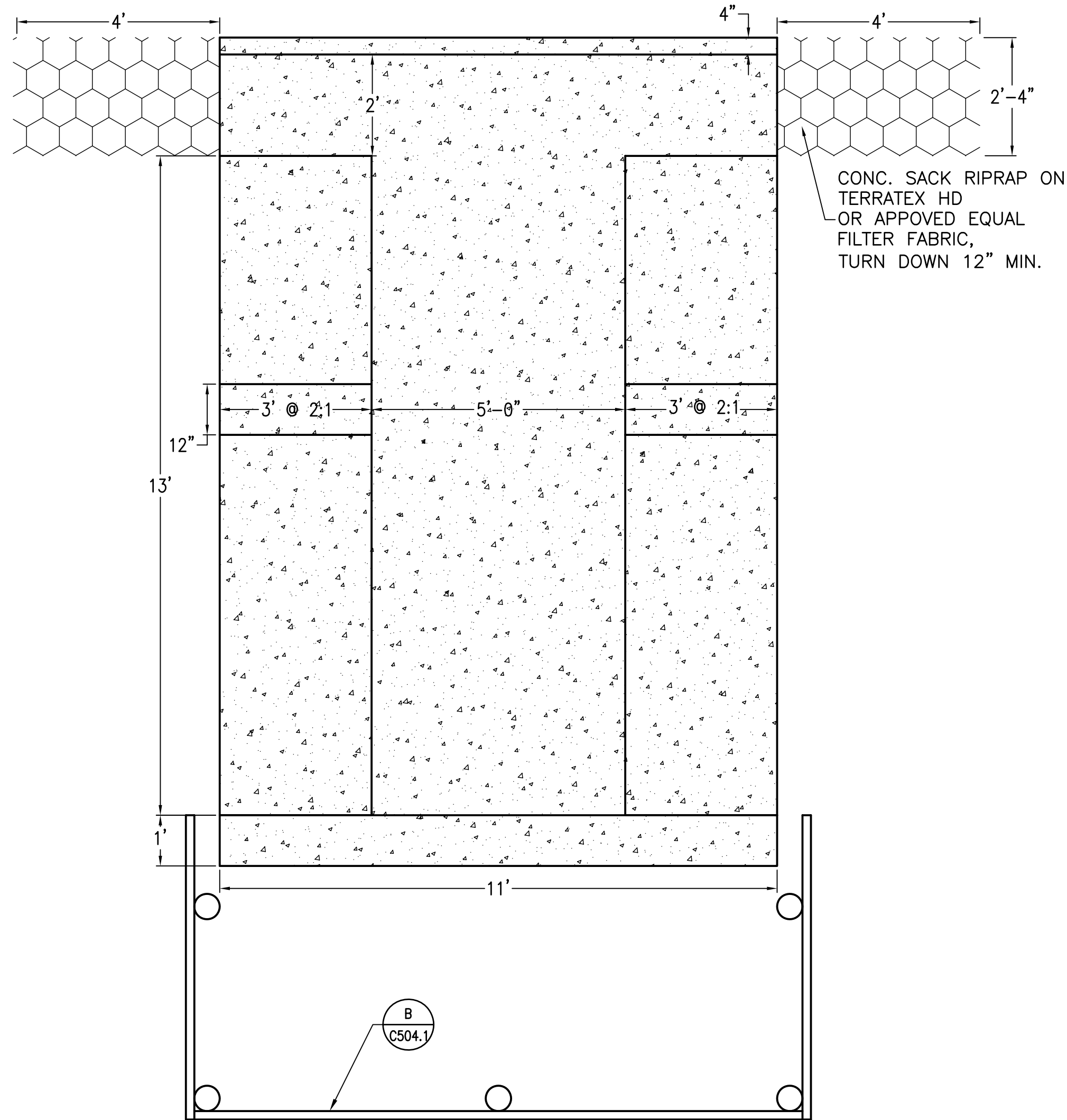
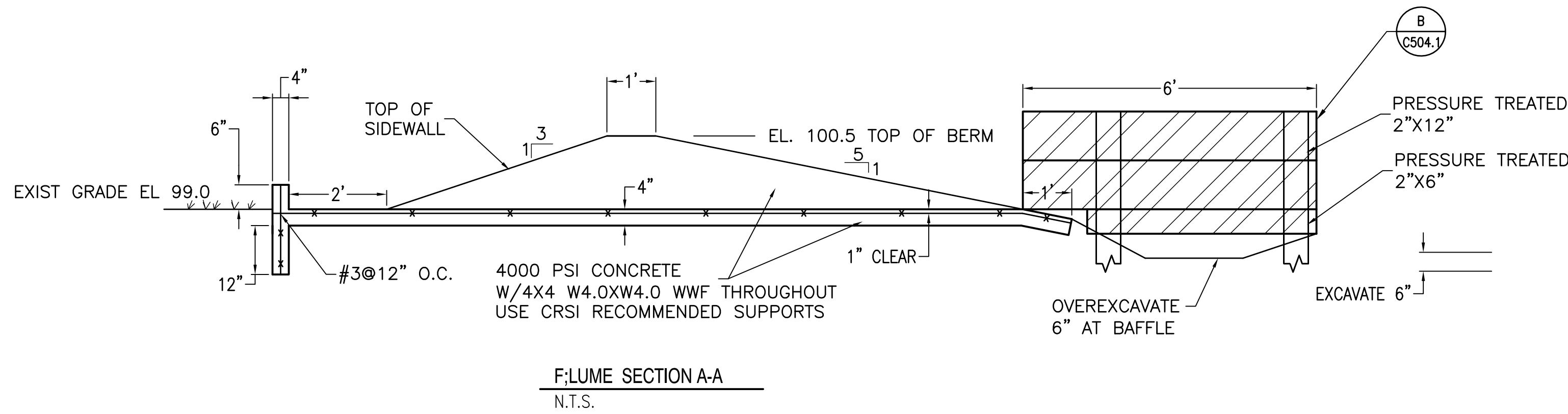
STEPS (GRADE 60 STEEL BAR
REINFORCED ABS PLASTIC)
12" ON CENTER FROM TOP
OF CONE TO BENCH

1. ALL SANITARY SEWER MANHOLES FOR THIS PROJECT SHALL BE 4' INSIDE DIAMETER.
2. MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS.
3. DIAMETER OF OPENING FOR PIPE SHALL BE 1" LARGER DIAMETER THAN BELL OF THE PIPE BEING USED.
4. JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, ROPE FORM PLASTIC GASKET OR EQUAL.
5. ALL PATCHING TO BE DONE WITH HYDRAULIC CEMENT. NO MORTAR REPAIRS PERMITTED.
6. CONCRETE TO BE 2500 P.S.I., REINFORCING STEEL TO BE A.S.T.M. A 615 GRADE 60.
7. SEAL WITH A-LOK, KORE-N-SEAL OR LOCK-JOINT PER SPECIFICATIONS.
8. CAST IN PLACE MANHOLE MAY BE ALLOWED IN PRE-APPROVED LOCATIONS.
9. ALL NEW LINE TIE-INS SHALL BE CORE-DRILLED WITH RUBBER BOOT ADDED.
10. BITUMASTIC COATING SHALL BE FACTORY APPLIED.
11. FRAME AND COVER SHALL BE VULCAN 1337-2 (ASTM SPEC. A-48, CLASS 30 CAST IRON) OR APPROVED EQUAL. REFER TO SPECIFICATIONS.
12. ALL MANHOLE TOPS SHALL BE ADJUSTED TO WITHIN 0.1' OF FINISH GRADE.

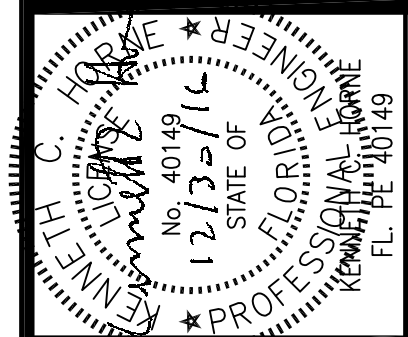


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REVISIONS		NO.	DATE
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CIVIL ENGINEERS
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FL. CERTIFICATE OF AUTHORIZATION NO. 8288

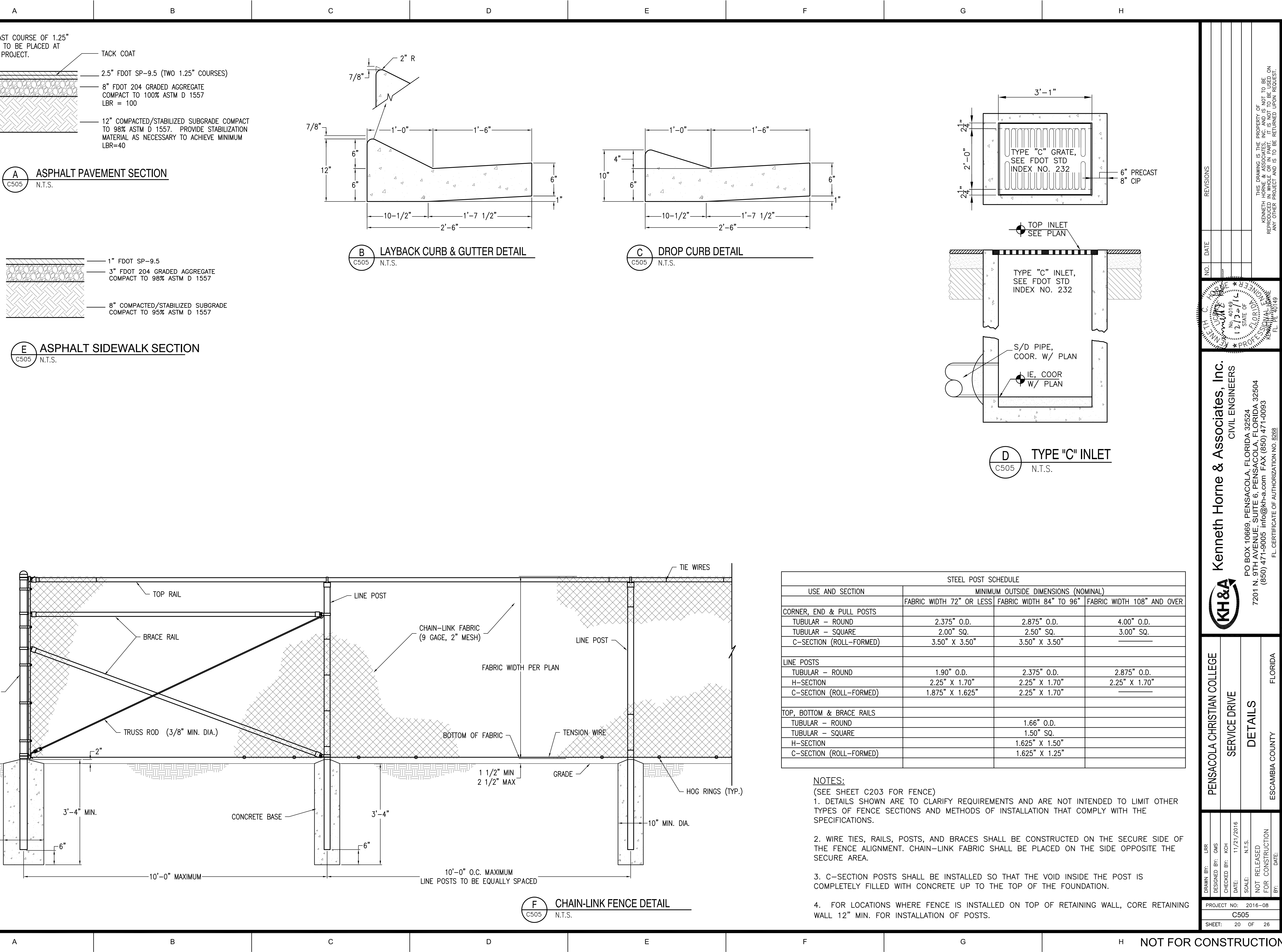
PENSACOLA CHRISTIAN COLLEGE
S-11A DORM 'L'
DETAILS
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: LRR	DESIGNED BY: GMS	CHECKED BY: KCH	DATE: 11/21/2016
SCALE: N.T.S.	NOT RELEASED FOR CONSTRUCTION	BY: DATE:	
PROJECT NO: 2016-08			
C504.1			
SHEET: 19 OF 26			

NOT FOR CONSTRUCTION

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STEEL POST SCHEDULE			
USE AND SECTION	MINIMUM OUTSIDE DIMENSIONS (NOMINAL)		
	FABRIC WIDTH 72" OR LESS	FABRIC WIDTH 84" TO 96"	FABRIC WIDTH 108" AND OVER
CORNER, END & PULL POSTS			
TUBULAR - ROUND	2.375" O.D.	2.875" O.D.	4.00" O.D.
TUBULAR - SQUARE	2.00" SQ.	2.50" SQ.	3.00" SQ.
C-SECTION (ROLL-FORMED)	3.50" X 3.50"	3.50" X 3.50"	
LINE POSTS			
TUBULAR - ROUND	1.90" O.D.	2.375" O.D.	2.875" O.D.
H-SECTION	2.25" X 1.70"	2.25" X 1.70"	2.25" X 1.70"
C-SECTION (ROLL-FORMED)	1.875" X 1.625"	2.25" X 1.70"	
TOP, BOTTOM & BRACE RAILS			
TUBULAR - ROUND		1.66" O.D.	
TUBULAR - SQUARE		1.50" SQ.	
H-SECTION		1.625" X 1.50"	
C-SECTION (ROLL-FORMED)		1.625" X 1.25"	

- NOTES:**
(SEE SHEET C203 FOR FENCE)
1. DETAILS SHOWN ARE TO CLARIFY REQUIREMENTS AND ARE NOT INTENDED TO LIMIT OTHER TYPES OF FENCE SECTIONS AND METHODS OF INSTALLATION THAT COMPLY WITH THE SPECIFICATIONS.
2. WIRE TIES, RAILS, POSTS, AND BRACES SHALL BE CONSTRUCTED ON THE SECURE SIDE OF THE FENCE ALIGNMENT. CHAIN-LINK FABRIC SHALL BE PLACED ON THE SIDE OPPOSITE THE SECURE AREA.
3. C-SECTION POSTS SHALL BE INSTALLED SO THAT THE VOID INSIDE THE POST IS COMPLETELY FILLED WITH CONCRETE UP TO THE TOP OF THE FOUNDATION.
4. FOR LOCATIONS WHERE FENCE IS INSTALLED ON TOP OF RETAINING WALL, CORE RETAINING WALL 12" MIN. FOR INSTALLATION OF POSTS.

