

AGENDA
ESCAMBIA COUNTY BOARD OF ADJUSTMENT
July 18, 2012–8:30 a.m.
Escambia County Central Office Complex
3363 West Park Place, Room 104

1. Call to Order.
2. Swearing in of Staff and acceptance of staff as expert witness
3. Acceptance of the July 18, 2012 BOA Meeting Package with the Development Services Staff Findings-of-Fact, into evidence.
4. Proof of Publication and waive the reading of the legal advertisement.
5. Approval of June 20, 2012 BOA Resume.
6. **Consideration of the following cases:**

Case No.: V-2012-09
Address: 702 N Navy Blvd
Request: Increase Allowable Signage
Requested by: C.R. Glass, Owner

7. Old/New Business.
8. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, August 15, 2012 at 8:30 a.m., at the Escambia County Central Office Complex, Room 104, 3363 West Park Place.

9. Adjournment.

DRAFT

RESUMÉ OF THE MEETING OF THE BOARD OF ADJUSTMENT HELD June 20, 2012

CENTRAL OFFICE COMPLEX
3363 WEST PARK PLACE, BOARD CHAMBERS
PENSACOLA, FLORIDA
(8:30 A.M. – 11:00 A.M.)

Present: Auby Smith
David Karasek
LuTimothy May
Bobby Price, Jr.

Absent: Don Carlos
John Lund
Jennifer Rigby

Staff Present: Kristin Hual, Assistant County Attorney
Lloyd Kerr, Director, Development Services
Horace Jones, Division Mgr., Planning & Zoning
Juan Lemos, Urban Planner, Planning & Zoning
John Fisher, Urban Planner, Planning & Zoning
Karen Spitsbergen, Sr. Office Assistant

REGULAR BOA AGENDA

1. Meeting was called to order with 4 members present a quorum was established.
2. Clerk swore in staff.
3. Acceptance of the BOA Meeting Package for June 20, 2012 with the Development Services Staff Findings-of-Fact, into evidence.

Motion by LuTimothy May, Seconded by David Karasek Motion was made to accept the BOA Meeting Packet for June 20, 2012 with the Development Services Staff Findings-of-Fact into evidence.

Vote: 4 - 0 Approved - Unanimously

4. Proof of Publication and waive the reading of the legal advertisement.
5. Approval of the Resume of the Board of Adjustment Meeting held May 16, 2012.

Motion by LuTimothy May, Seconded by Bobby Price, Jr. Motion was made to approve the resume of the May 16, 2012 BOA Meeting.

Vote: 4 - 0 Approved - Unanimously

6. **Consideration of the following cases:**

- A. **Case No.:** CU-2012-09 - (Withdrawn)
Address: 400 Hwy 99-A
Request: Power Substation in VAG-2 zoning
Requested by: Power South Energy Cooperative, Agent for Jamie S. Hall, Owner

Case was withdrawn due to Florida Statutes ruling public utilities being permitted uses within the zoning district.

- B. **Case No.:** V-2012-06
Address: 8484 Kipling St., Unit A
Request: The Applicant is seeking an after-the-fact 2 foot variance to allow an 8 foot privacy fence in a residential district.
Requested by: Charles S. Stauffer
Speakers: Charles S. Stauffer, Danielle Bowling

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by LuTimothy May, Seconded by Bobby Price, Jr.
Motion was made to accept Staff's Findings of Fact and deny the variance request of an after-the-fact 2 foot variance to allow an 8 ft. privacy fence in a residential district.

Vote: 4 - 0 Approved - Unanimously

- C. **Case No.:** V-2012-07
Address: 487 Creighton Rd
Request: Increase allowable signage
Requested by: Don Jehle, Agent for McKibbon Brothers, Inc.
Speakers: Don Jehle

No BOA member acknowledged any ex parte communication regarding this item.

No BOA member acknowledged visiting the site.

No BOA member refrained from voting on this matter due to any conflict of interest.

Motion by LuTimothy May, Seconded by Bobby Price, Jr.

Motion was made to adopt staff's Findings of Fact and grant the variance request of increasing the allowable signage to 900 sq. ft.

Vote: 4 - 0 Approved - Unanimously

D. **CASE NO.:** **AP-2012-02**

Address: 7253 Plantation Rd.

Requested Appeal: Appeal of the issuance of building permits BD120502393 and BD120502394

Requested by: Jesse W. Rigby, Esq., Agent for ADX Communications of Escambia, LLC & Relax Hospitality, LLC

Speakers: Jesse Rigby, Kerry Anne Schultz, Dave Hoxeng, Chris Jensen, Paul Blake

Motion by Bobby Price, Jr., Seconded by David Karasek

Motion was made to deny the appeal for #BD1205022393 with the understanding that nothing will be done with regard to the cinerator until the circuit court has rendered a decision on the case.

Vote: 3 - 1 Approved

Voted No: LuTimothy May

7. Old/New Business.

8. Announcement.

The next Board of Adjustment Meeting is scheduled for Wednesday, July 18, 2012 at 8:30 a.m., at the Escambia County Central Office Complex, Room104, 3363 West Park Place.

9. Adjournment.

Board of Adjustment

6.

Meeting Date: 07/18/2012
CASE: V-2012-09
APPLICANT: C.R. Glass, Owner
ADDRESS: 702 N. Navy Blvd.
PROPERTY REFERENCE NO.: 52-2S-30-2501-000-009
ZONING DISTRICT: C-1, Retail Commercial
FUTURE LAND USE: C, Commercial

Information

SUBMISSION DATA:

REQUESTED VARIANCE:

The applicant is requesting a 71.39 square foot variance to increase the total allowable signage area from 225.11 to 296.50 square footage

RELEVANT AUTHORITY:

Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended), Section: 8.07.03 A.&B., 4.b, and 8.07.05

8.07.03. Commercial and industrial zones. The following permanent on premises signs shall be permitted in commercial and industrial zones including C-1, C-1PK (see section 8.08.03.B), C-2, ID-P, ID-1, ID-2, and R-6 commercial establishments only:

A. New commercial buildings. Total allowable square footage of signage per zone lot: 1.5 square feet of signage (wall and freestanding) per lineal foot of addressed street frontage. Minimum allowable sign area per zone lot is 100 square feet (*see note on corner lot signage). A master sign plan must be submitted to the development review committee as part of the overall approval process.

CRITERIA

Land Development Code of Escambia County, Florida (Ordinance No. 96-3 as amended), Section 6.05.05.F.5

CRITERION (1)

That there are special circumstances or conditions applicable to the building or land in question that are peculiar to such property that do not apply generally to other land or buildings in the vicinity.

FINDINGS-OF-FACT

Section 2.05.02 of the Land Development Code defines special circumstances or conditions specifically as follows: "Such special conditions shall be limited to unusual physical characteristics inherent in the specific piece of property and not common to properties similarly

situated. Such physical characteristics include, but are not limited to, exceptional narrowness, shallowness, shape, topographic conditions, or the presence of sensitive environmental resources, any or all of which will result in peculiar or practical difficulties in the quiet enjoyment and use of the property”.

There are no special circumstances or conditions applicable to the building that require signage above the amount allotted by the project development order.

CRITERION (2)

That the variance is necessary for the preservation and enjoyment of a substantial property right and not merely to serve as a convenience to the Applicant.

FINDINGS-OF-FACT

This requested variance is not necessary for the preservation and enjoyment of a substantial property right.

CRITERION (3)

That such a variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

FINDINGS-OF-FACT

This variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, the danger of fire, imperil the public safety, unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the health, safety, comfort, or general welfare of the inhabitants of Escambia County.

CRITERION (4)

The variance will not, in any manner, alter other provisions of this Code or Comprehensive Plan.

FINDINGS-OF-FACT

This variance will not alter other provisions of the Land Development Code or Comprehensive Plan.

CRITERION (5)

That the variance is the minimum necessary to make possible the use of the land, building or other improvements as approved by the BOA.

FINDINGS-OF-FACT

Additional signage beyond what was approved through site plan review is not the minimum necessary to make use of the land or building.

STAFF RECOMMENDATION:

Section 2.05.02 of the LDC specifies, "No variance shall be authorized under this provision unless the BOA finds that all of the required conditions exist".

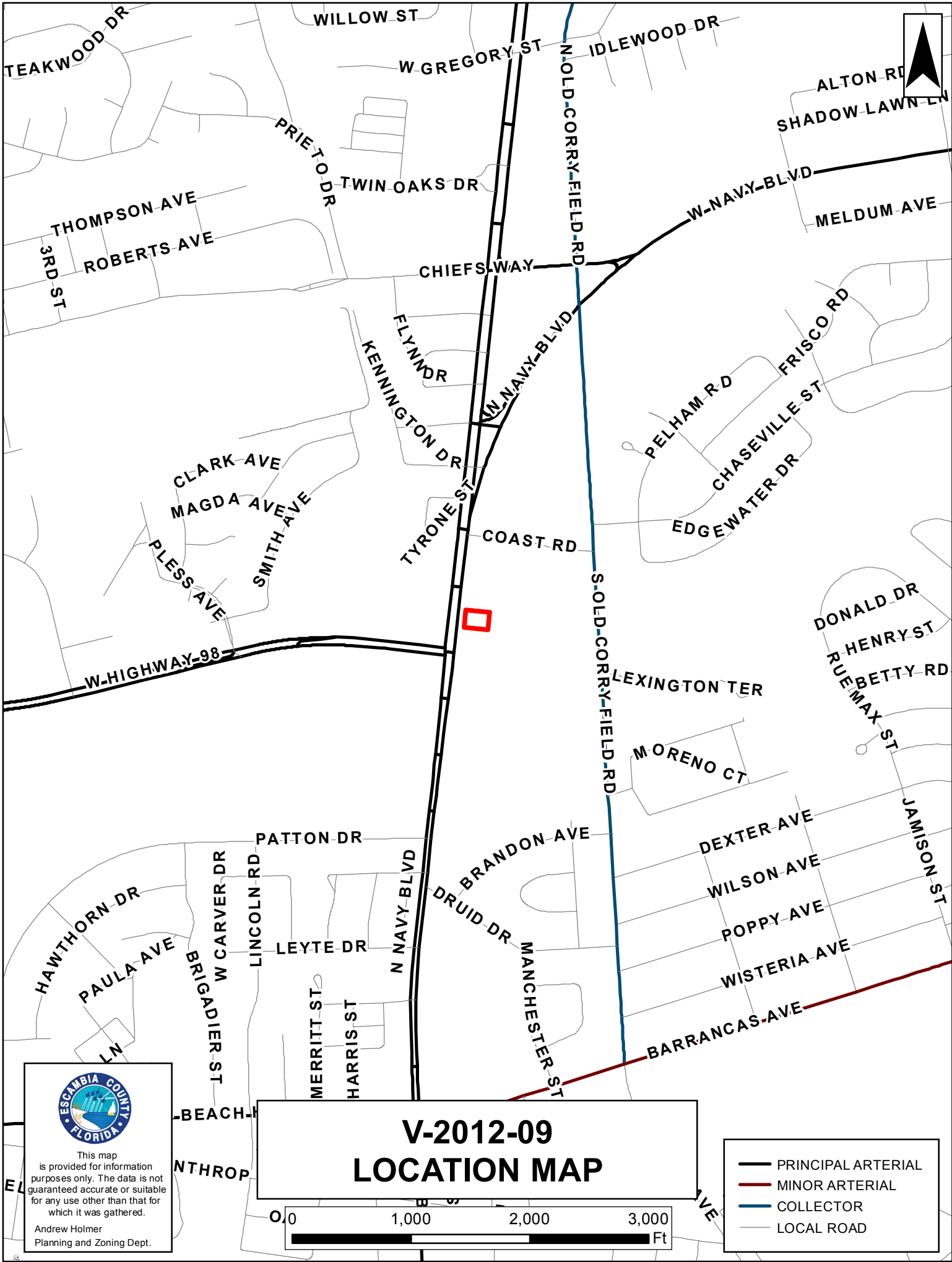
The applicant does not meet all of the required criteria for granting of a variance; therefore, staff recommends denial.

BOARD OF ADJUSTMENT FINDINGS:

Attachments

Working Case File

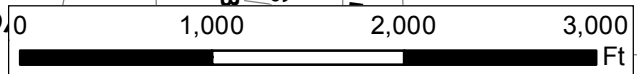
V-2012-09



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2012-09 LOCATION MAP



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD



R-2

C-2

COAST RD

C-2

C-1

N NAVY BLVD

P

C-1

W HIGHWAY 98

R-4

C-1

N NAVY BLVD

C-1



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2012-09 500' RADIUS ZONING



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



MU-S

MU-U

COAST RD

N NAVY BLVD

P

G

G

W HIGHWAY 98

REC

P

G

N NAVY BLVD

MU-U

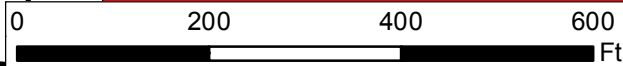
G




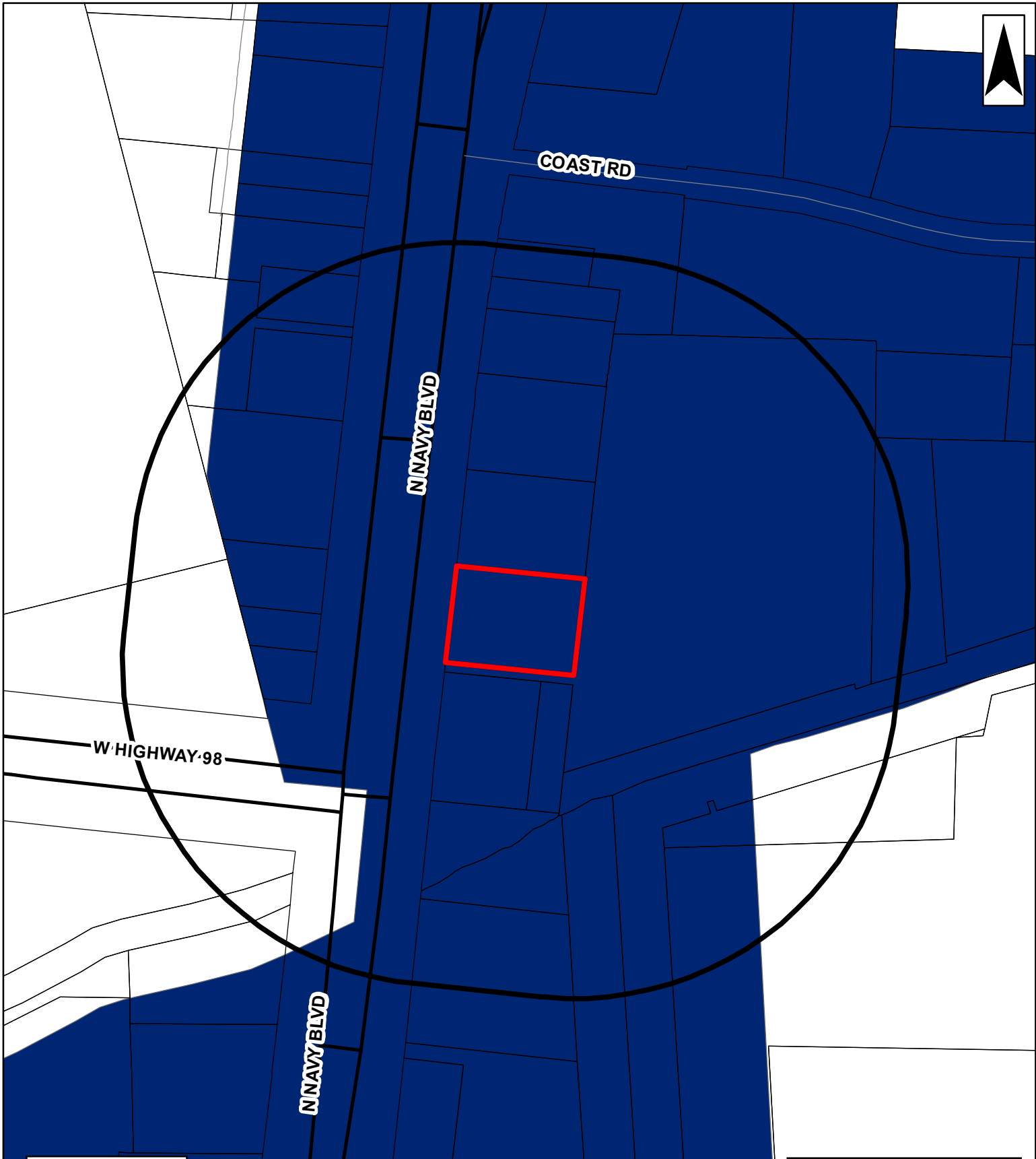
This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2012-09 FUTURE LAND USE