REVISIONS

NO.	DATE	DESCRIPTION

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12/29/16
No. 40149
STATE OF FLORIDA
KENNETH HORNE & ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER
FL #PE 40149

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
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FL CERTIFICATE OF AUTHORIZATION NO. 8288

KH&A

PENSACOLA CHRISTIAN COLLEGE

SERVICE DRIVE

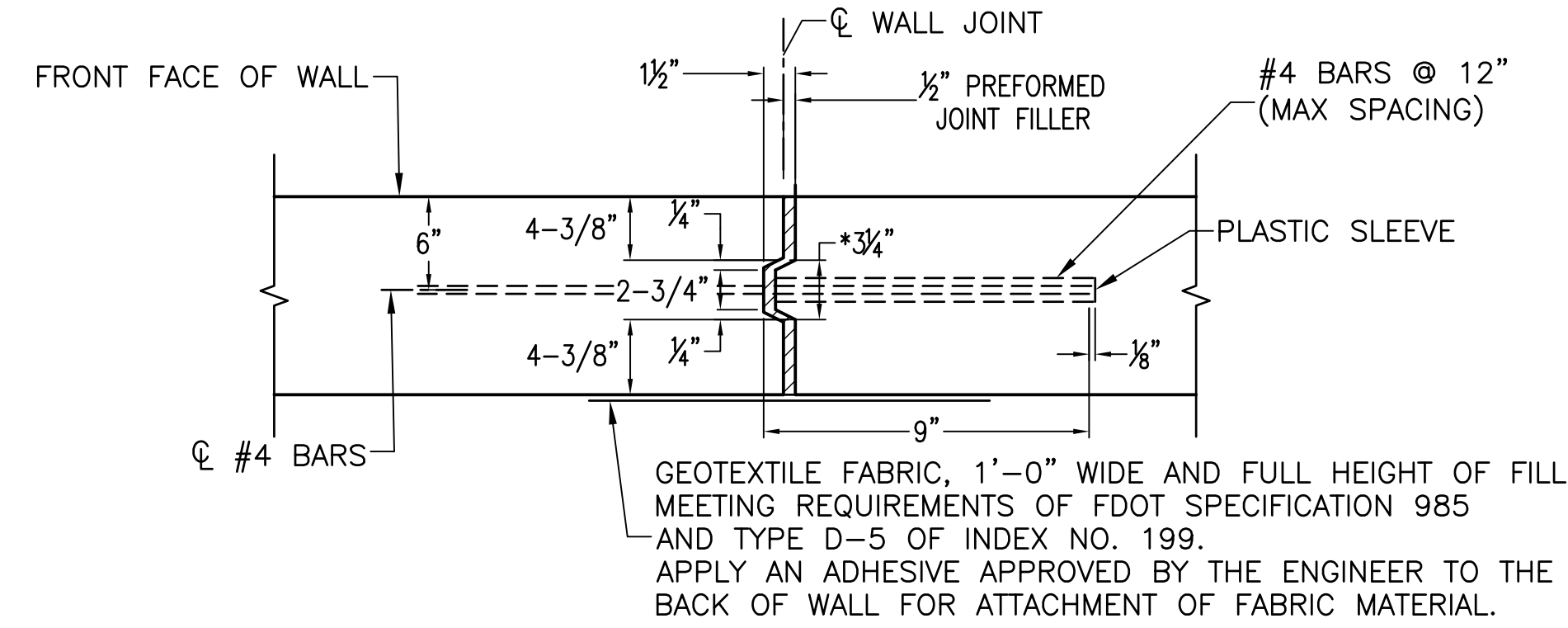
DETAILS

FLORIDA
ESCAMBIA COUNTY

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SCALE: N.T.S.	NOT RELEASED FOR CONSTRUCTION	BY: DATE:	

PROJECT NO: 2016-08
C505
SHEET: 20 OF 26

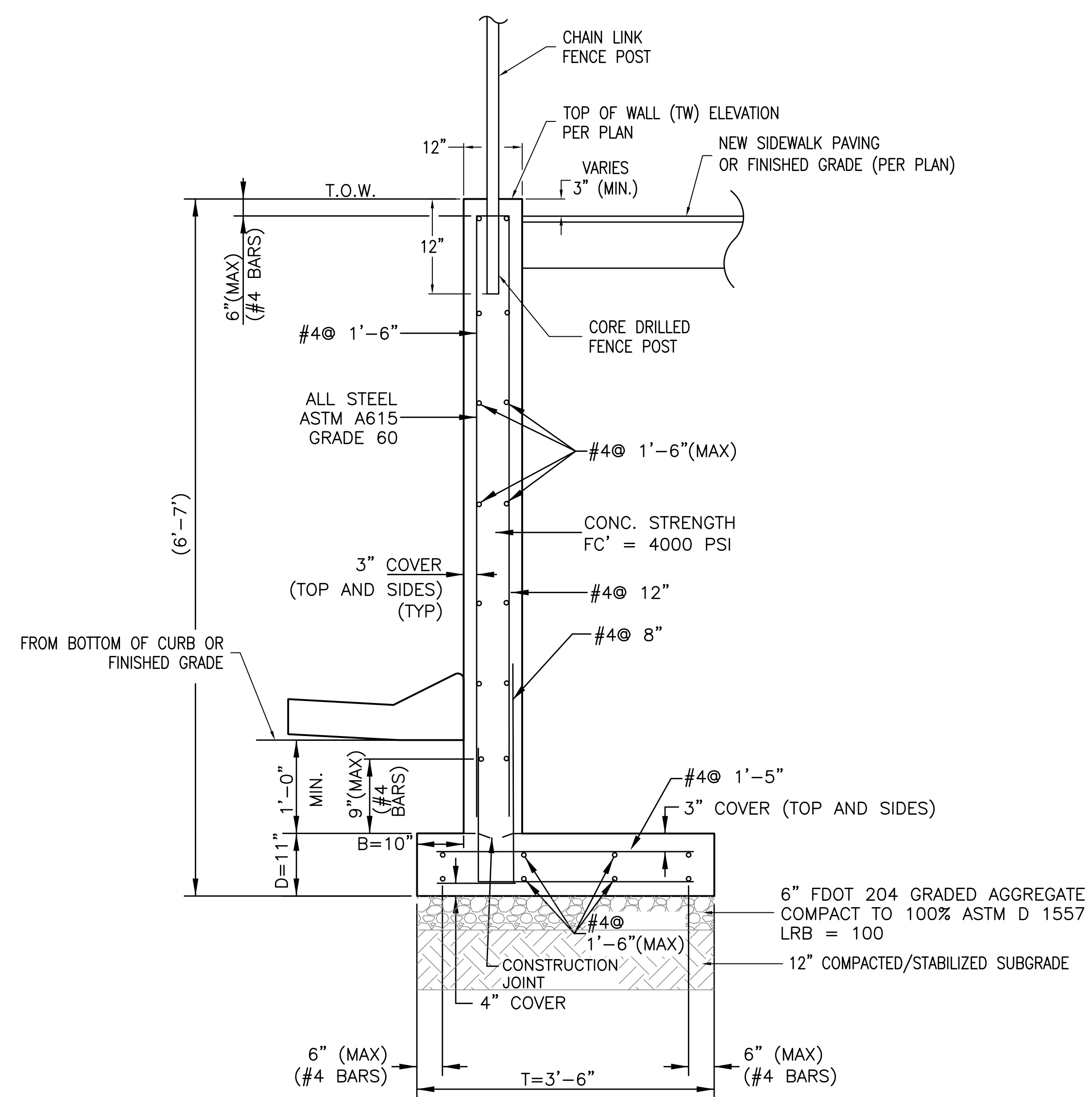
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* KEY TO STOP AT TOP OF FOOTING AND 6" FROM TOP OF WALL.
JOINT ACROSS FOOTING AND TOP OF WALL TO BE STRAIGHT LINE.

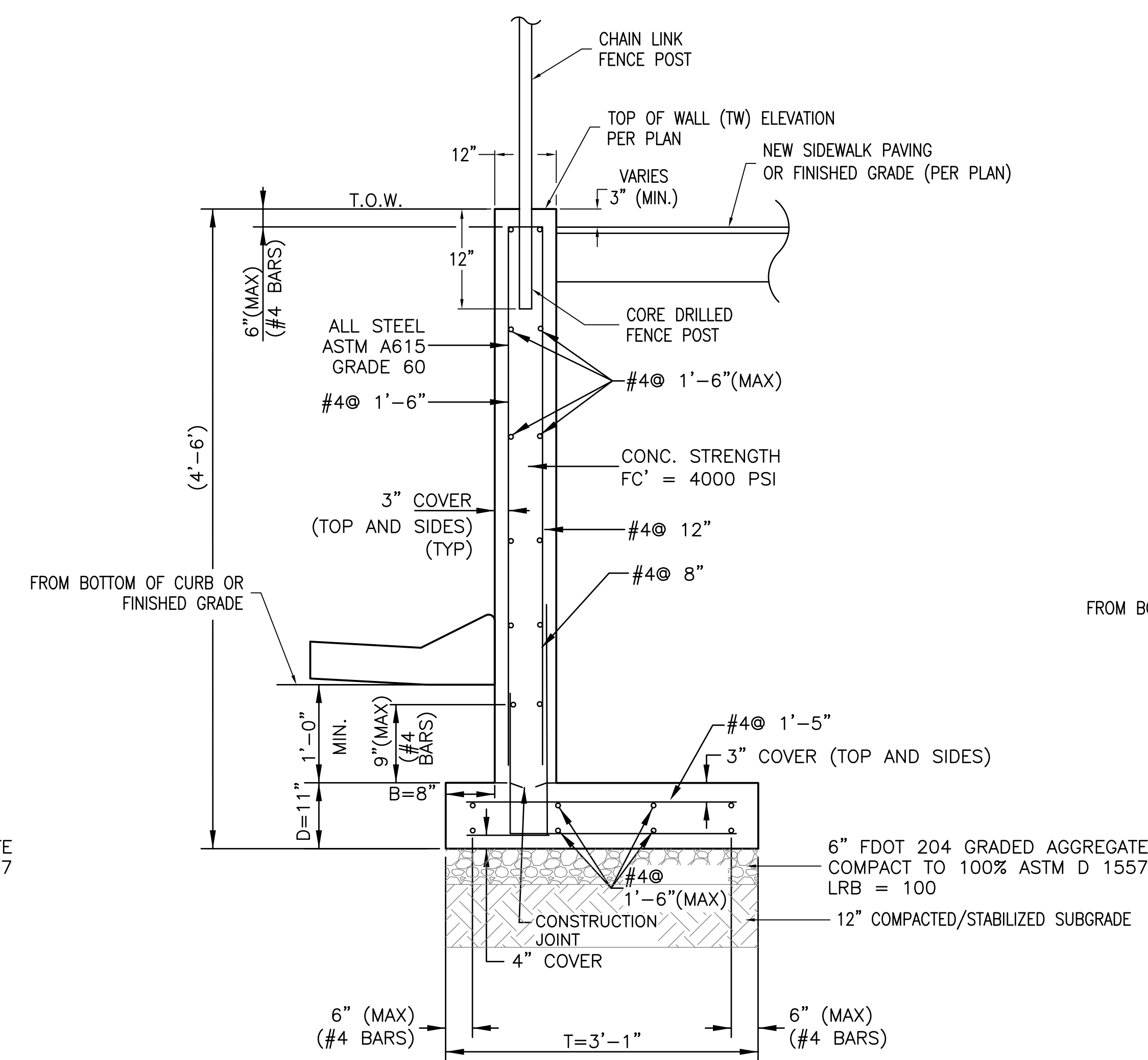
WALL JOINT (PLAN VIEW) DETAIL
N.T.S.

EXPANSION JOINT (PLAN VIEW) DETAIL
N.T.S.



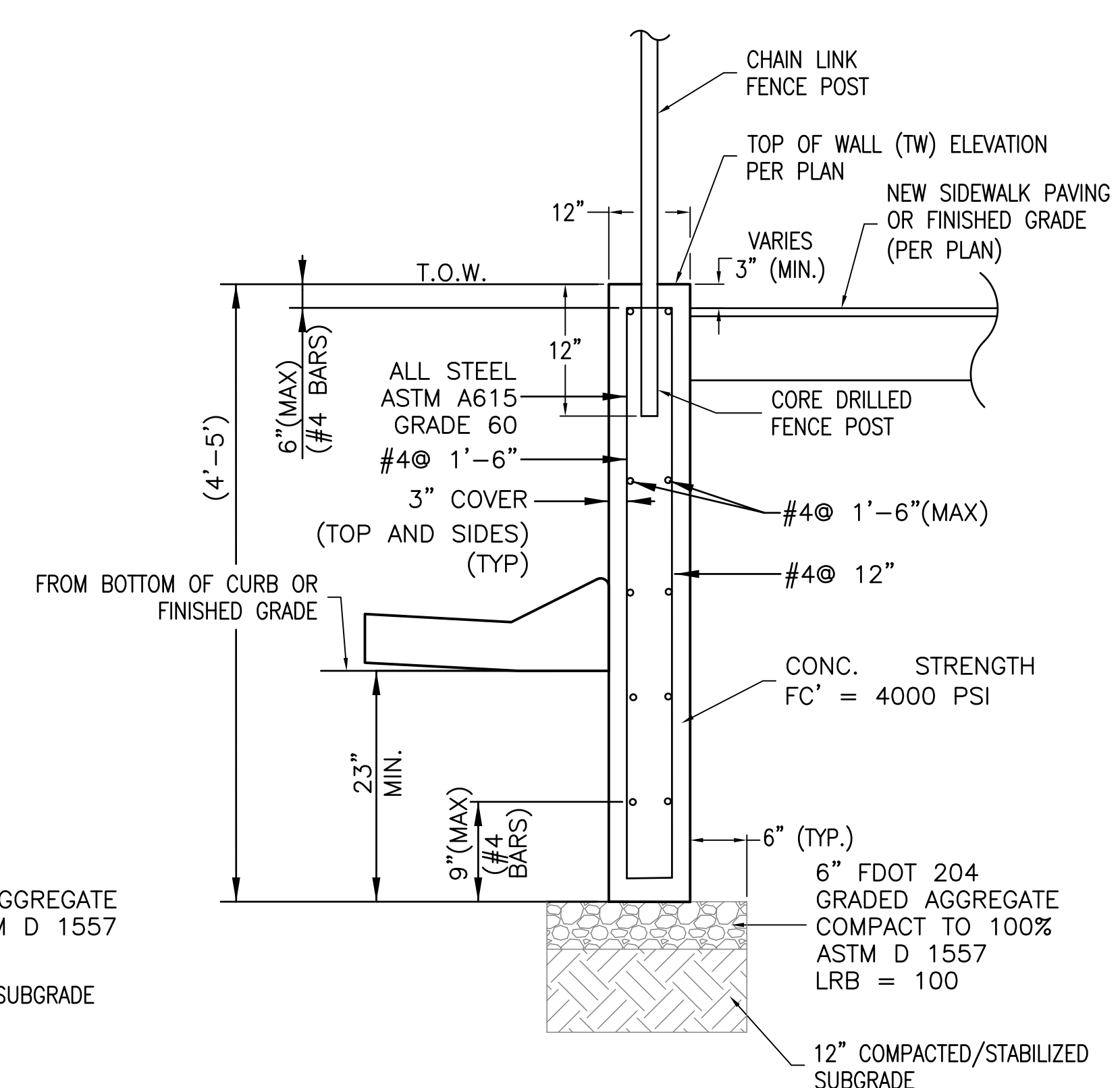
RETAINING "A" WALL SECTION STATION 0+00 - 0+60 N.T.S.

NOTE: WALL JOINT SPACING 25' MAXIMUM.
AT MINIMUM, EVERY FOURTH WALL JOINT
TO BE AN EXPANSION JOINT.



RETAINING "B" WALL SECTION
STATION 0+60 - 2+00
N.T.S.

A RETAINING WALL DETAILS
C506 N.T.S.



RETAINING "C" WALL SECTION
STATION 2+00 - END
N.T.S.

DRAWN BY: LRR		<div><div>Kenneth Horne & Associates, Inc. CIVIL ENGINEERS</div><div>PO BOX 10689, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 8268</div></div>	<div>PENSACOLA CHRISTIAN COLLEGE SERVICE DRIVE DETAILS FLORIDA</div>
DESIGNED BY: GMS			
CHECKED BY: KCH			
DATE: 11/21/2016			
SCALE: N.T.S.			
NOT RELEASED FOR CONSTRUCTION		B/C DATE:	ESCAMBIA COUNTY FLORIDA
PROJECT NO: 2016-08			
SHEET: 21 OF 26			

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STORMWATER POLLUTION PREVENTION PLAN GENERAL NOTES:

1. EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.
3. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
4. SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
6. SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
7. THE SITE SHALL ALWAYS BE GRADED AND MAINTAINED SUCH THAT STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
9. THE CONTRACTOR'S MEANS AND METHODS OF GROUNDWATER DEWATERING SHALL COMPLY WITH REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FDEP CHAPTER 62-621 "GENERAL PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY".

DUST CONTROL

1. AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

PROPOSED CONSTRUCTION

THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION OF NEW STRUCTURES AND THE PROTECTION/RELOCATION OF EXISTING STRUCTURES. THE CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:

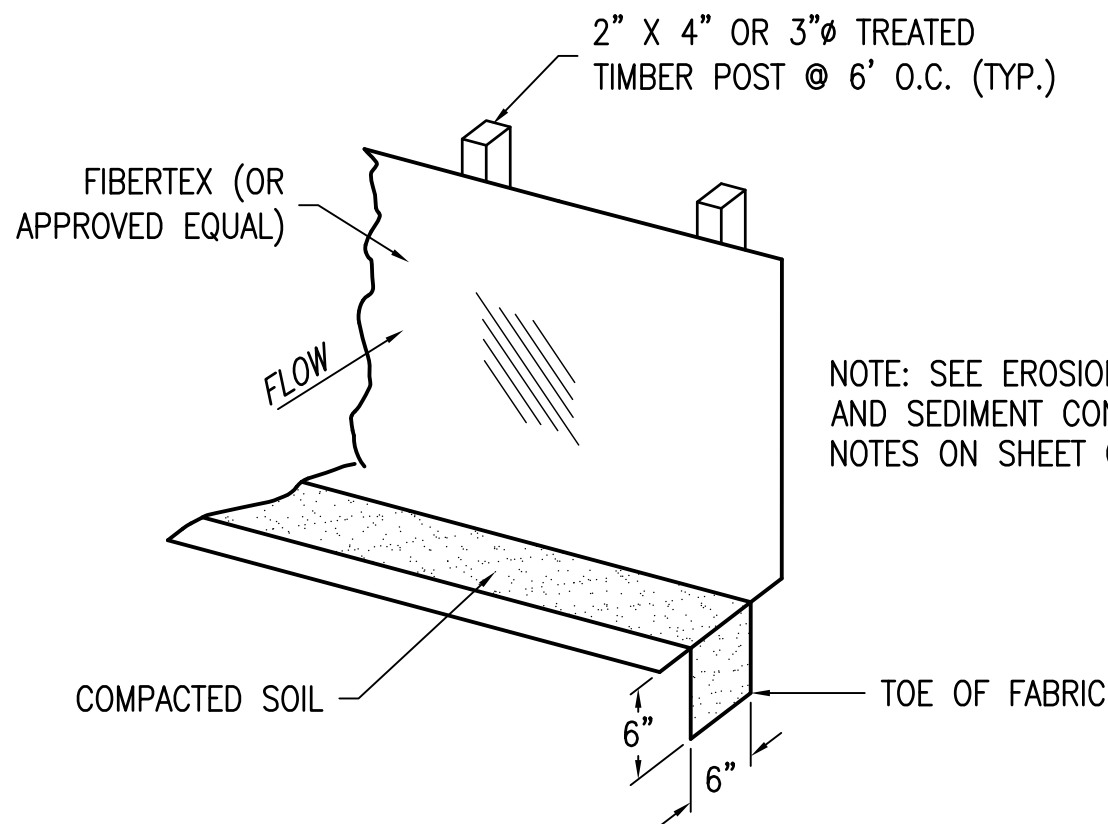
1. INSTALLATION OF SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE.
3. IMMEDIATE INSTALLATION OF REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. INITIATE CONSTRUCTION
5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE.
6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

EROSION AND SEDIMENTATION CONTROL NOTES

1. SEE SHEET C001 FOR EROSION AND SEDIMENTATION CONTROL NOTES.

NPDES NOTES:

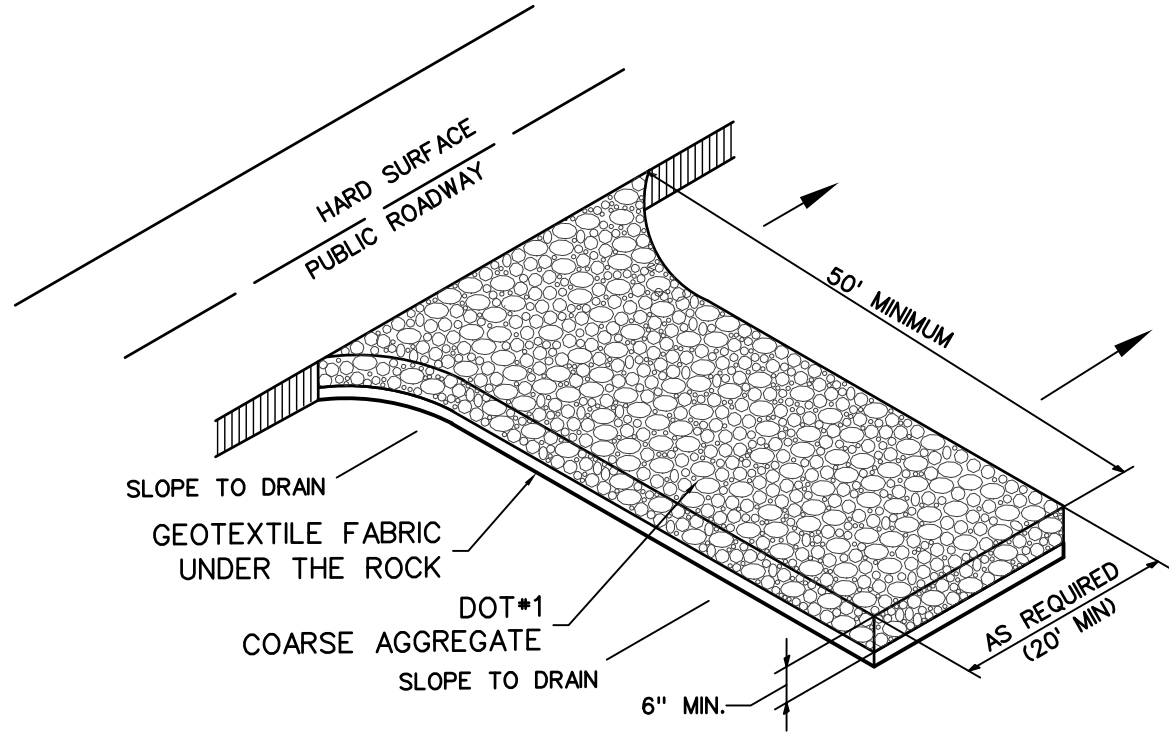
1. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTROL OF ALL EROSION AND SEDIMENTATION.
2. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE SODDED WITH COMMON BERMUDA. SODDING SHALL BE WATERED, FERTILIZED UNTIL WELL ESTABLISHED BUT NO LESS THAN FOUR WEEKS FROM DATE OF PLACEMENT.
3. THE CONTRACTOR SHALL SUBMIT THE NPDES NOI TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR USE OF THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL ACT AS THE "OPERATOR" FOR THE PERMIT AND ABIDE BY ALL REQUIREMENTS THEREOF, INCLUDING DEVELOPMENT OF A STORMWATER POLLUTION PREVENTION PLAN FOR THE PROJECT AND PERFORMANCE OF REQUIRED INSPECTIONS BY A CERTIFIED INSPECTOR.
4. THE CONTRACTOR SHALL INSTALL PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAINTAIN THROUGHOUT CONSTRUCTION THOSE SEDIMENT AND EROSION CONTROL FEATURES DEPICTED IN THE CONTRACT DOCUMENTS AND AS REQUIRED FOR COMPLIANCE WITH THE NPDES GENERIC PERMIT.



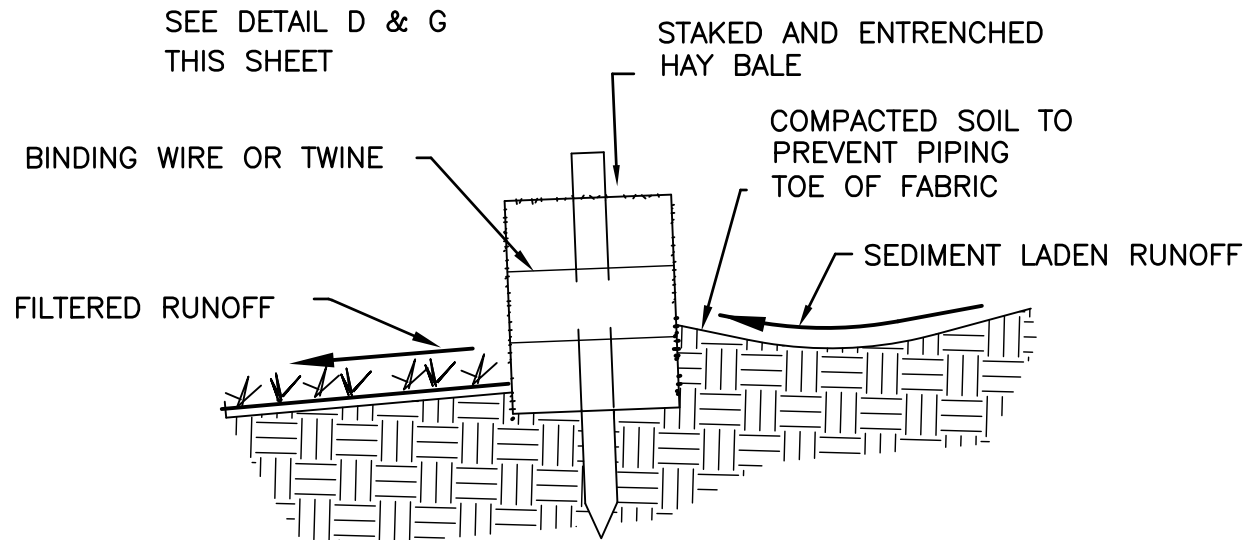
C SILT FENCE DETAIL
C601 N.T.S.

CONSTRUCTION ENTRANCE NOTES:

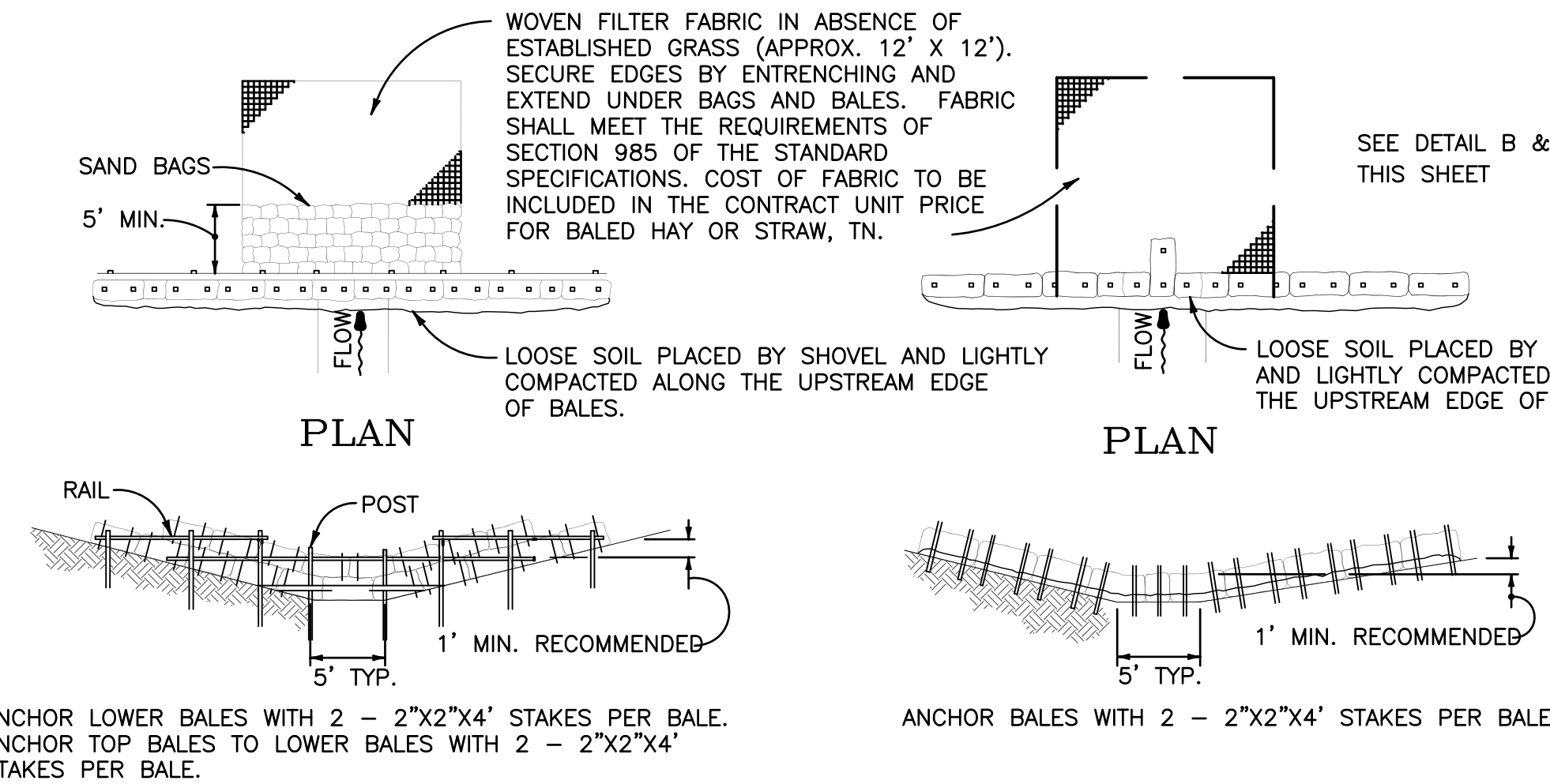
1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE EXCAVATED 6 INCHES DEEP, 50 FEET LONG AND SHALL EXTEND THE FULL WIDTH OF ANY VEHICULAR INGRESS AND EGRESS (MINIMUM 20 FEET) LOCATED ON THE SITE.
2. THE ENTRANCE SHALL BE PROPERLY MAINTAINED FOR THE DURATION OF THE PROJECT TO PREVENT THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL MAINTENANCE AND REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE ENTRANCE SHALL BE CHECKED ON A DAILY BASIS AND BEFORE & AFTER ANY RAINFALL EVENT FOR ANY DAMAGES. ANY DAMAGES FOUND SHALL BE REMEDIATED BEFORE THE DAYS END AT NO ADDITIONAL COST TO PCC.
4. THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT THE FLOW OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
5. MEASURES SHALL BE TAKEN TO PREVENT VEHICULAR TRAFFIC FROM BYPASSING THE CONSTRUCTION ENTRANCE DURING INGRESS AND EGRESS.



A TEMPORARY CONSTRUCTION ENTRANCE
C601 N.T.S.



B DETAIL OF PROPERLY INSTALLED HAY BALE
C601 N.T.S.

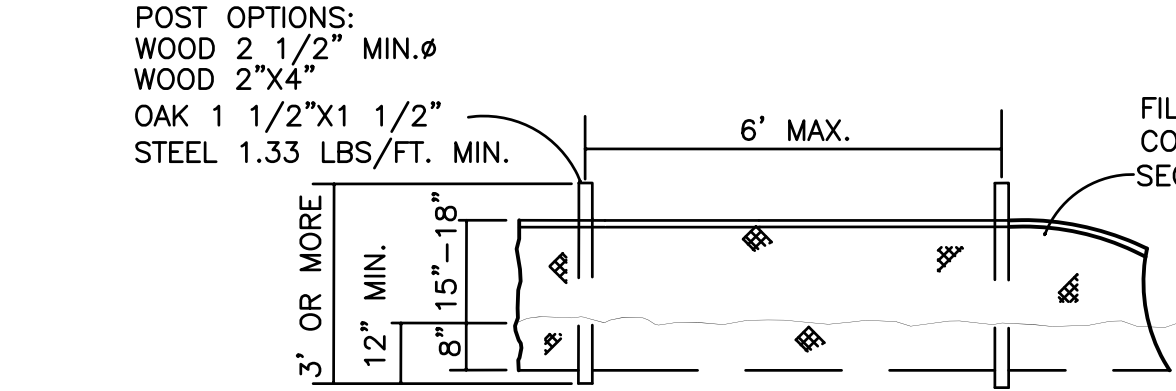


ELEVATION TYPE II

ELEVATION TYPE I

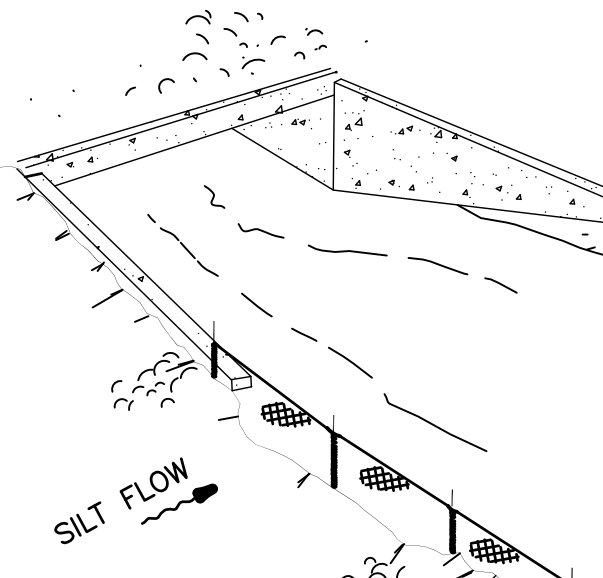
D BARRIER FOR UNPAVED DITCHES
C601 N.T.S.