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- PARCELS



This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2012-09 CRA OVERLAY



- PRINCIPAL ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- LOCAL ROAD
- ▭ PARCELS
- C-3(OL)
- C-4(OL)
- RA-1(OL)



N-NAVY BLVD

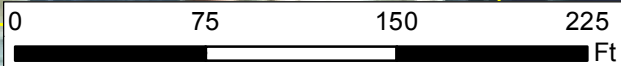
W-HIGHWAY-98








This map is provided for information purposes only. The data is not guaranteed accurate or suitable for any use other than that for which it was gathered.

Andrew Holmer
Planning and Zoning Dept.

V-2012-09 AERIAL MAP



-  PRINCIPAL ARTERIAL
-  MINOR ARTERIAL
-  COLLECTOR
-  LOCAL ROAD
-  PARCELS



BATTERY SOURCE
 104 GENESIS Pkwy
 THOMASVILLE, GEORGIA 31792
www.batterysource.com

1-800-34-START
1-800-347-8278
 fax 229-228-1860
crglass@batterysource.com

6-19-12

Owners..Ray Glass Batteries DBA Battery Source

City of Pensacola... (Request Sign Variance)

Concerning our signage at our Battery Source location at 702 N. Navy Blvd. We had a miscommunication with our sign contractor. Your rules show what should be done, but our sign contractor did not take into account for our signage on our building along with the Pylon Sign. We can't seem to reach a good solution with the sign company. However this mistake really affects our chain store look we are striving to achieve. This is our 17th location of Battery Source and all 17 stores are built to have this distinctive signs on the front of our buildings. We also have a store in Pensacola on 9 mile road. We really think part of our success has been the consistency of our stores looking alike. We really think it would help insure our success of Navy Blvd store to have the same signage as our 9 mile road store and other stores.

Small Business's really have it tough to compete in today's world, and as you might know there are lots of mistakes that can happen along the way, and this just slipped buy us. In fact this is the first time we made an error like this in our history, and we have learned from our mistake. We request a variance on our sign to help guaranteed the success of our new Navy Blvd. store...

Note: See Picture of N. Navy Blvd. store like we would like it to look...

Note: See Picture of N. Navy Blvd. store as it is now, with signs flipped..

Ray Glass Batteries Inc. DBA Battery Source.

C. R. Glass

C.R. Glass Owner

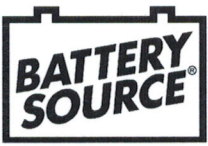
6-19-12

Notarized...

Kathy Miller

Kathy Miller





BATTERY SOURCE
104 GENESIS Pkwy
THOMASVILLE, GEORGIA 31792
www.batterysource.com

1-800-34-START
1-800-347-8278
fax 229-228-1860
crglass@batterysource.com

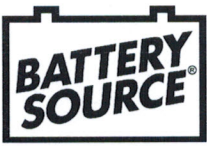
6-19-12

County of Escambia...

This Letter of Request is concerning our signage at our Battery Source location at 702 N. Navy Blvd.

A serious miscommunication with our sign contractor, the county's regulation, and our site plans has occurred. Your regulation shows we should have a combined square footage of not more than 225.11 sq ft between our Pylon sign and our Building sign. Our overall square footage we are requesting is 296.50 sq ft. Our sign contractor made a serious miscalculation when he ordered the signage that we placed on the lot. We have not been able to reach a good solution with the sign company in reducing our square footage and keep the overall successful concept of our building, which we believe has been a major player in our proven business success. The chain store look of this building is what we believe has been the success of our company, and as we all know signage, IS, the way people recognize one business from another. This is our 17th location of Battery Source and all 17 stores are built to have this identically, distinctive signage on the front of our buildings. With us already having a location in Pensacola on 9 Mile Rd, we believe this continuity of signage on our building will really play a major role in the success or failure of this location simply by recognizing at a quick glance that these 2 locations are the same company with the same great customer service and quality product that people of the greater Pensacola and Escambia county area have become accustomed to.

Small Business's really have it tough to compete in today's world, and as you might know there are many mistakes that can and do happen along the way, and this is one that simply slipped by us. In fact this is the first time we have ever made an error similar to this in our history, and we have learned from our mistake. We are requesting a variance to be allowed an extra 71.39 square feet of signage added to our building. The addition of the requested signage will not be a lighted sign and will not place ANY, undo hardships on any of the other surrounding businesses or



BATTERY SOURCE
 104 GENESIS Pkwy
 THOMASVILLE, GEORGIA 31792
www.batterysource.com

1-800-34-START
1-800-347-8278
 fax 229-228-1860
crglass@batterysource.com

inhabitants of that area. The addition of the 71.39 sq ft to our total signage is the maximum amount needed to guarantee the success of this Battery Source location. We at Battery Source appreciate the BOA's thoughtful consideration of the requested variance, and are certain that the granting of this variance will not be a mistake on you all's part. One mistake is this matter is enough for everyone.....

Note: See Picture of 9 Mile Road store
 Note: See Picture of N. Navy Blvd. store

Ray Glass Batteries Inc. dba Battery Source

C.R. Glass 6/19/12

C.R. Glass (Owner)

Kathy Miller 6/19/12

Kathy Miller
 (Notary)



APPLICATION

Please check application type:

Administrative Appeal

Development Order Extension

Conditional Use Request for: _____

Variance Request for: Battery Source

Rezoning Request from: _____ to: _____

Name & address of current owner(s) as shown on public records of Escambia County, FL

Owner(s) Name: Ray Glass Batteries Inc., DBA Battery Source Phone: 229-225-5777

Address: 104 Genesis Pkwy, Thomasville, GA 31792 Email: crglass@batterysource.com

Check here if the property owner(s) is authorizing an agent as the applicant and complete the Affidavit of Owner and Limited Power of Attorney form attached herein.

Property Address: 702 N. Navy Blvd, Pensacola, FL 32507

Property Reference Number(s)/Legal Description: 52-2S-30-2501-000-009

By my signature, I hereby certify that:

- 1) I am duly qualified as owner(s) or authorized agent to make such application, this application is of my own choosing, and staff has explained all procedures relating to this request; and
- 2) All information given is accurate to the best of my knowledge and belief, and I understand that deliberate misrepresentation of such information will be grounds for denial or reversal of this application and/or revocation of any approval based upon this application; and
- 3) I understand that there are no guarantees as to the outcome of this request, and that the application fee is non-refundable; and
- 4) I authorize County staff to enter upon the property referenced herein at any reasonable time for purposes of site inspection and authorize placement of a public notice sign(s) on the property referenced herein at a location(s) to be determined by County staff; and
- 5) I am aware that Public Hearing notices (legal ad and/or postcards) for the request shall be provided by the Development Services Bureau.