POST OPTIONS:
WOOD 2 1/2" MIN. Ø
WOOD 2"x4"
OAK 1 1/2"x1 1/2"
STEEL 1.33 LBS/FT. MIN.

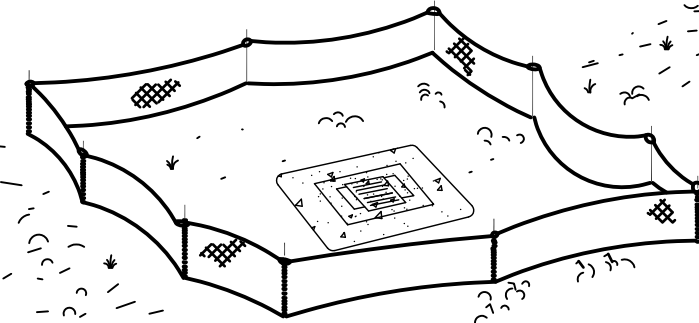


ELEVATION

E TYPE III SILT FENCE
C601 N.T.S.



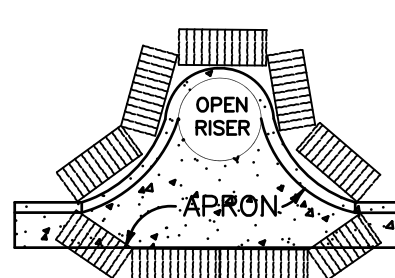
TYPE III SILT FENCE



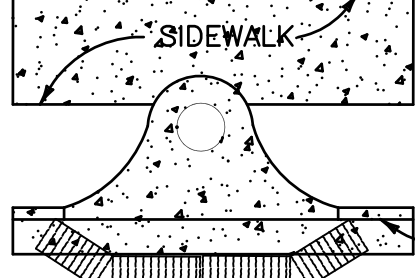
TYPE III SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS.

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

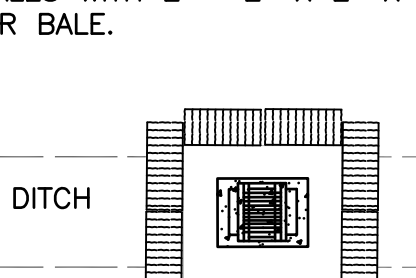
F SILT FENCE APPLICATIONS
C601 N.T.S.



PARTIAL INLET

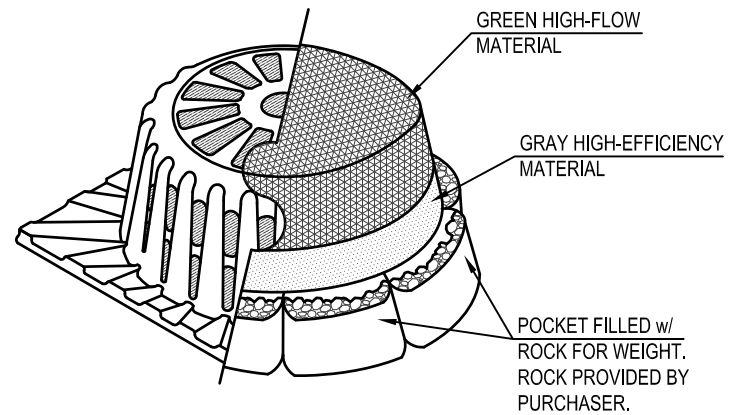


COMPLETED INLET



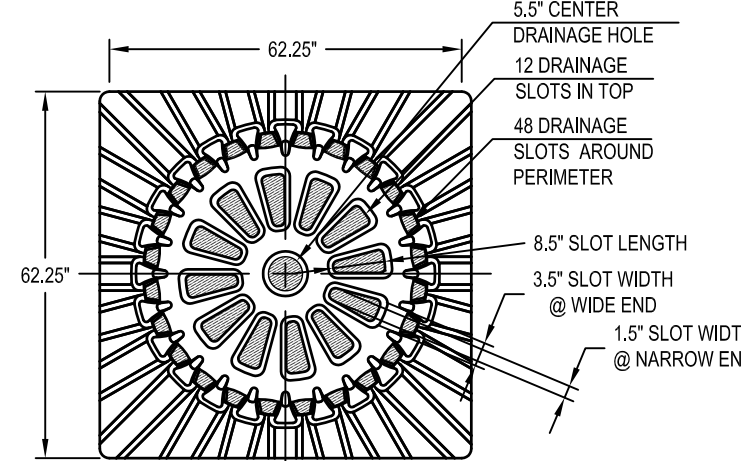
DITCH BOTTOM INLET

G PROTECTION AROUND INLETS OR SMALLER STRUCTURES
C601 N.T.S.

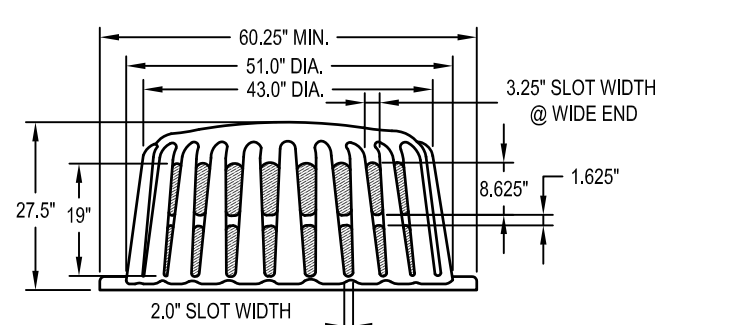


ISOMETRIC VIEW

SHOWN WITH ROADWAY PROJECTS FILTER HAT



PLAN VIEW



ELEVATION VIEW

(ROUND OR SQUARE ACCEPTABLE)

H INLET PROTECTION
C601 N.T.S.

FILTER OPTIONS

FILTER HAT IS AVAILABLE IN THREE OPTIONS:

- 1) ALL HIGH-FLOW MATERIAL
- 2) ALL HIGH-EFFICIENCY MATERIAL
- 3) HIGH-FLOW MATERIAL ON TOP HALF OF HAT, HIGH-EFFICIENCY MATERIAL ON BOTTOM HALF (THIS FILTER COVER IS RECOMMENDED FOR ALL ROADWAY PROJECTS)

IT IS THE PURCHASERS RESPONSIBILITY TO PURCHASE APPROPRIATE FILTER HAT. PURCHASER SHALL PROVIDE ROCK FOR FILTER POCKETS.

FILTER HAT INSTALLATION

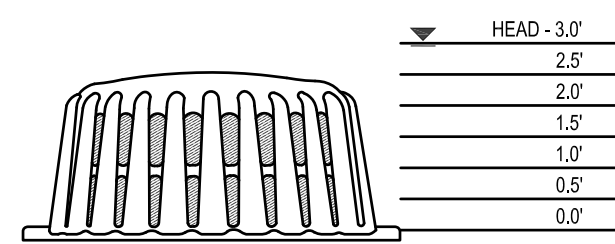
FILTER HAT SLIDES DIRECTLY OVER FILTER FRAME. TO KEEP FILTER FRAME IN PLACE OVER STORM STRUCTURE, ROCK POCKETS ARE SEWN DIRECTLY INTO FILTER HAT MATERIAL. EVERY FILTER HAT COMES IN ONE PIECE FOR EASY INSTALLATION.

MAINTENANCE

ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTROL PRACTICES SHOULD BE INSPECTED DAILY. CONTRACTOR SHALL REMOVE SEDIMENT AND DISPOSE OF IN A PROPER MANNER. INSPECT S-200A DAILY FOR CUTS, ABRASIONS, AND PROPER INSTALLATION. REPLACE OR REPOSITION AS NECESSARY.

SPECIFICATIONS

FILTER FABRIC SILT-SAVER HAT SHALL BE BASED ON DESIGN PROFESSIONAL'S SPECIFICATIONS.



HEAD (FT)	EQUATION USED	OPENING AREA (SQ FT)	FRAME AREA (SQ FT)	FILTER AREA (SQ FT)	FILTERED FLOW (GFS)
0.5	O	2.1	7	6	2
1.0	O	3.9	19	12	3
1.5	O	7.0	41	18	5
2.0	O	8.0	54	24	7
2.5	O	9.2	70	30	9
3.0	O	9.2	77		

DUE TO NARROW SLOT A TRANSITION WILL OCCUR BETWEEN WEIR AND ORIFICE CONDITIONS. ORIFICE FLOW WILL PROVIDE A MORE CONSERVATIVE ESTIMATE OF FLOW. THEREFORE THE LESSER OF THE ORIFICE AND WEIR FLOWS WILL BE USED FOR EACH STAGE CALCULATION.

FILTER MATERIAL ALLOWS 129 gpm/SF OR 0.29cfs/SF

ORIFICE EQUATION (Q) = Cw0.6A(2gh)^0.5

P = FEET PERIMETER

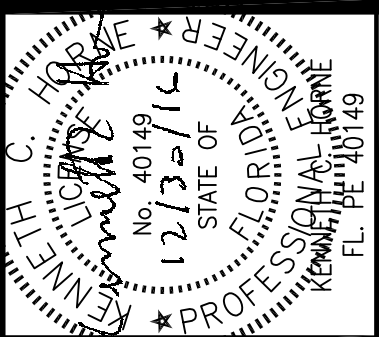
h = HEAD IN FEET

Q = CAPACITY IN G

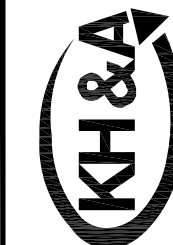
A = FREE OPEN AREA OF FRAME

g = 32.2 FEET-PER-SECOND/SECOND

REVISIONS	NO.	DATE	DESCRIPTION



Kenneth Home & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093

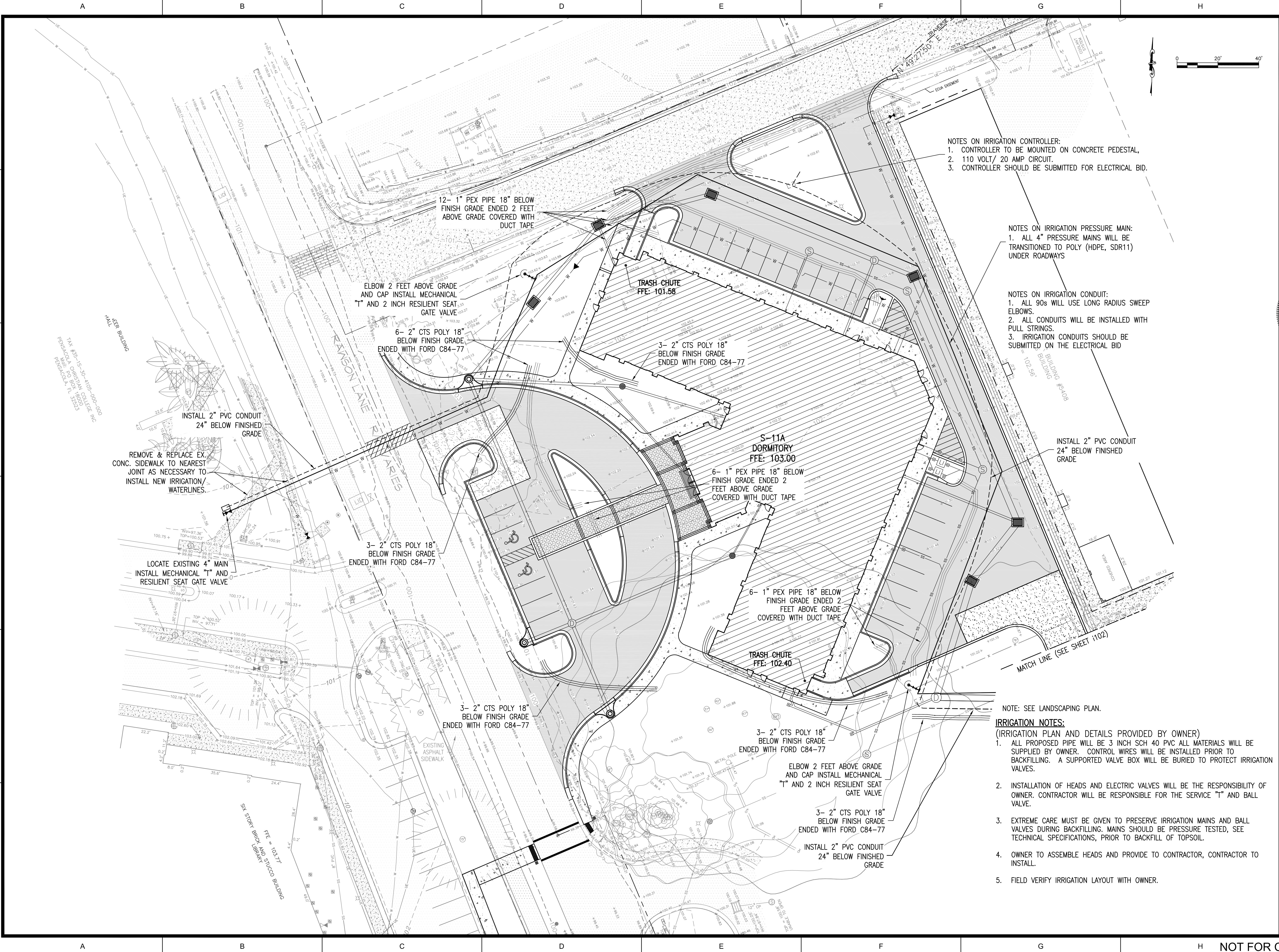


PENSACOLA CHRISTIAN COLLEGE	S-11A DORM 'L'
STORMWATER POLLUTION PREVENTION PLAN	FLORIDA
ESCAMBIA COUNTY	

DRAWN BY: LRR	DESIGNED BY: GMS	CHECKED BY: KCH	DATE: 11/21/2016
SCALE: N.T.S.	NOT RELEASED FOR CONSTRUCTION	BY: DATE:	

PROJECT NO: 2016-08
C601
SHEET: 22 OF 26

S:\Pec Projects\2016-08 S-11A Dorm L\DWGS\CIVIL\16-08_110X.dwg, Dec 29, 2016 - 1:49:49PM, Lee



NOTES ON IRRIGATION CONTROLLER:
1. CONTROLLER TO BE MOUNTED ON CONCRETE PEDESTAL,
2. 110 VOLT/ 20 AMP CIRCUIT.
3. CONTROLLER SHOULD BE SUBMITTED FOR ELECTRICAL BID.

NOTES ON IRRIGATION PRESSURE MAIN:
1. ALL 4" PRESSURE MAINS WILL BE
TRANSITIONED TO POLY (HDPE, SDR11)
UNDER ROADWAYS

NOTES ON IRRIGATION CONDUIT:
1. ALL 90s WILL USE LONG RADIUS SWEEP
ELBOWS.
2. ALL CONDUITS WILL BE INSTALLED WITH
PULL STRINGS.
3. IRRIGATION CONDUITS SHOULD BE
SUBMITTED ON THE ELECTRICAL BID

INSTALL 2" PVC CONDUIT
24" BELOW FINISHED
GRADE

MATCH LINE (SEE SHEET 1102)

NOTE: SEE LANDSCAPING PLAN.