C.R. Glass
Signature of Owner/Agent

C. R. G L A S S
Printed Name Owner/Agent

6-19-12
Date

C. R. Glass
Signature of Owner

C. R. G L A S S
Printed Name of Owner

6-19-12
Date

STATE OF Georgia COUNTY OF Grady

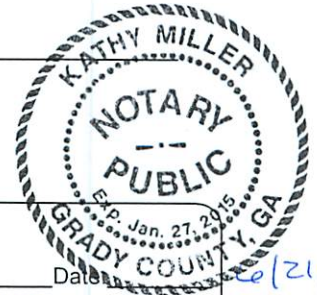
The foregoing instrument was acknowledged before me this 19th day of June 20 12

by Kathy Miller

Personally Known OR Produced Identification . Type of Identification Produced: _____

Kathy Miller
Signature of Notary
(notary seal must be affixed)

Kathy Miller
Printed Name of Notary



FOR OFFICE USE ONLY

CASE NUMBER: V-2012-09

Meeting Date(s): 7-18-12 Accepted/Verified by: _____ Date: 6/21/12

Fees Paid: \$ 350.00 Receipt #: _____ Permit #: PBA120600015

DESCRIPTION:

(OFFICIAL RECORD BOOK 737, PAGE 587)

A TRACT OF LAND IN SECTION 52, TWP. 2 SOUTH, RGE 30 WEST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE NORTH LINE OF THE SAID SECTION 52 WHERE THE SAID NORTH LINE INTERSECTS THE EASTERLY RIGHT-OF-WAY LINE OF ADMIRAL MURRAY BOULEVARD; THENCE SOUTHERLY ALONG THE EAST RIGHT-OF-WAY LINE OF ADMIRAL MURRAY BOULEVARD, A DISTANCE OF 975.7 FEET TO THE POINT OF BEGINNING OF THE TRACT HEREINAFTER DESCRIBED; THENCE CONTINUING SOUTHERLY ALONG THE SAID RIGHT-OF-WAY LINE, A DISTANCE OF 150.0 FEET; THENCE EASTERLY AT AN ANGLE OF 90 DEGREES, A DISTANCE OF 200.0 FEET; THENCE NORTHERLY AT AN ANGLE OF 90 DEGREES, A DISTANCE OF 150.0 FEET; THENCE WESTERLY AT AN ANGLE OF 90 DEGREES, A DISTANCE OF 200.0 FEET TO THE POINT OF BEGINNING.

Prepared by and return to:
Alan B. Bookman
Emmanuel Sheppard & Condon, P.A.
30 South Spring Street
Pensacola, FL 32502
File no.03867-126147 NBR

PERSONAL REPRESENTATIVE'S DEED

STATE OF FLORIDA
COUNTY OF ESCAMBIA

THIS DEED IS MADE AND ENTERED INTO this 7th day of December, 2011, between NICKI MAC ROSTIE, duly constituted and appointed Personal Representative of the Estate of NICK C. VARAZO, deceased, whose mailing address is 15310 Fossil Rock Road, Athens, Ohio 45701-8830, as party of the first part, and RAY GLASS BATTERIES, INC., a Georgia Corporation, whose address is 1056 E. Jackson Street, Thomasville, Georgia 31792-4743, as party of the second part;

WITNESSETH:

WHEREAS, pursuant to power of sale granted in the last will and testament of NICK C. VARAZO, the Personal Representative has the authority to execute this conveyance;

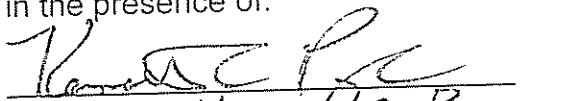
NOW, THEREFORE, in consideration of the foregoing and in consideration of the sum of \$10.00 no/100 Dollars and other good and valuable consideration at and before the sealing and delivery of this deed, receipt of which is hereby acknowledged, party of the first part has sold and conveyed, and does hereby sell and convey unto the said party of the second part, their heirs and assigns, the parcel of land lying and being in Escambia County, Florida, described as follows:

A tract of land in Section 52, Township 2 South, Range 30 West, Escambia County, Florida, more particularly described as follows: Commencing at a point on the North line of the said Section 52 where the said North line intersects the Easterly Right-of-Way Line of Admiral Murray Boulevard; thence Southerly along the East Right-of-Way Line of Admiral Murray Boulevard, a distance of 975.7 feet to the Point of Beginning of the tract hereinafter described; thence continuing Southerly along the said Right-of-Way line, a distance of 150.0 feet; thence Easterly at an angle of 90 degrees, a distance of 200.0 feet; thence Northerly at an angle of 90 degrees, a distance of 150.0 feet; thence Westerly at an angle of 90 degrees, a distance of 200.0 feet to the Point of Beginning.

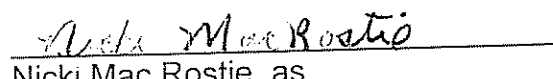
together with all the appurtenances thereunto belonging or in anywise appertaining, to have and to hold the same unto the said party of the second part, their heirs and assigns, in as full and ample manner as same was possessed or enjoyed by the same Nick C. Navaro in his lifetime.

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal this day and year first above written.

Signed, sealed and delivered
in the presence of:


Print Name: Kenneth C. Payne


Name: Nancy B. Riddle


Nicki Mac Rostie, as
Personal Representative of the
Estate of Nick C. Navaro, deceased

STATE OF FLORIDA
COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 7th day of
December, 2011, by Nicki Mac Rostie, as Personal Representative of the Estate of Nick
C. Navaro, deceased, who is personally known to me or who produced DH10
DRIVERS LICENSE as identification.

Nancy B. Riddle
Name: NANCY B. RIDDLE
NOTARY PUBLIC
State of Florida

[NOTARY SEAL]



NANCY B. RIDDLE
Notary Public, State of Florida
My Comm. Expires Sept. 21, 2014
Commission No. EE 14928

SITE CONSTRUCTION PLANS

FOR

BATTERY SOURCE

702 NORTH NAVY BOULEVARD

ESCAMBIA COUNTY, FLORIDA

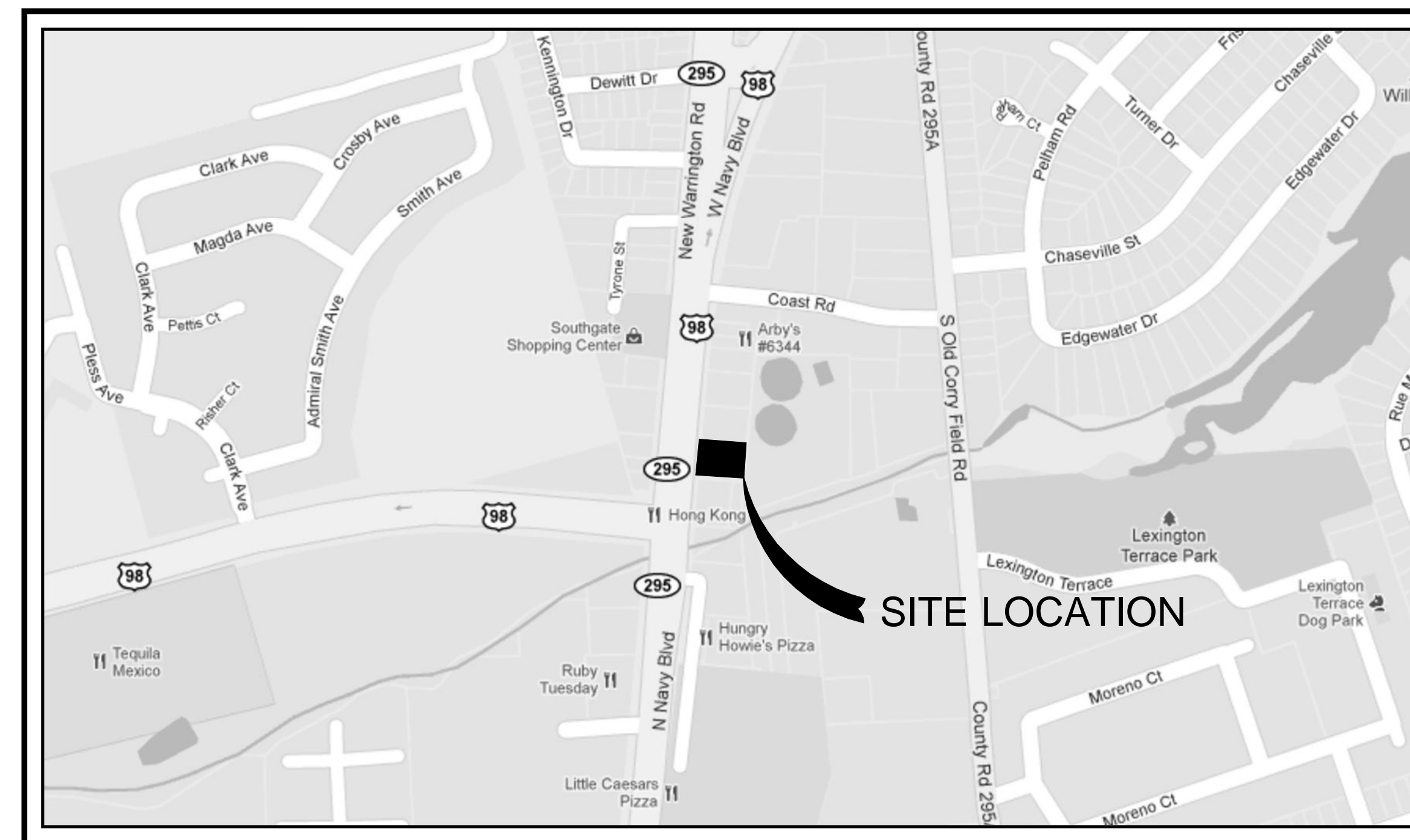
August 26, 2011

RBA PROJECT NO.: 2011.056

SITE INFORMATION	
OWNER:	RAY GLASS BATTERIES, INC. 1506 E. JACKSON ST. THOMASVILLE, GEORGIA 31792
DEVELOPER:	RAY GLASS BATTERIES, INC. 1506 E. JACKSON ST. THOMASVILLE, GEORGIA 31792
PROPERTY REFERENCE NO.:	52-2S-30-2501-000-009
PROPERTY ADDRESS:	702 N NAVY BLVD 32507
PROPERTY AREA:	0.69 ACRES
PROJECT AREA:	0.69 ACRES
PROPERTY ZONING:	C-1
FUTURE LAND USE:	COMMERCIAL
PROPOSED ACTIVITY:	RETAIL
REQUIRED BUILDING SETBACKS C-1:	FRONT YARD - 15 FT. SIDE YARD - 10 FT. REAR YARD - 15 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	369	G	SEPT 29, 2006

CONTACTS	
GULF POWER 500 BAYFRONT PARKWAY PENSACOLA, FLORIDA 32520	CONTACT: DON SCHOFIELD PHONE: 850.444.6555 FAX: 850.444.6432
COX CABLE 2205 LAVISTA AVE. PENSACOLA, FLORIDA 32504	CONTACT: RICHARD EMMONS PHONE: 850.477.2695 FAX: 850.479.3912
ECUA P.O. BOX 15311 PENSACOLA, FLORIDA 32514	CONTACT: WENDELL KUTZER PHONE: 850.476.5110
PEOPLES WATER SERVICES 905 LOWNDE AVE. PENSACOLA, FLORIDA 32507	CONTACT: MARK CROSS PHONE: 850.455.8552 FAX: 850.456.1010
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: JOHN DeMARS PHONE: 850.474.5322 FAX: 850.474.5330
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: SHARON BLACKMAN PHONE: 850.436.1662
ESCAMBIA COUNTY ENGINEER 1190 W. LEONARD STREET PENSACOLA, FLORIDA 32501	CONTACT: JOY BLACKMON PHONE: 850.595.3434
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770



VICINITY MAP
SCALE: 1" = 500'



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657
LB7916

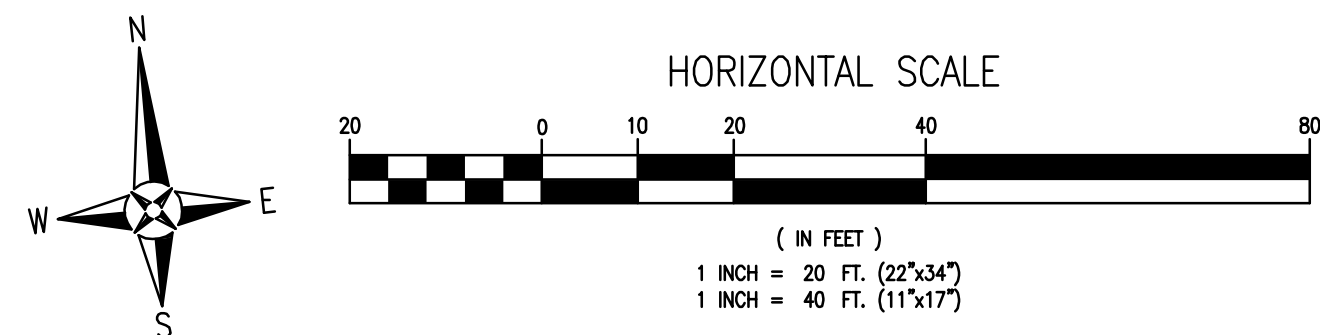
INDEX OF DRAWINGS

- C1.0 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS
- C1.2 GROUNDWATER / WELLHEAD PROTECTION PLAN A
- C2.0 SITE LAYOUT AND DIMENSION PLAN
- C2.1 SITE DETAILS
- C2.2 SITE DETAILS
- C2.3 SITE DETAILS
- C2.4 SITE DETAILS
- C3.0 GRADING AND DRAINAGE PLAN
- C3.1 DRAINAGE DETAILS
- C4.0 UTILITY PLAN
- C4.1 UTILITY DETAILS
- C5.0 LANDSCAPE PLAN
- C6.0 FDOT 660' SURVEY
- C6.1 MOT PLAN
- C6.2 MOT PLAN

LEGAL DESCRIPTION

BEG AT INTER OF N LI OF SEC AND E R/W LI OF NAVY BLVD SLY
ALG BLVD 975 7/10 FT FOR POB ELY 200 FT SLY 150 FT WLY 200
FT NLY 150 FT TO POB OR 737 P 587 OR 6257 P 934 CA 181

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.



LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	DEMOLITION
[Line]	BOUNDARY LINE
[Line]	EASEMENT LINE
[Line]	LOT LINE
[Line]	RIGHT-OF-WAY LINE
[Line]	WATER LINE
[Line]	SEWER LINE (GRAVITY)
[Line]	FORCE MAIN
[Line]	OVERHEAD UTILITIES
[Line]	GAS LINE
[Line]	EXISTING CONTOUR
[Line]	TREE LINE
[Pattern]	STRAW BALE
[Line]	SILT FENCE
[Symbol]	BENCHMARK
[Symbol]	FIRE HYDRANT
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	MANHOLE
[Symbol]	GUY ANCHOR
[Symbol]	UTILITY POLE
[Symbol]	LIGHT POLE
[Symbol]	SIGN

DEMOLITION NOTES:

- ALL DEBRIS RESULTING FROM THE PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
- THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.
- NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE OWNER.

EROSION CONTROL NOTES:

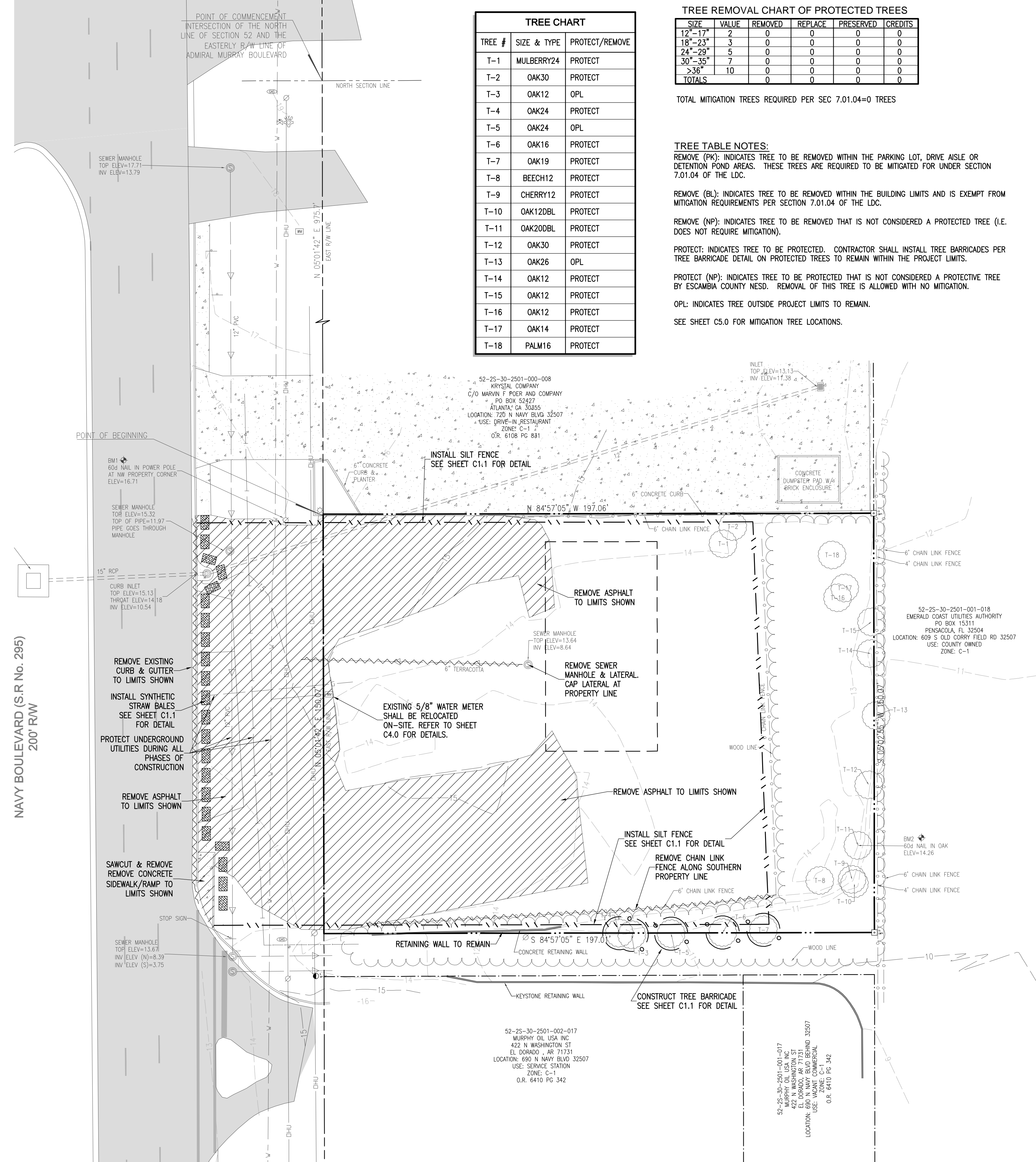
- THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS A SUGGESTION ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
- AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG ALL BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
- THE CONTRACTOR SHALL INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.

TREE PROTECTION NOTES:

- NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
- STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
- NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
- FOR VIABILITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF 1" DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOE). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
- THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
- ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
- THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE 2010 FDOT INDEX OR LATEST ADDITION.
- ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.
- ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.
- THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
- DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
- THE OWNER/CONTRACTOR SHALL COORDINATE ANY ANTICIPATED COMMENCEMENT OF CONSTRUCTION WITH THE ENGINEER OF RECORD. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR SUBMITTING THE 'CONSTRUCTION COMMENCEMENT NOTICE FORM' 62-346.900(3).
- UPON SUBSTANTIAL COMPLETION, THE OWNER/CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD IS RESPONSIBLE FOR INSPECTION OF THE PERMITTED FACILITY FOR COMPLIANCE WITH THE APPROVED PERMIT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE 'AS BUILT CERTIFICATION FORM' 62-346.900(4) WITHIN 30 DAYS AFTER WORK IS DEEMED COMPLETE.
- THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE 'REQUEST FOR CONVERSION OF STORMWATER MANAGEMENT PERMIT CONSTRUCTION PHASE TO OPERATION AND MAINTENANCE PHASE FORM' 62-346.900(6). THIS FORM SHALL BE SUBMITTED CONCURRENTLY WITH THE AS BUILT CERTIFICATION.
- THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.



TREE CHART		
TREE #	SIZE & TYPE	PROTECT/REMOVE
T-1	MULBERRY24	PROTECT
T-2	OAK30	PROTECT
T-3	OAK12	OPL
T-4	OAK24	PROTECT
T-5	OAK24	OPL
T-6	OAK16	PROTECT
T-7	OAK19	PROTECT
T-8	BEECH12	PROTECT
T-9	CHERRY12	PROTECT
T-10	OAK12DBL	PROTECT
T-11	OAK20DBL	PROTECT
T-12	OAK30	PROTECT
T-13	OAK26	OPL
T-14	OAK12	PROTECT
T-15	OAK12	PROTECT
T-16	OAK12	PROTECT
T-17	OAK14	PROTECT
T-18	PALM16	PROTECT

TREE REMOVAL CHART OF PROTECTED TREES					
SIZE	VALUE	REMOVED	REPLACE	PRESERVED	CREDITS
12"-17"	2	0	0	0	0
18"-23"	3	0	0	0	0
24"-29"	5	0	0	0	0
30"-35"	7	0	0	0	0
>36"	10	0	0	0	0
TOTALS		0	0	0	0

TOTAL MITIGATION TREES REQUIRED PER SEC 7.01.04=0 TREES

TREE TABLE NOTES:

REMOVE (PK): INDICATES TREE TO BE REMOVED WITHIN THE PARKING LOT, DRIVE ASLE OR DETENTION POND AREAS. THESE TREES ARE REQUIRED TO BE MITIGATED FOR UNDER SECTION 7.01.04 OF THE LDC.

REMOVE (BL): INDICATES TREE TO BE REMOVED WITHIN THE BUILDING LIMITS AND IS EXEMPT FROM MITIGATION REQUIREMENTS PER SECTION 7.01.04 OF THE LDC.

REMOVE (NP): INDICATES TREE TO BE REMOVED THAT IS NOT CONSIDERED A PROTECTED TREE (I.E. DOES NOT REQUIRE MITIGATION).

PROTECT: INDICATES TREE TO BE PROTECTED. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE DETAIL ON PROTECTED TREES TO REMAIN WITHIN THE PROJECT LIMITS.

PROTECT (NP): INDICATES TREE TO BE PROTECTED THAT IS NOT CONSIDERED A PROTECTIVE TREE BY ESCAMBIA COUNTY NEDS. REMOVAL OF THIS TREE IS ALLOWED WITH NO MITIGATION.

OPL: INDICATES TREE OUTSIDE PROJECT LIMITS TO REMAIN.

SEE SHEET C5.0 FOR MITIGATION TREE LOCATIONS.

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2303 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32508
 Telephone 850.438.0400 Fax 850.438.0448
 EB 00009857 LP1916

EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN

Battery Source
 702 NORTH NAVY BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO DRC COMMENTS	FDOT COMMENTS
1	8-24-11			
1	8-31-11			

SEAL
 RELEASED FOR CONSTRUCTION
 Paul A. Battle, P.E.
 No. 53126

Dr. By: CBD
 Ck By: PAB
 Job No.: 2011.056
 Date: 8-19-2011

DRAWING No.
C1.0
 SHEET 2 OF 17

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.
- *5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- *6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
- *7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- *8. A CRUSHED LIMESTONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMESTONE 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- *10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

- *10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE
CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:
SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

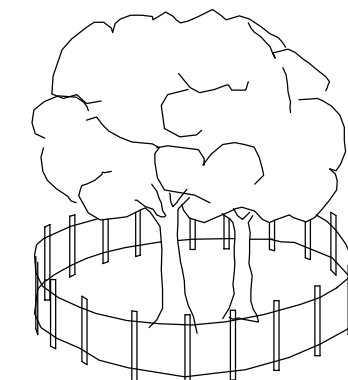
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FOOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S).
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



NOTE:
ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE.