- IRRIGATION NOTES:**
(IRRIGATION PLAN AND DETAILS PROVIDED BY OWNER)
1. ALL PROPOSED PIPE WILL BE 3 INCH SCH 40 PVC ALL MATERIALS WILL BE SUPPLIED BY OWNER. CONTROL WIRES WILL BE INSTALLED PRIOR TO BACKFILLING. A SUPPORTED VALVE BOX WILL BE BURIED TO PROTECT IRRIGATION VALVES.
 2. INSTALLATION OF HEADS AND ELECTRIC VALVES WILL BE THE RESPONSIBILITY OF OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR THE SERVICE "T" AND BALL VALVE.
 3. EXTREME CARE MUST BE GIVEN TO PRESERVE IRRIGATION MAINS AND BALL VALVES DURING BACKFILLING. MAINS SHOULD BE PRESSURE TESTED, SEE TECHNICAL SPECIFICATIONS, PRIOR TO BACKFILL OF TOPSOIL.
 4. OWNER TO ASSEMBLE HEADS AND PROVIDE TO CONTRACTOR, CONTRACTOR TO INSTALL.
 5. FIELD VERIFY IRRIGATION LAYOUT WITH OWNER.

REVISIONS	
NO.	DATE

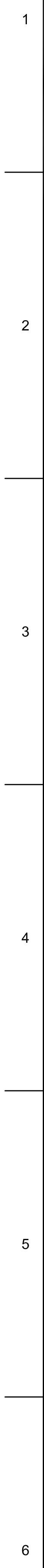
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Kenneth Home & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10669, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8268

PENSACOLA CHRISTIAN COLLEGE
S-11A DORM 'L'
IRRIGATION PLAN
FLORIDA
ESCAMBIA COUNTY

DRAWN BY:	LRR
DESIGNED BY:	GMS
CHECKED BY:	KCH
DATE:	11/21/2016
SCALE:	1" = 20'
NOT RELEASED FOR CONSTRUCTION	BY: DATE:
PROJECT NO: 2016-08	
i101	
SHEET: 23 OF 26	

NOT FOR CONSTRUCTION



HEADS LOCATED 24" FROM MAIN

FINISHED GRADE

USE NO PIPE DOPE OR THREAD SEALANT AT THIS CONNECTION, THREAD TAPE ONLY.

RAIN BIRD 8005

24" MIN.

3" MIN.

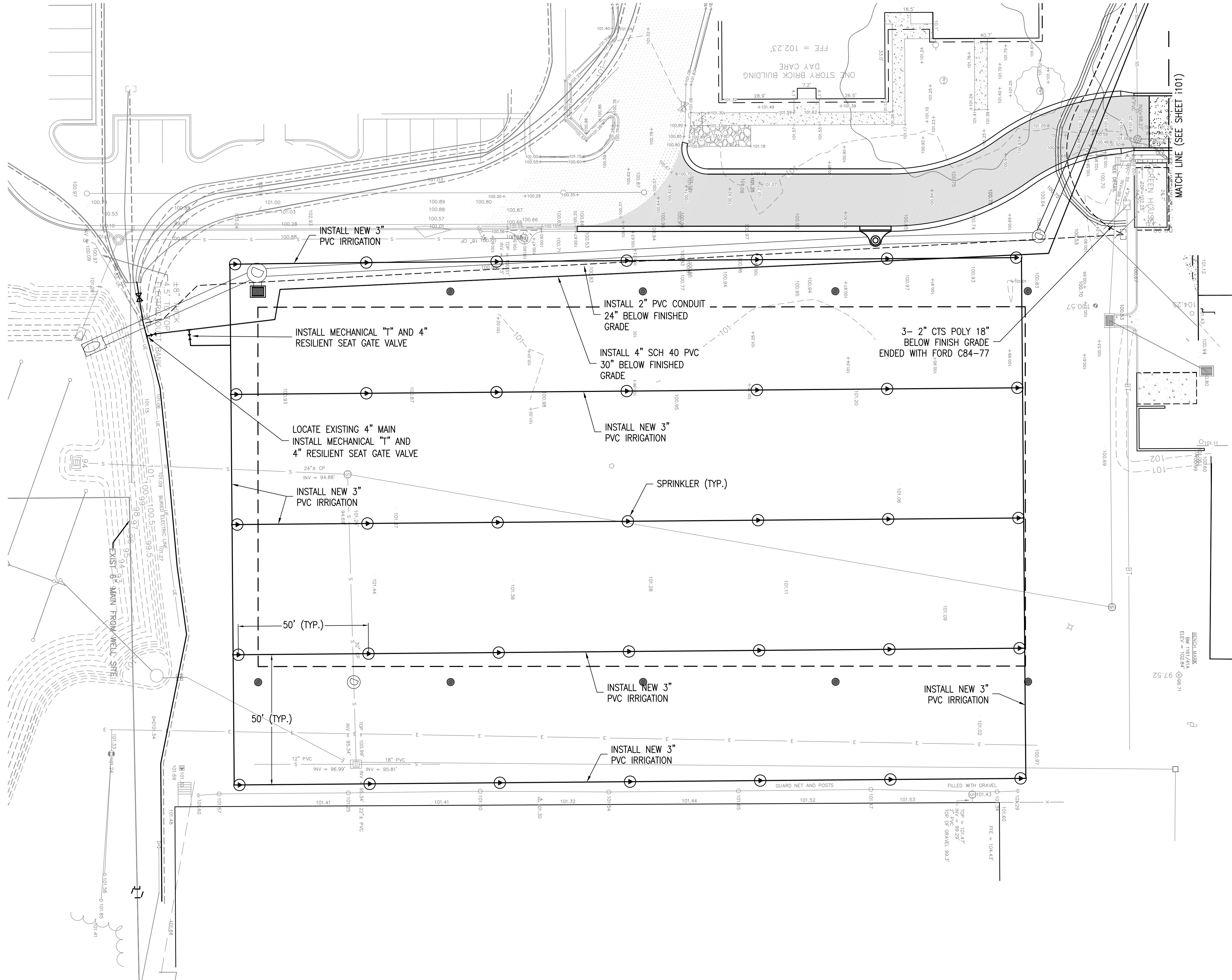
CONTROL WIRES BURIED WITH MAIN

3" PVC LATERAL PIPE

LASCO PRE-ASSEMBLED SWING JOINT RISER ASSEMBLY MODEL # G132-412

SPRINKLER HEAD AND RISER DETAIL

N.T.S.



PROJECT NO:	2016-08
SHEET:	24 OF 26
DRAWN BY:	LRR
DESIGNED BY:	GMS
CHECKED BY:	KCH
DATE:	11/21/2016
SCALE:	1" = 20'
NOT RELEASED FOR CONSTRUCTION	
BY:	DATE:
PENSACOLA CHRISTIAN COLLEGE S-11A DORM 'L' IRRIGATION PLAN ESCAMBIA COUNTY FLORIDA	



Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS

PO BOX 10689, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093

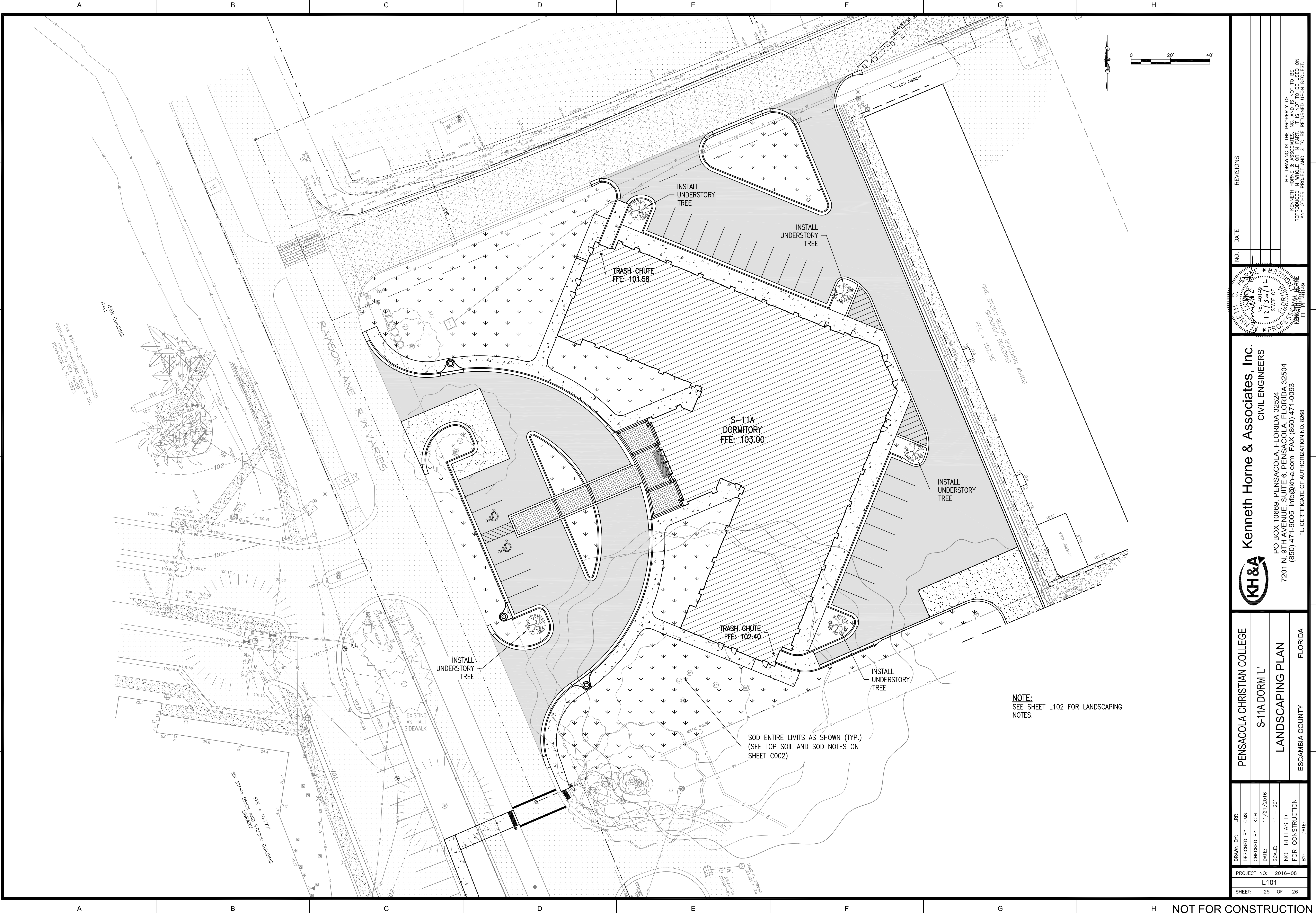


NO. 40149
2/3-1/14
STATE OF FLORIDA
PROFESSIONAL ENGINEER
KENNETH H. C. HORNE

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FL. CERTIFICATE OF AUTHORIZATION NO. 8263
KENNETH HORNE
FL. PE 40149

S:\Pcc Projects\2016-08 S-11A Dorm L\DWGS\CIVIL\16-08_L101X.dwg, Dec 29, 2016 - 1:51:35PM, Lee



DRAWN BY: LRR		PROJECT NO: 2016-08	
DESIGNED BY: GMS		L101	
CHECKED BY: KCH		SHEET: 25 OF 26	
DATE: 11/21/2016			
SCALE: 1" = 20'			
NOT RELEASED FOR CONSTRUCTION			
BY: DATE:			

PENSACOLA CHRISTIAN COLLEGE		Kenneth Horne & Associates, Inc.	
S-11A DORM 'L'		CIVIL ENGINEERS	
LANDSCAPING PLAN		PO BOX 10669, PENSACOLA, FLORIDA 32524	
FLORIDA		7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504	
ESCAMBIA COUNTY		(850) 471-9005 info@kh-a.com FAX (850) 471-0093	
		FL. CERTIFICATE OF AUTHORIZATION NO. 8268	

REVISIONS	
NO.	DATE

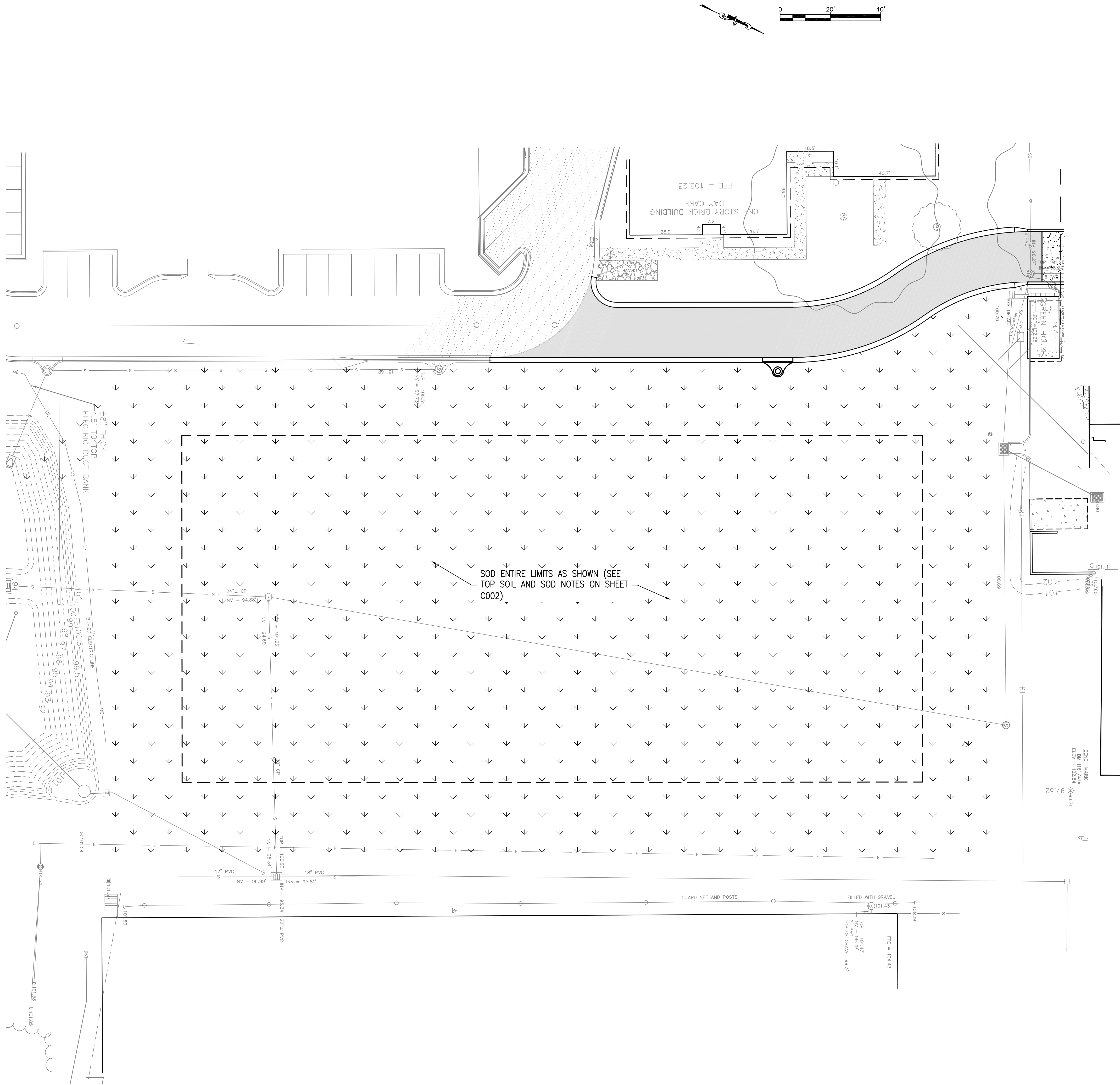
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12/23/14
No. 40149
STATE OF FLORIDA
PROFESSIONAL ENGINEER
KENNETH HORNE
FL. P.E. #0149

TREES REMOVED	TREE INVENTORY AREA	REPLACEMENT OR TREE FUND
23 (750 TOTAL INCHES)	2 ACRES (25 X 2 = 50 INCHES)	17 - 3 INCH TREES (17 X 3 = 51)

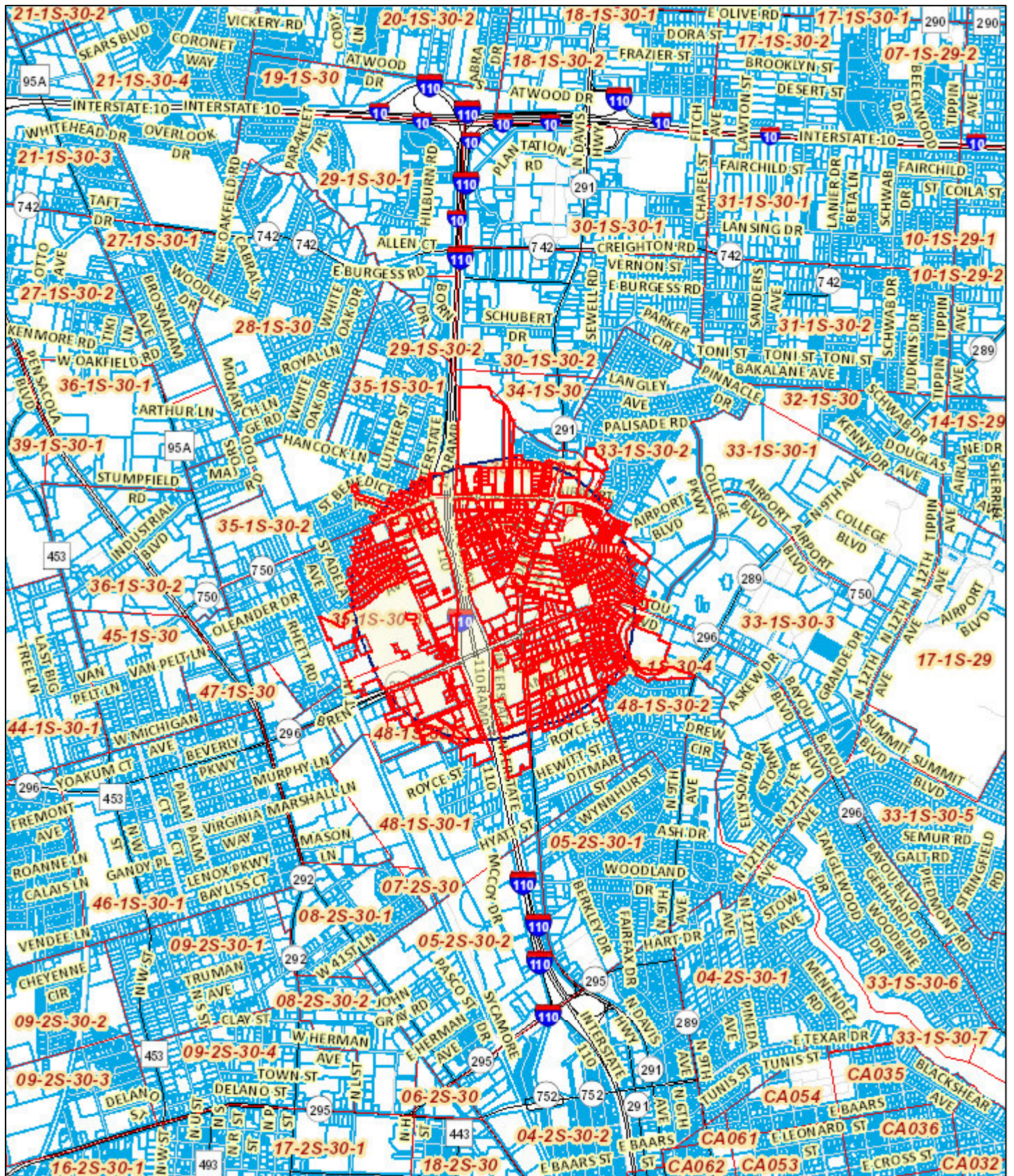
NOTES:

1. ALL PROPOSED MITIGATION TREES PLANTED SHALL HAVE A MINIMUM HEIGHT OF NINE (9) FEET AT TIME OF PLANTING, AND OF GRADE A USDA PLANT MATERIAL, NATIVE IN SPECIES, AND A CANOPY TREE (>30' AT MATURE HEIGHT). AND SHALL HAVE A TRUNK THAT IS EXPECTED TO BE MAINTAINED IN A CLEAN CONDITION, CLEAR OF LATERAL WOODY GROWTH OF FIVE (5) FEET OR GREATER.
2. A NATIVE CANOPY SPECIES IS REQUIRED FOR REPLACEMENT TREES.
3. SHRUBS AND HEDGES. A SHRUB IS A SELF SUPPORTING, WOODY EVERGREEN OR FLOWING SPECIES GENERALLY GROWING OR MAINTAINED AT A HEIGHT OF NOT LESS THAN THREE (3) FEET. SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE PLANTED A MAXIMUM OF 36 INCHES ON CENTER.
4. ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", PART I, CURRENT EDITION, AND PART II, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA.
5. SEE DEMOLITION PLAN FOR TREES TO BE REMOVED.
6. LANDSCAPING REQUIREMENTS OF ESCAMBIA COUNTY SHALL BE SATISFIED OR EXCEEDED.
7. THE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITY. CONTRACTOR TO INCLUDE COST OF SAME IN HIS BID. SOD SHALL BE BERMUDA TIFWAY 419. SEE TECHNICAL SPECIFICATIONS AND GENERAL NOTES ON SHEET C1. COORDINATE SOD INSTALLATION WITH OWNER. FOR THIS PROJECT SODDING IS NOT CONSIDERED AS PART OF THE LANDSCAPING.
8. SEE IRRIGATION PLANS.
9. COORDINATE INSTALLATION AND LOCATION OF IRRIGATION LINES WITH INSTALLATION AND LOCATION OF SANITARY SEWER LINES, POTABLE WATER LINES, STORM LINES, AND OTHER UTILITY LINES.



PROJECT NO.	2016-08	DRAWN BY:	LRR	PENSACOLA CHRISTIAN COLLEGE	 Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kth-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8268
SHEET:	26 OF 26	DESIGNED BY:	GMS	S-11A DORM 'L'	
		CHECKED BY:	KOH	LANDSCAPING PLAN	
		DATE:	11/21/2016	FLORIDA	
		SCALE:	1" = 20'	ESCAMBIA COUNTY	
		NOT RELEASED FOR CONSTRUCTION			
		BY:	DATE:		

Mailing Map



February 2, 2017

polygonLayer

— All Roads

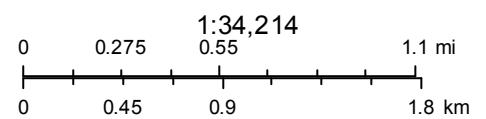
Override 1

Property Line

Override 2

Map Grid

— Major Roads



OWNER	MAILADDRESS	MAILCITY	MAIL	MAILZIP
DEBELL PATRICK	275 ST AUGUSTINE AVE	PENSACOLA	FL	32503
MEISTER CHARLES L & JEANNETTE M	4766 HICKORY SHORES BLVD	GULF BREEZE	FL	32563
WOODARD RICHARD W	5905 RAWSON LN	PENSACOLA	FL	32503
FLORIDA STATE DEPARTMENT OF TRANSP	PO BOX 607	CHIPLEY	FL	32428
WU PING LAM &	9832 HEATHER DR	CANTONMENT	FL	32533
HARVEY DARYL	PO BOX 53628	KNOXVILLE	TN	37950
BECK JOHN D	5824 RINGGOLD DR	PENSACOLA	FL	32503
BALLARD WILLIAM E & JOSEPHINE R	5825 RINGGOLD DR	PENSACOLA	FL	32503
POWELL ROBIN CECELIA	467 HANCOCK LN	PENSACOLA	FL	32503
ROBINSON HENRY & BEVERLY A	5822 RINGGOLD DR	PENSACOLA	FL	32503
WILLIAMS ESTER JEAN	18 PLEASANT AVE	PENSACOLA	FL	32505
DAVIS ELIZABETH B	461 E ENSLEY ST	PENSACOLA	FL	32514-2904
BETTS SOLOMON S &	6100 LUTHER ST	PENSACOLA	FL	32503
WILLIAMS ROCKY N & FAITH A	11866 RUBILITE WAY	RANCHO CORDO	CA	95742
STEEN ANNIE RUTH	469 HANCOCK LN	PENSACOLA	FL	32503
KAUSHAGEN TINA M	5812 SAINT BENEDICT AVE	PENSACOLA	FL	32503
ESCAMBIA COUNTY BOARD OF COUNTY C	221 PALAFOX PL STE 420	PENSACOLA	FL	32502
JOHNSON BRIAN K	6179 RINGGOLD CIR	PENSACOLA	FL	32503
WILLIAMSON SHELBY	5810 ST BENEDICT AVE	PENSACOLA	FL	32503
FOUNTAIN ALICE W	6175 RINGGOLD DR	PENSACOLA	FL	32503
REMBERT O J & CHERYL	6171 RINGGOLD CIR	PENSACOLA	FL	32503
MULVANEY BRENDAN S	6218A OLD TELEGRAPH RD	ALEXANDRIA	VA	22310
TATE KATHERINE L	5806 ST BENEDICT AVE	PENSACOLA	FL	32503
ELLINGSON EDWARD C & CAROLYN M	5813 ST BENEDICT AVE	PENSACOLA	FL	32503
BELL LEROY JR & ALYCE P	416 MAYBERRY ST	CANTONMENT	FL	32533
HSBC BANK USA NATIONAL ASSOCIATION	ONE HOME CAMPUS	DES MOINES	IA	50328
KEITH CHESTER & CONSTANCE	5815 RINGOLD DR	PENSACOLA	FL	32503
SMITH AUSTIN D	5811 ST BENEDICT AVE	PENSACOLA	FL	32503
BAKER ANTHONY & BEVERLY K	5802 SAINT BENEDICT AVE	PENSACOLA	FL	32503
HILL EVELYN RANKIN	5809 SAINT BENEDICT AVE	PENSACOLA	FL	32503
DOMINGUE VOGTS TASHA M	5807 ST BENEDICT AVE	PENSACOLA	FL	32503
STUCKEY HEATH R	5816 RAWSON LN	PENSACOLA	FL	32503
GUNDERSEN GEORGE M & GINGER L	101 HEBRIDES DR	MADISON	AL	35757
CARAVEKA LLC	8963 PENSACOLA BLVD	PENSACOLA	FL	32534
HEUBACH ROBERT D &	18 EDWARDS AVE	FLORENCE	KY	41042
HOLMES KATHERYN L	5805 SAINT BENEDICT AVE	PENSACOLA	FL	32503
BAKER BENNI TRUSTEE FOR RAWSON LA	PO BOX 6259	PENSACOLA	FL	32503
WILLIAMSON RON & ASSOCIATES INC	2177 E OLIVE RD	PENSACOLA	FL	32514
COREY DONALD E SR &	5808 RAWSON LN	PENSACOLA	FL	32503
PERRY SHEILA DIANN	5804 RAWSON LN	PENSACOLA	FL	32503
CERRATO DANIELLE TRUSTEE FOR	5802 RAWSON LN	PENSACOLA	FL	32503
POSTELL MARIE L EST OF	2541 O NEAL CIR	HOOVER	AL	35226
OAKFIELD UNION MISSIONARY BAPTIST IN	459 HANCOCK LN	PENSACOLA	FL	32503
MCMULLEN SAMUEL F &	9320 BELL RIDGE DR	PENSACOLA	FL	32526
THOMPSON ELIA O	5828 RINGGOLD DR	PENSACOLA	FL	32503
STANTON GRACIE M JACKSON	461 HANCOCK LN	PENSACOLA	FL	32503

STEEN JANICE M	463 HANCOCK LN	PENSACOLA	FL	32503
BALDWIN ESSIE O	6191 RINGOLD CIR	PENSACOLA	FL	32503
JACKSON GLORIA M	6190 RINGGOLD CIR	PENSACOLA	FL	32503
RACETRAC PETROLEUM INC	PO BOX 56607	ATLANTA	GA	30343
WILLIAMS GRADY C & JEAN F	6180 RINGGOLD CIR	PENSACOLA	FL	32503
DEBROW ANGELO & SANDRA	5821 RINGGOLD DR	PENSACOLA	FL	32503
WALLACE MYRTLE C	5818 RINGGOLD DR	PENSACOLA	FL	32503
JAMES GARY C III	5816 RINGGOLD DR	PENSACOLA	FL	32503
THOMPSON BRIAN &	5815 ST BENEDICT AVE	PENSACOLA	FL	32503
BROWN LEE K & THERESA W	5811 RINGGOLD DR	PENSACOLA	FL	32503
JOHNSON HILDA TRUSTEE	5800 SAINT BENEDICT AVE	PENSACOLA	FL	32503
BASS MILLIE T	5801 SAINT BENEDICT AVE	PENSACOLA	FL	32503
WHITEHEAD RANDALL A	5818 RAWSON LN	PENSACOLA	FL	32503
BROWN JONATHAN C &	282 ST PATRICK AVE	PENSACOLA	FL	32503
HUGHES JOESIRAH & NELLIE D	5810 RAWSON LN	PENSACOLA	FL	32503
BROWN TIMOTHY H & LINDA J	300 AIRPORT BLVD	PENSACOLA	FL	32503
GULF POWER CO	1 ENERGY PL	PENSACOLA	FL	32520-0093
BAER LEONARD L	187 GRUENWALD AVE	NEENAH	WI	54956-2210
FLOOR CITY USA INC	7057 LONGLEAF CREEK DR	PENSACOLA	FL	32526
HARVEY KEITH L	366 AIRPORT BLVD	PENSACOLA	FL	32503
AIRPORT INVESTMENTS LLC	9389 HAMMAN AVE	PENSACOLA	FL	32514
FLOWOOD PENSACOLA LLC	PO BOX 361213	BIRMINGHAM	AL	35236
CARTER ELMER JR	426 OKALOOSA AVE	PENSACOLA	FL	32503
ROBINS NEST #1 LLC	117 MONARCH LN	PENSACOLA	FL	32503
GRANDBERRY JACQUELYN	273 ST AUGUSTINE AVE	PENSACOLA	FL	32503
LEWANDOWSKI LINDA D NELSON	278 ST PATRICK AVE	PENSACOLA	FL	32503
SAFAKHOO AHMAD	PO BOX 11837	PENSACOLA	FL	32524
MILLER SAMUEL TRUST	25 W CEDAR ST TE 440	PENSACOLA	FL	32502
EAST BRENT BAPTIST CHURCH INC	4801 N DAVIS HWY	PENSACOLA	FL	32503
KING MICHAEL	272 ST PATRICK AVE	PENSACOLA	FL	32503
RAICHE LEON C & VALERIE E	270 ST PATRICK AVE	PENSACOLA	FL	32503
BROWNING STEPHANIE A	268 ST PATRICK AVE	PENSACOLA	FL	32503
HOFBERGER ROBERT C & KRISTI S	5804 ST ELMO ST	PENSACOLA	FL	32503
PENSACOLA CHRISTIAN COLLEGE INC	PO BOX 18000	PENSACOLA	FL	32523-9150
MATTHEISS PEGGY	5805 SAINT ELMO ST	PENSACOLA	FL	32503
CASSIANO CAROL LEE	8756 SCENIC HILLS DR	PENSACOLA	FL	32514
ANTONIOUS GEORGE B	8878 SCENIC HWY	PENSACOLA	FL	32514
LYMONS WILLIE B	3819 N 11TH AVE	PENSACOLA	FL	32503
GIBBS LYNDON V &	PO BOX 17403	PENSACOLA	FL	32522
BURGIN EDNA KAY M &	2450 WYATT ST	PENSACOLA	FL	32514-7762
TATUM WILLIAM H &	253 AIRPORT BLVD	PENSACOLA	FL	32503
LASCIO REBECCA W	2759 WASHINGTON ST	LEMON GROVE	CA	91945
RODDENBERRY JERRY L & DIANE B	2510 JETER RD	CANTONMENT	FL	32533
FRANKLIN JOHN W JR &	5632 ST AMATUS AVE	PENSACOLA	FL	32503-7928
EMLET JOHN B &	247 AIRPORT BLVD	PENSACOLA	FL	32503-7717
BOCCHINO FRANK J & HAFDIS	230 SAINT BARNABAS ST	PENSACOLA	FL	32503
245 AIRPORT BLVD LLC	4537 BOSTIC LN	PACE	FL	32571