TREE BARRICADE DETAIL

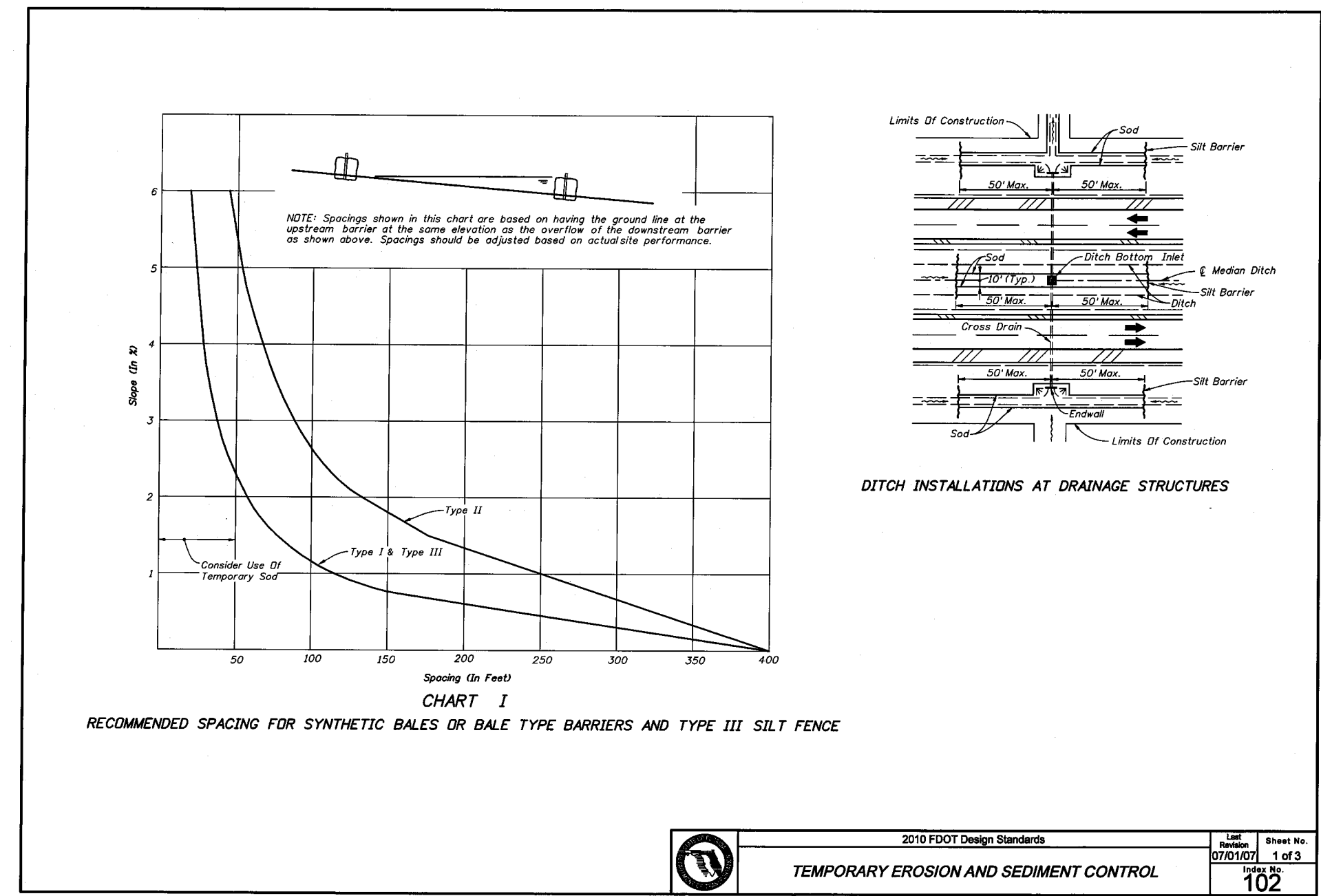
N.T.S.

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

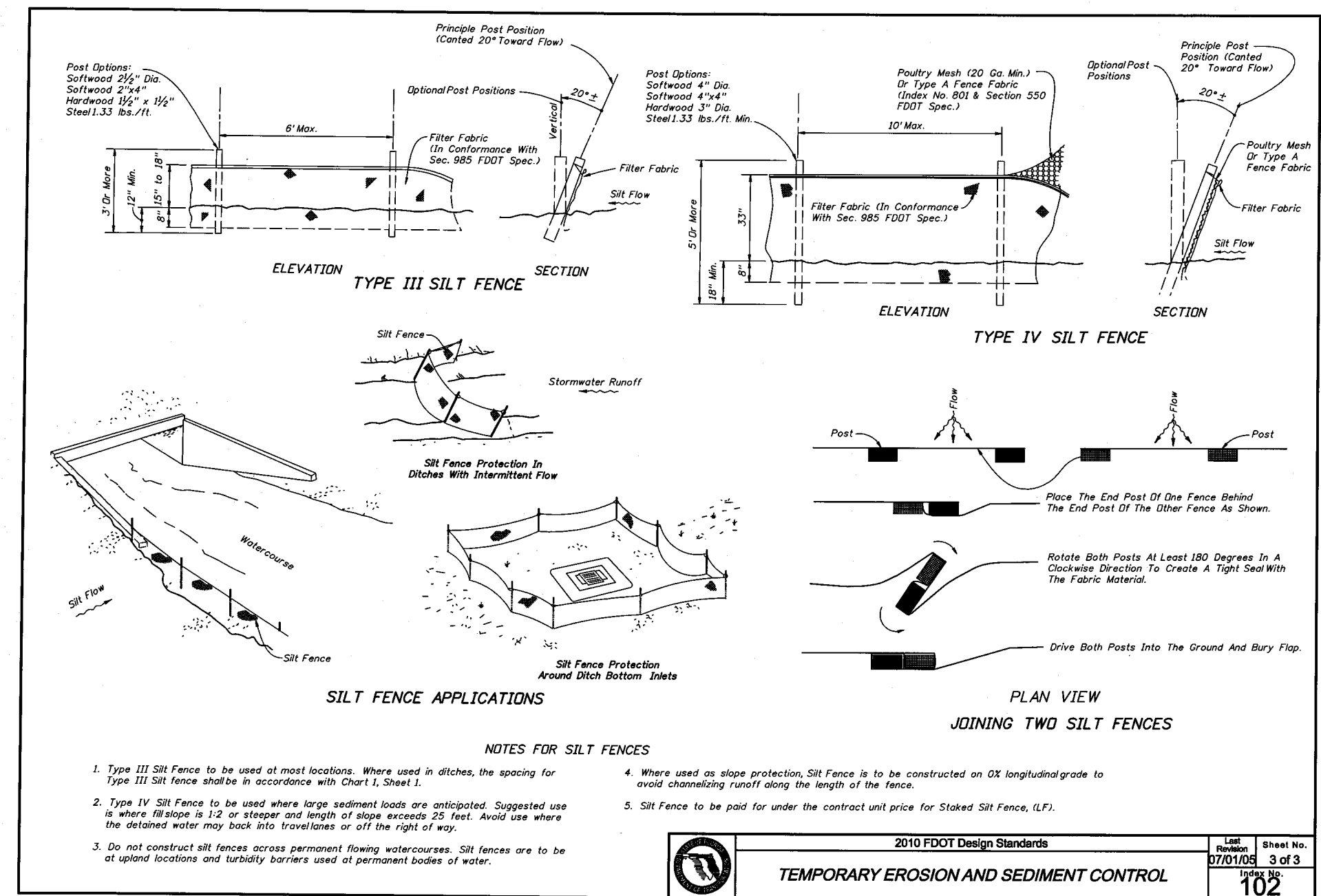
INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