PRICKETT JOHN F &	405 ROYCE ST	PENSACOLA	FL	32503
HAYDEN MICHAEL W & RITA A	241 AIRPORT BLVD	PENSACOLA	FL	32503
HODGE EDNA M LIFE EST	226 SAINT BARNABAS ST	PENSACOLA	FL	32503
GROSNICK JOSEPH J	237 AIRPORT BLVD	PENSACOLA	FL	32503
DELUCA ANTHONY	224 ST BARNABAS ST	PENSACOLA	FL	32503
GOODE STEVEN B	203 AIRPORT BLVD	PENSACOLA	FL	32503
MCLAMB RAYMOND K & DEBORAH E	222 ST BARNABAS ST	PENSACOLA	FL	32503
PRICE JEFFREY L &	5635 ST AMATUS AVE	PENSACOLA	FL	32503
THOMAS ROY T & DONNARAE H	220 ST BARNABAS ST	PENSACOLA	FL	32503
COOK GREGORY A &	218 ST BARNABAS ST	PENSACOLA	FL	32503
MANCIAGLI STEVEN P & LISA A	5634 ST ADAMNAN AVE	PENSACOLA	FL	32503
BRENT LAND CO INC	PO BOX 1271	PENSACOLA	FL	32591-1271
PFLIBSEN NEAL C &	5633 ST AMATUS RD	PENSACOLA	FL	32503
STUCKY MAURICE D &	6084 ST ALBAN ST	PENSACOLA	FL	32503
WASS JOHN D & APRIL J	223 ST BARNABAS ST	PENSACOLA	FL	32503
NASHED MAGED & ERIN	5004 ROLAND RD	PACE	FL	32571
SURGEON JEFFREY A &	221 ST BARNABAS ST	PENSACOLA	FL	32503
MUSK LEONARD L JR & DEBORAH L	5631 ST AMATUS AVE	PENSACOLA	FL	32503
CUBITT MARY ANN EST OF &	5195 FLAX RD	PENSACOLA	FL	32504
REVIS CHRISTOPHER J &	5654 SAINT ADAMNAN AVE	PENSACOLA	FL	32503
KNODT CHARLES R & DARLA	217 SAINT BARNABAS ST	PENSACOLA	FL	32503
ALVERSON NATALIE N	5632 ST ADELA ST	PENSACOLA	FL	32503
COX LOIS I	5635 ST ADAMNAN RD	PENSACOLA	FL	32503
HATFIELD KEITH E JR &	27126 GOLDEN MEADOW DR	WESLEY CHAPEL	FL	33544
PORTER TIMOTHY J & KAY K	5630 ST ADAMNAN AVE	PENSACOLA	FL	32503
MCDONALD JAMES P	5619 ST AMATUS AVE	PENSACOLA	FL	32503
VARVOURIS ELIZABETH	5633 SAINT ADELA AVE	PENSACOLA	FL	32503
BAILEY DIANN L	6079 ST ALBAN AVE	PENSACOLA	FL	32503
SIMS EDWARD E TRUSTEE	5630 ST ADELA AVE	PENSACOLA	FL	32503
WOMACK KATHRYN TRUSTEE FOR	5645 SAINT ADAMAN AVE	PENSACOLA	FL	32503
HEITMAN MARCYNE K	5628 ST ADAMNAN AVE	PENSACOLA	FL	32503
CLICK STEPHEN J	5631 ST ADELA AVE	PENSACOLA	FL	32503
STANCEL JESSE L &	5626 ST ADAMNAN AVE	PENSACOLA	FL	32503
NEWLIN JOHNATHAN M &	915 ARIOLA DR	PENSACOLA BEACH	FL	32561
KAISER JACOB A	6077 ST ALBAN RD	PENSACOLA	FL	32503
DIPPEL DONALD A SR	6074 ST ALBAN AVE	PENSACOLA	FL	32503
MULLELNIX SAMUEL P & JOYCE A	5629 ST ADELA AVE	PENSACOLA	FL	32503
FRANKLIN GODFREY	5625 ST ADAMNAN AVE	PENSACOLA	FL	32503
HOUSTON JERRY E & LOU ANN	3325 hwy 97 south	CANTONMENT	FL	32533
BUCY BRIAN L & REBECCA L	6072 ST ALBAN AVE	PENSACOLA	FL	32503
CROSBY VICTOR I & CHARLENE J	5627 ST ADELA ST	PENSACOLA	FL	32503
SIEGLER WAYNE	5624 ST ADELA AVE	PENSACOLA	FL	32503
CORBETT DAVID G & SYLVIA E	5622 ST ADAMNAN AVE	PENSACOLA	FL	32503
WATSON LEE A JR & MAHI S	6075 SAINT ALBAN AVE	PENSACOLA	FL	32503
DUBOIS NINA B &	5615 ST ADAMNAN AVE	PENSACOLA	FL	32503
BECK RODNEY & JENNIFER L	9024 BAYWOOD PARK DR	SEMINOLE	FL	33777-4629
LANG JOHN M &	5625 ST ADELA AVE	PENSACOLA	FL	32503

JOYCE CAMERSON S	5900 ST ADELA AVE	PENSACOLA	FL	32503
STONE JOHN C & JANICE J	6060 SAINT ALBAN AVE	PENSACOLA	FL	32503
LEE NATHAN J	2845 RIFLE ROAD	OAK HARBOR	WA	98277
PINKNEY PAUL & KIMBERLY J	7400 WYMART RD	PENSACOLA	FL	32526
BENSON LEROY M & MARY ANN	5623 ST ADELA AVE	PENSACOLA	FL	32503
PISCIOTTA MARY	5866 SAINT ADELA AVE	PENSACOLA	FL	32503
FULLER GLORIA JEAN LIFE EST	6058 ST ALBAN AVE	PENSACOLA	FL	32503-7927
HUBLEY KAY E	6069 ST ALBAN RD	PENSACOLA	FL	32503
ROMINES DONNA R PAULSEN	5877 SAINT ADELA AVE	PENSACOLA	FL	32503
CRAWFORD WILLIAM F &	6067 ST ALBAN AVE	PENSACOLA	FL	32503
LONGORIA RICHARD	1815 W DETROIT BLVD	PENSACOLA	FL	32514
GORELIKOW ALEXANDER & SUSAN L	205 ST EUSEBIA ST	PENSACOLA	FL	32503
RIGSBY LEWIS F & GLORIA C	190 ST CEDD AVE	PENSACOLA	FL	32503
MURRAY HEATHER LEE	6065 ST ALBAN ST	PENSACOLA	FL	32503
GERARD WADE & TRACY	186 ST CEDD AVE	PENSACOLA	FL	32503
NADOLNY WILLIAM D & HEIDI L	201 ST EUSEBIA ST	PENSACOLA	FL	32503
SHEFFERD LARRY E & JEANNE E	6063 ST ALBAN AVE	PENSACOLA	FL	32503
OHMAN JACK R	5977 ST ALBAN AVE	PENSACOLA	FL	32503
KONDRAT'YEV ANDREIY I &	5944 ST ALBAN RD	PENSACOLA	FL	32503
TARTER DANIEL J & LEAH R	5967 ST ALBAN AVE	PENSACOLA	FL	32503
WILSON WILLIAM F & ESTHER F	5932 ST ALBAN RD	PENSACOLA	FL	32503
SURRENCY DAVID W	135 CUMMINGS RD	PENSACOLA	FL	32503
WURZBACH ANN 4/8 INT	129 CUMMINGS RD	PENSACOLA	FL	32503
GARY RITA ILENE	202 E ST JOHN ST	PENSACOLA	FL	32503
NEW GEORGE &	3640 NEWS RD	WILLIAMSBURG	VA	23188-7707
FAUST GREGG T &	198 ST JOHN ST	PENSACOLA	FL	32503
MAVER MARY L	204 WAVELAND ST	PENSACOLA	FL	32503
COTITA DIANA C &	203 WAVELAND ST	PENSACOLA	FL	32503
BLACKBURN LARRY D & MARVINA G	5406 SYCAMORE DR	PENSACOLA	FL	32503
CHAPPELL TODD F & JADINE R	30 WILKES DR	PENSACOLA	FL	32503
HINELY FRANCES P	31 WILKES DR	PENSACOLA	FL	32503
SANDERS PRESTON E	27 WILKES DR	PENSACOLA	FL	32503
BASSHAM JOHN H JR	3175 KING ST	PENSACOLA	FL	32526
WOOD JOHN & PATRICIA L	25161 TWIN SHORE DR	DOWAGIAC	MI	49047
WATERS GAYLEN JEAN	5634 ST AMATUS RD	PENSACOLA	FL	32503
COBB TRUDELL NELSON	5609 ST AMATUS AVE	PENSACOLA	FL	32503
FRITCHIE WAYNE P SR & CHRISTINE C	PO BOX 9841	PENSACOLA	FL	32513
KORSHUNOVA SVETLANA &	2047 HESPERIA WAY	PENSACOLA	FL	32505-1882
RIBOLLA MICHAEL S	277 ST PATRICK AVE	PENSACOLA	FL	32503
BENNETT JOHN J	275 ST PATRICK AVE	PENSACOLA	FL	32503
LOTHER DEREK &	720 FARMINGTON RD	PENSACOLA	FL	32504
ENGLERT JOSEPH E	271 ST PATRICK AVE	PENSACOLA	FL	32503
NGO HUE HUONG T	274 AIRPORT BLVD	PENSACOLA	FL	32503
WYNN JOSEPH A JR	269 SAINT PATRICK AVE	PENSACOLA	FL	32503
STONE GARY H EST OF &	1711 FAIRVIEW FARMS CIR	WENTZVILLE	MO	63385-2764
MCELROY JOSEPH WAYNE	270 AIRPORT BLVD	PENSACOLA	FL	32503
DAVIS JANE E	268 AIRPORT BLVD	PENSACOLA	FL	32503

HUMDY CECIL C JR & FREDDIE R	276 AIRPORT BLVD	PENSACOLA	FL	32503-7771
CREIGHTON EUGENIA A TRUSTEE FOR	279 ST PATRICK AVE	PENSACOLA	FL	32503
FALBO ZACHARY	279 AIRPORT BLVD	PENSACOLA	FL	32503
DAVIS WILLIAM C	6073 ST CLOUD DR	PENSACOLA	FL	32503
MCLAUGHLIN NANCY L &	237 ST SABAS ST	PENSACOLA	FL	32503
SOULE GREGORY K & KRISTIN L	5601 ST AMATUS AVE	PENSACOLA	FL	32503
WILLINGHAM TIMOTHY J & JENNIFER L	213 ST EUSEBIA ST	PENSACOLA	FL	32503
CAMPBELL FRED & PHYLLIS D	202 SAINT CEDD AVE	PENSACOLA	FL	32503
JOHNSON JOHNNY JR	425 OKALOOSA AVE	PENSACOLA	FL	32503
ARD LINDA F	410 JAYSEN CT	PENSACOLA	FL	32503
NGUYEN NHON T	435 OKALOOSA AVE	PENSACOLA	FL	32503
JACKSON MARCUS S & SHARON T	5615 SHELL RD	PENSACOLA	FL	32503
MCCLURE HOWARD C & PETRA T	211 RUBY AVE	PENSACOLA	FL	32505
MCARTHUR JAMES D & ELEANOR M	5611 SHELL RD	PENSACOLA	FL	32503
MASSEY JOHN V & CARLA J	5711 WALTON ST	PENSACOLA	FL	32503
BKW INC	5607 DUVAL ST	PENSACOLA	FL	32503
SPINK JAMES E TRUSTEE OF THE	6223 SCHWAB DR	PENSACOLA	FL	32504
LA PLACE USA INC	12831 CLAY CITY RD	FAIRHOPE	AL	36532
DAWKINS SCOTT	230 E INTENDENCIA ST	PENSACOLA	FL	32502
SESSIONS THOMAS E EST OF	8550 SCENIC HWY K	PENSACOLA	FL	32514
WHEATLEY WAYNE &	PO BOX 1144	GULF BREEZE	FL	32562
JRW INVESTMENTS LLC	308 W JAMES LEE BLVD	CRESTVIEW	FL	32536
MCCART SHANTEL &	5611 CACTUS ST	PENSACOLA	FL	32503
WEBB TRUCKING &	1661 W 9 1/2 MILE RD	CANTONMENT	FL	32533
WILLIAMSON FAMILY TRUST	330 RIOLA PL	PENSACOLA	FL	32506
WILLIAMS BARRIE D & BARBARA J	283 AIRPORT BLVD	PENSACOLA	FL	32503
CASEY MICHAEL J & WANDA S	2025 DOWNING DR	PENSACOLA	FL	32505
WELLS CAROL F	59 SOUTHERN DR	ENTERPRISE	AL	36330
BELL DONALD V	281 AIRPORT BLVD	PENSACOLA	FL	32503
WILSON SAMUEL F II	6972 VILLAGE STREAM PL	GAINESVILLE	VA	20155
CLARK HOLDINGS OF NORTHWEST	5574 MEADOW LARK	MILTON	FL	32570
MECO PROPERTIES INC	2172 W 9 1/2 MILE RD # 119	PENSACOLA	FL	32534
TALBOT SUE D	5330 FLINTWOOD CIR	PENSACOLA	FL	32504
PLYE DAVID H & DONNA O	6087 ST CLOUD DR	PENSACOLA	FL	32503
SPECK DONALD	600 CASCADE DR	PENSACOLA	FL	32503
FLEMING MICHAEL A	415 CASCADE DR	PENSACOLA	FL	32504
QUITO RONNIE	6085 ST CLOUD DR	PENSACOLA	FL	32503
ARNOLD THOMAS B & JOHNNIE E	5625 WALTON ST	PENSACOLA	FL	32503
VOGEL STEVEN M & BRENDA G	6083 ST CLOUD DR	PENSACOLA	FL	32503
GRAY MICHAEL A & JEAN A	6244 CONFEDERATE DR	PENSACOLA	FL	32503
LIKIS ROBERT A	5675 N DAVIS HWY	PENSACOLA	FL	32503
SPITSBERGEN NATHAN L	282 ST SABAS ST	PENSACOLA	FL	32503
OAKS CURTIS A & SHIRLEY G	6088 ST CLOUD DR	PENSACOLA	FL	32503
BERE PAMELA R &	280 ST SABAS ST	PENSACOLA	FL	32503
GRANT DAVID C & LANDRA L	6086 ST CLOUD DR	PENSACOLA	FL	32503
DENMAN JOHN A	1320 TONI ST	PENSACOLA	FL	32504
HARRINGTON PETER C &	294 SAINT SABAS ST	PENSACOLA	FL	32503

BALDWIN CLEOPHAS	5525 CACTUS RD	PENSACOLA	FL	32503
BOWEN WILLIAM R JR & DIANN D	292 ST SABAS ST	PENSACOLA	FL	32503
DAVIS D C EST OF	6069 SAINT CLOUD DR	PENSACOLA	FL	32503
CHAPMAN MARK 1/5 INT &	8365 LOFTON DR	PENSACOLA	FL	32514
TUPUA TALANI S &	288 ST SABAS ST	PENSACOLA	FL	32503
SHIRLEY DELMAR &	P O BOX 254	GONZALEZ	FL	32560
WATSON W MARGIE TRUSTEE FOR	299 SAINT SABAS ST	PENSACOLA	FL	32503
BERE MARY JANE TRUSTEE	280 SAINT SABAS ST	PENSACOLA	FL	32503
KIMMONS JIMMY L &	5523 DUVAL ST	PENSACOLA	FL	32503
CONRAD SHELA	297 SAINT SABAS ST	PENSACOLA	FL	32503
PEACOCK JOHNNIE MAE &	5520 DUVAL ST	PENSACOLA	FL	32503
KOZEL TUENJIT	7099 KELVIN TERR	PENSACOLA	FL	32503
KUNSELMAN ARNOLD R &	250 ST SABAS RD	PENSACOLA	FL	32503
GELLOS MICHAEL A & JILL A	295 ST SABAS ST	PENSACOLA	FL	32503
NELSON MARK A	PO BOX 357	MOLINO	FL	32577
MORAIN BARNE J & DONNA J	262 SAINT EUSEBIA ST	PENSACOLA	FL	32503
HOWELL ROBERT A & JOYCE M	246 ST SABAS	PENSACOLA	FL	32503
WHITFIELD DOUGLAS L SR	5519 DUVAL ST	PENSACOLA	FL	32503
KNOWLES ALAN C & REBECCA P	293 ST SABAS ST	PENSACOLA	FL	32503
COOK TIMOTHY E	5508 DUVAL ST	PENSACOLA	FL	32503
PAREKH PRADEEP M &	754 BOULDER CREEK DR	PENSACOLA	FL	32514
MADISON DIANA L	291 ST SABAS ST	PENSACOLA	FL	32503
DAVIS WILLIAM M & JANICE D	250 ST EUSEBIA ST	PENSACOLA	FL	32503
DURRAND JOHN E &	289 ST SABAS ST	PENSACOLA	FL	32503
SCOTT BEN C & BARBARA ANN	5511 SHELL RD	PENSACOLA	FL	32503
M L R BUILDERS INC	5515 DUVAL ST	PENSACOLA	FL	32503
BANCROFT MYRNA T	248 SAINT EUSEBIA ST	PENSACOLA	FL	32503
SEE RODNEY C & LYNDA S	277 ST SABAS ST	PENSACOLA	FL	32503
BARFIELD NANCY 1/6 INT	22 WHITE PLAINS DRIVE	NASHUA	NH	03062
MITCHELL RANDY P & MICKIE B	5516 TAMARACK ST	PENSACOLA	FL	32503
BRADLEY JOSIE	5513 DUVAL ST	PENSACOLA	FL	32503
GIBBS RAYMOND D & ANN P	244 ST EUSEBIA ST	PENSACOLA	FL	32503
WEST WILEY J	743 BOULDER CREEK DR	PENSACOLA	FL	32514
HALL DONALD J & PATRICIA	269 SAINT SABAS ST	PENSACOLA	FL	32503
KIMMONS LEONA W	5500 DUVAL ST	PENSACOLA	FL	32503
FRICK LAURA ANN PIVERAL &	238 ST EUSEBIA ST	PENSACOLA	FL	32503
ANDERSON RICARDO &	255 ST EUSEBIA ST	PENSACOLA	FL	32503
HODGES FRANCES M LIFE EST	5818 SOMERSET DR	PENSACOLA	FL	32526-1511
SHAW TINA MARIE	1999 STOUT RD	CANTONMENT	FL	32533
BRAXTON ANN JERALDINE TRUSTEE	5437 RAWSON LN	PENSACOLA	FL	32503
NASH MARTHA F TRUSTEE &	249 SAINT EUSEBIA ST	PENSACOLA	FL	32503
SOUTHERN RONALD F & CYNTHIA L	5864 SAINT AMATUS AVE	PENSACOLA	FL	32503
MENEZES SAM A & BONITA J	5520 ST TIMOTHY ST	PENSACOLA	FL	32503
GOETSCH MARK D & MELANEY L	5862 ST AMATUS ST	PENSACOLA	FL	32503
HARRIS MICHAEL S	500 BRISKEY CT	PENSACOLA	FL	32503
SCHULENBERG MICHAEL A	243 ST EUSEBIA ST	PENSACOLA	FL	32503
BELL BELINDA BAILEY	5501 CACTUS RD	PENSACOLA	FL	32503

BUSTAMANTE FRANCISCO D & ELISA C	237 SAINT EUSEBIA ST	PENSACOLA	FL	32503
THURMOND JOHN P & RACHEL	931 GERHARDT DR	PENSACOLA	FL	32503
CLARK DORIS M	250 ST CEDD AVE	PENSACOLA	FL	32503
MOYE DAN K & DOROTHY J	231 ST EUSEBIA ST	PENSACOLA	FL	32503
CALBERT ROBERT P JR & CANDYCE I	246 ST CEDD AVE	PENSACOLA	FL	32503
MENDEZ JOSEPH R	227 ST EUSEBIA ST	PENSACOLA	FL	32503
HOUK TREVIN M & ELAINE S	5480 ST TIMOTHY AVE	PENSACOLA	FL	32503
NORTHROP STEPHEN C & KAREN M	242 ST CEDD AVE	PENSACOLA	FL	32503
SCHETTLER JAMES E & MARILEE J	44954 46TH ST E	LANCASTER	CA	93535
HUTCHINSON CHARLES E	238 ST CEDD AVE	PENSACOLA	FL	32503
PEREZ RAFAEL A & MOLLY K	221 ST EUSEBIA ST	PENSACOLA	FL	32503
HOWELL CATHY A	234 SAINT CEDD AVE	PENSACOLA	FL	32503
WOGSLAND LEONARD E & KATHLEEN M	217 ST EUSEBIA ST	PENSACOLA	FL	32503
PARTRIDGE EDWARD E JR &	2130 DAKAR PL	DULLES	VA	20189
ROBERTS STAN & JOAN	1160 S 131ST ST	GILBERT	AZ	85233
EMERALD COAST UTILITIES AUTHORITY	PO BOX 15311	PENSACOLA	FL	32514
BURKE STEPHEN J &	22 ST CEDD AVE	PENSACOLA	FL	32503
PARADISE RICHARD A	654 COUNTRY CLUB AVE NE	FT WALTON BCH	FL	32547
DUBE NATHAN M & MEGHANN M	210 SAINT CEDD AVE	PENSACOLA	FL	32503
ELLIS JOAN	205 SAINT CEDD AVE	PENSACOLA	FL	32503
CHAVIS DONALD E	4676 SWAMP CREEK LN	MILTON	FL	32583
CROLEY DEBRA	281 SAINT PATRICK AVE	PENSACOLA	FL	32503
JONES JAMES L & LISA K	205 ST PATRICK AVE	PENSACOLA	FL	32503
THOMING TERI L	5809 RAWSON LN	PENSACOLA	FL	32503
MCCLURE ALLEN D & MARIAN R	516 PINBROOK CIR	CANTONMENT	FL	32533
AMERI AUTO LLC	310 BEVERLY PKWY	PENSACOLA	FL	32505
VAUGHN WALTER B & KELLY L	909 TEXAS ST UNIT 1015	HOUSTON	TX	77002
LYMON MARYANN	286 AIRPORT BLVD	PENSACOLA	FL	32503
MCKEAN THOMAS & ALIF ANN	280 AIRPORT BLVD	PENSACOLA	FL	32503
FLOWERS LEO	125 MEMORY LN	PENSACOLA	FL	32503
WINDHAM MICHAEL	926 E LLOYD ST	PENSACOLA	FL	32503
MCLEOD HELEN	768 LADNER DR	PENSACOLA	FL	32505
DAVIS PARK MEDICAL ASSN OF PENSACOLA	2 HYDE PARK RD	PENSACOLA	FL	32503
PRFC PROPERTIES LLC	5553 HWY 90 W	PACE	FL	32571
5500 OFFICE LLC	5498 N DAVIS HWY	PENSACOLA	FL	32503
5498 LLC	9120 MIDLOTHIAN TURNPIKE	RICHMOND	VA	23235
JLW ENTERPRISES INC	2101 BARRANCAS AVE	PENSACOLA	FL	32501
LOIS PANHANDLE LLC	40 NE LOOP 410 STE 607	SAN ANTONIO	TX	78216
ESBROOKE LLC 50% INT &	185 NW SPANISH RIVER BLVD	BOCA RATON	FL	33431
CJS CHECKERS PENSACOLA LLC	200 BISCAYNE BLVD 6TH FLOOR	MIAMI	FL	33131-5310
ATZ ENTERPRISE INC	5331 BELLAMY ST	PENSACOLA	FL	32503
HOME DEPOT USA INC	PO BOX 105842	ATLANTA	GA	30348-5842
LEGAL EZE INC	512 PHYLLIS ST	PENSACOLA	FL	32503
DAVIS MORETTE PROPERTIES INC	P O BOX 13452	PENSACOLA	FL	32591
HAMILTON A H	524 E CORDAY ST	PENSACOLA	FL	32503
INTERVENTIONAL TREATMENT INC	PO BOX 13207	PENSACOLA	FL	32591
RETINAVIT LLC	111 SHORELINE DR	GULF BREEZE	FL	32561

INTERVENTIONAL THERAPEUTICS	5102 N DAVIS HIGHWAY	PENSACOLA	FL	32503
CARSON LOVELL BUNT INC	21 S TARRAGONA ST STE 102	PENSACOLA	FL	32502
CHILDS CROWLEY 1/5 INT	921 CANDLESTICK DR	PENSACOLA	FL	32534
CANTRELL J TERRY	433 HARRISON AVE	PANAMA CITY	FL	32401
OSBORNE FRANCES N	2909 E LEE ST	PENSACOLA	FL	32503
WILLIAMS D W FAMILY LIMITED PARTNER	1050 W I-65 SERVICE RD SOUT	MOBILE	AL	36609
PAPADELIAS L MICHAEL &	2851 BANQUOS TRL	PENSACOLA	FL	32503
ADRENALINE JUNKIE LLC	PO BOX 4634	PENSACOLA	FL	32507
M & W PROPERTIES OF FLORIDA LLC	540 FONTAINE ST	PENSACOLA	FL	32503
BELSER GENE L II	529 FONTAINE ST	PENSACOLA	FL	32503
NELSON GILBERT	211 E BRENT LANE	PENSACOLA	FL	32503
SOUTHERN COMFORT TRAVEL INC	5400 FLINTWOOD CIR	PENSACOLA	FL	32504
PENSACOLA TESTING LABORATORIES INC	3211 QUIET WATER LN	GULF BREEZE	FL	32563-2712
NELSON DEVELOPERS LLC	6076 FOREST GREEN RD	PENSACOLA	FL	32505-1850
STACHOW DOROTHY M DEMPSEY TRUSTE	113 S SUNSET BLVD	GULF BREEZE	FL	32561
LUBEFAST REMOTE INC	1550 N BROWN RD STE 140	LAWRENCEVILLE	GA	30043
HARTZOG'S ENTERPRISES INC	2062 DOWNING DR	PENSACOLA	FL	32505
GASLIGHT SQUARE OWNERS ASSOCIATIO	4 DUVAL CT	ROME	GA	30165
BEEGLE GULF PROPERTIES LLC	4 DUVAL CT NW	ROME	GA	30165
SPENCE HOLDINGS INC	213 HARRISON AVE STE 1	PANAMA CITY	FL	32401
GATEWAY CHURCH OF CHRIST INC	245 BRENT LN	PENSACOLA	FL	32503
TUSCANY SQUARE II LLC	5710 N DAVIS HWY STE 1	PENSACOLA	FL	32503
DOC 5150 NORTH DAVIS HIGHWAY MOB	PO BOX 92129	SOUTHLAKE	TX	76092
SPETTO PROPERTIES INC	151 W. MAIN ST., SUITE 200	PENSACOLA	FL	32502
MCDONALDS CORP	ONE MCDONALDS PLAZA	OAK BROOK	IL	60523
REYNOLDS AUTOMOTIVE SERVICES LLC	591 HERITAGE LAKES AVE	PENSACOLA	FL	32506
RALLS FARMS LLC	PO BOX 9414	PENSACOLA	FL	32513
CLOPTON CEMETERY ASSOCIATION INC	7007 RICHARD LN RD	MILTON	FL	32583
PENINSULA MOTOR CLUB INC	1515 N WESTSHORE BLVD	TAMPA	FL	33607
LAI THUY THANH	536 E CORDAY ST	PENSACOLA	FL	32503
MARCHIS LLC	501 BRENT LN	PENSACOLA	FL	32503
SMITH MELVIN R &	1074 HARBOR LN	GULF BREEZE	FL	32563
TISDALE ENTERPRISES LLC	5742 GRANDE LAGOON BLVD	PENSACOLA	FL	32507
PHYSICIANS PROPERTY MANAGEMENT	543 FONTAINE ST STE A	PENSACOLA	FL	32503
FONSZ PROPERTY LLC	PO BOX 77130	BATON ROUGE	LA	70879
STORAGE TRUST PROPERTIES LP	PO BOX 25025	GLENDALE	CA	91201-5025
WELCH PROPERTIES OF PENSACOLA LLC	4801 ROSEMONT PLACE	PENSACOLA	FL	32514
LOFTIN TOMBLIN PARTNERSHIIP	642 LAKEWOOD RD	PENSACOLA	FL	32507
COFFEY CHRISTOPHER G & JULIE A	444 TANGLEWOOD DR	PENSACOLA	FL	32503
NELSON JOHN G &	645 GREYSTONE PARK NE	ATLANTA	GA	30324
MANDERINO JAMES J &	59 HILL TERRACE DR	POTTSVILLE	PA	17901-9042
ALLEN LAWRENCE G &	5628 ST ADELA AVE	PENSACOLA	FL	32503
WOS ENTERPRISES LLC	PO BOX 422	MILTON	FL	32572
DWYER PATRICK M	5519 TAMARACK ST	PENSACOLA	FL	32503
MCPHERSON DOROTHEA	PO BOX 17401	PENSACOLA	FL	32522-7401
IRBY STUART C CO	PO BOX 1819	JACKSON	MS	39215-1819
FELTS NOEMI D	5522 CACTUS ST	PENSACOLA	FL	32503

LIU SU HSIN &	6093 TOULOUSE DR	PENSACOLA	FL	32505
HUA MICHAEL M & TZY-YN	1070 PALISADE RD	PENSACOLA	FL	32504
BCSCF ENTERPRISES LLC	102 NORTHCLIFF DR	GULF BREEZE	FL	32561
LIN-JOHN LTD	28 CALLE HERMOSA	GULF BREEZE	FL	32561
LEONARD REID L	537 BRENT LN	PENSACOLA	FL	32503
CALQUOTA LLC	527 BRENT LN	PENSACOLA	FL	32503
PHILLIPS JAMES D &	6916 SEA CRAB CIR	NAVARRE	FL	32566
HALLE PROPERTIES LLC	20225 N SCOTTSDALE RD	SCOTTSDALE	AZ	85255
HIGHWAY 98 DEVELOPMENT LLC	5650 DIXIE DR A	PENSACOLA	FL	32503-2255
EMP PROPERTIES LLC	P O BOX 6528	PENSACOLA	FL	32503
ROADWAY HOLDINGS INC	PO BOX 1831	PENSACOLA	FL	32591
I-110 WEST LTD	MAKSON CORPORATION	POTOMAC	MD	20854-3863
SPEER THOMAS R &	3551 LAGUNA CT	GULF BREEZE	FL	32561
STEIVISON JAMES D & VICKI	926 E BLOUNT ST	PENSACOLA	FL	32503
ARCP WE PENSACOLA FL LLC	PO BOX 460369	HOUSTON	TX	77056
PARK SABRINA D	300 CASCADE DR	PENSACOLA	FL	32503



**Development Services Department
Building Inspections Division**

3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **683127**

Date Issued. : 01/10/2017

Cashier ID : JMCOSTIN

Application No. : PBA170100001

Project Name : CU-2017-03

Address : 7201 N. 9TH AVE
Pensacola, FL, 32504

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	18000	\$1,275.50	App ID : PBA170100001
		\$1,275.50	Total Check

Received From : KENNETH HORNE & ASSOCIATES

Total Receipt Amount : **\$1,275.50**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA170100001	776445	1,275.50	\$0.00	5400 BLK RAWSON LN, PENSACOLA, 32503

Total Amount :	1,275.50	\$0.00	Balance Due on this/these Application(s) as of 1/11/2017
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**Development Services Department
Building Inspections Division**

3363 West Park Place
Pensacola, Florida, 32505
(850) 595-3550
Molino Office - (850) 587-5770

RECEIPT

Receipt No. : **683817**

Date Issued. : 01/18/2017

Cashier ID : JMCOSTIN

Application No. : PBA170100001

Project Name : CU-2017-03

Address : 7201 N. 9TH AVE
Pensacola, FL, 32504

PAYMENT INFO

Method of Payment	Reference Document	Amount Paid	Comment
Check	18006	\$217.54	App ID : PBA170100001
		\$217.54	Total Check

Received From : KENNETH HORNE & ASSOCIATES

Total Receipt Amount : **\$217.54**

Change Due : \$0.00

APPLICATION INFO

Application #	Invoice #	Invoice Amt	Balance	Job Address
PBA170100001	776445	1,275.50	\$0.00	5400 BLK RAWSON LN, PENSACOLA, 32503
PBA170100001	777137	217.54	\$0.00	5400 BLK RAWSON LN, PENSACOLA, 32503

Total Amount : 1,493.04

\$0.00 Balance Due on this/these
Application(s) as of 1/18/2017