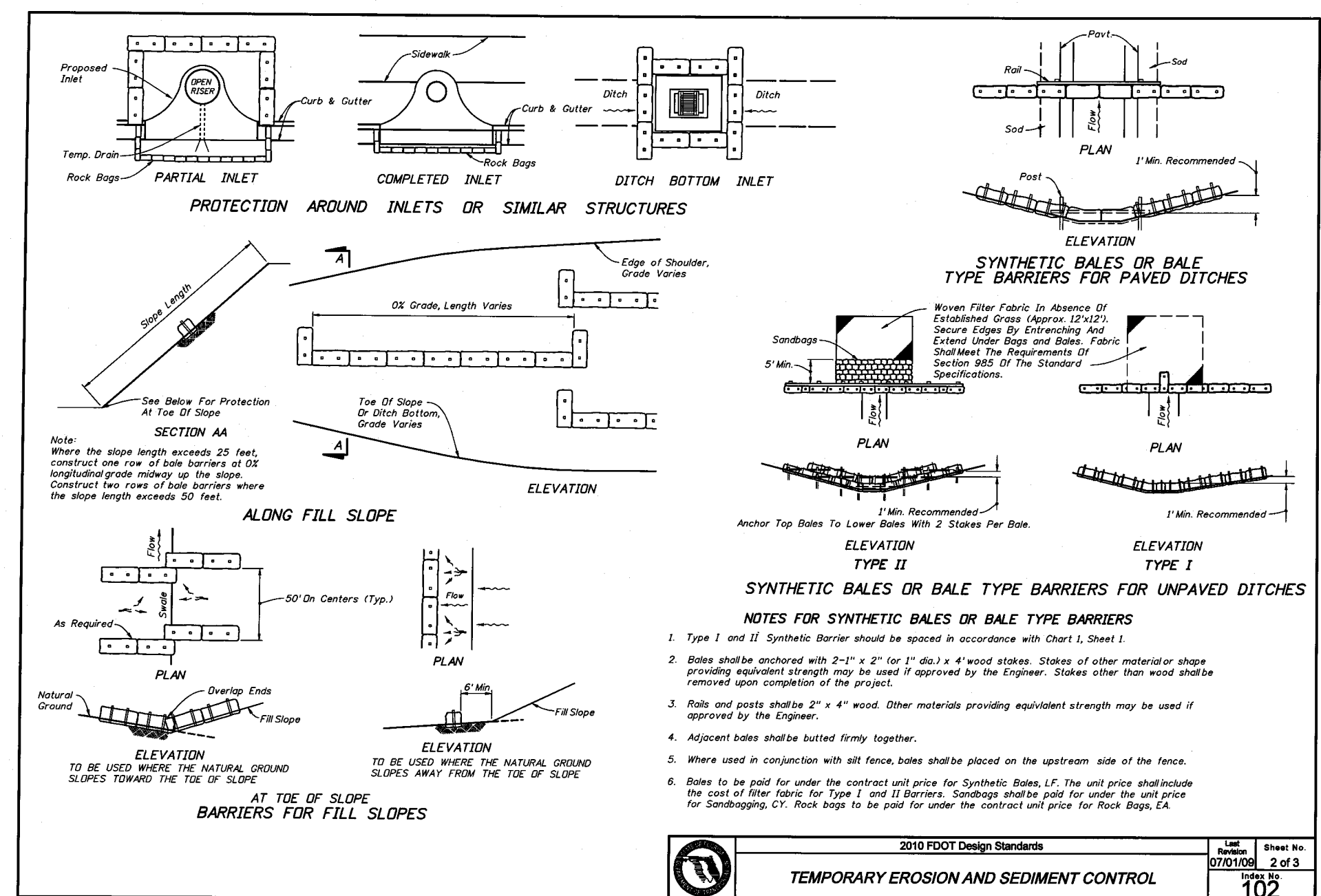
SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCORLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.



2010 FDOT Design Standards
TEMPORARY EROSION AND SEDIMENT CONTROL
Sheet No. 1 of 3
102



2010 FDOT Design Standards
TEMPORARY EROSION AND SEDIMENT CONTROL
Sheet No. 3 of 3
102



2010 FDOT Design Standards
TEMPORARY EROSION AND SEDIMENT CONTROL
Sheet No. 2 of 3
102

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2300 N. Ninth Avenue, Suite 300
Panama City, Florida 32368
Telephone 850-438-0400 Fax 850-438-0448
EB 00009857 LP1916

EROSION CONTROL
DETAILS

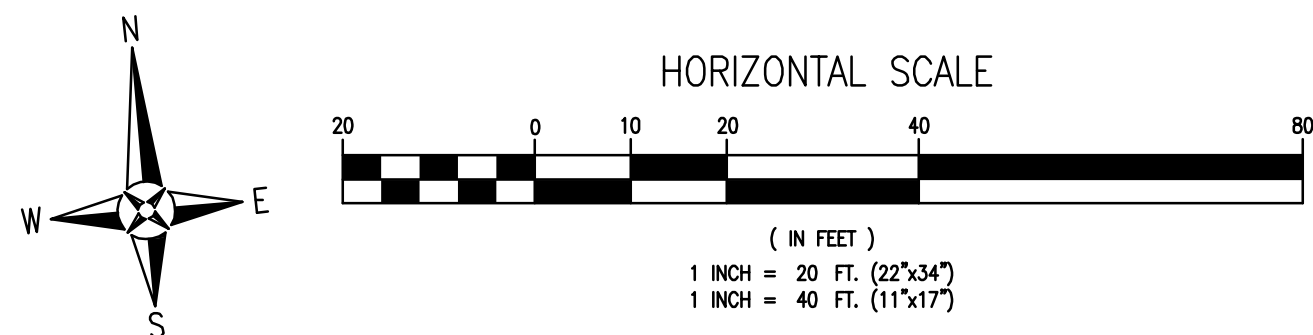
Battery Source
702 NORTH NAVY BOULEVARD
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	ESCO DRC COMMENTS	FDOT COMMENTS
No. 1	8-24-11		
1	8-31-11		

SEAL
RELEASED FOR CONSTRUCTION
Paul A. Battle, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2011.056
Date: 8-19-2011

DRAWING No.
C1.1
SHEET 3 OF 17



LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ON-SITE ASPHALT
	PROPOSED FDOT ASPHALT
	PROPOSED CONCRETE

GENERAL NOTES:

- NO LANE CLOSURES WILL BE ALLOWED ON HOLIDAYS INCLUDING THE DAY PROCEEDING AND THE DAY FOLLOWING. NO LANE CLOSURES WILL BE ALLOWED DURING THE HOURS OF 6:00 AM TO 9:00 PM.
- ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO 2010 FDOT STANDARD INDEX 17346 OR LATEST EDITION.
- ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT SPECIFICATIONS.
- ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER 2010 FDOT STANDARD INDEX 105 OR LATEST EDITION.
- ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO 2010 FDOT STANDARD INDEX 17346 OR LATEST EDITION.
- ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
- ALL SIGNS SHALL BE INSTALLED PER 2010 FDOT STANDARD INDEX 11865, WIND ZONE No.1 OR LATEST EDITION.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

PARKING REQUIREMENTS:

TOTAL REQUIRED PARKING SPACES (COMMERCIAL RETAIL)
 (1 SPACE PER 300 SF : 3000 SF/300=10 (10 SPACES))
 TOTAL PARKING SPACES REQUIRED = 10
 TOTAL PARKING SPACES PROVIDED = 16
 STANDARD PARKING SPACES = 15
 H.C. PARKING SPACES = 1
 (1 H.C. / 25 SPACES)

AREA CALCULATIONS:

EXISTING BUILDING AREA = 0 SF
 EXISTING IMPERVIOUS AREA = 7,465 SF
 EXISTING PVIOUS AREA = 22,591 SF

PROPOSED BUILDING AREA = 3,000 SF
 PROPOSED IMPERVIOUS AREA = 14,327 SF (48%)
 PROPOSED PVIOUS AREA = 15,729 SF (52%)
 PROPOSED LANDSCAPED AREA (MINUS POND) = 12,579 SF (42%)

PROJECT AREA = 30,056 SF

SIGNAGE NOTE:

TOTAL SITE SIGN AREA, WALL AND FREESTANDING, IS LIMITED TO 225.11 SQ. FT. (150.07x1.5) AND 35 FEET IN HEIGHT. TOTAL WALL SIGN AREA IS ADDITIONALLY LIMITED TO 10% OF THE AREA OF WALL SURFACE FACING NORTH NAVY BLVD, AND NO ONE SIGN MAY EXCEED 200 SQ. FT. EACH FREESTANDING SIGN IS LIMITED TO A MINIMUM 10 FEET SETBACK FROM RIGHTS-OF-WAY AND MUST MAINTAIN VISUAL CLEARANCE ALONG RIGHTS-OF-WAY AND AT INTERSECTIONS. A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERRECTING, CONSTRUCTING, ALTERING, OR RELOCATING ANY SITE SIGNAGE.

EVACUATION NOTE:

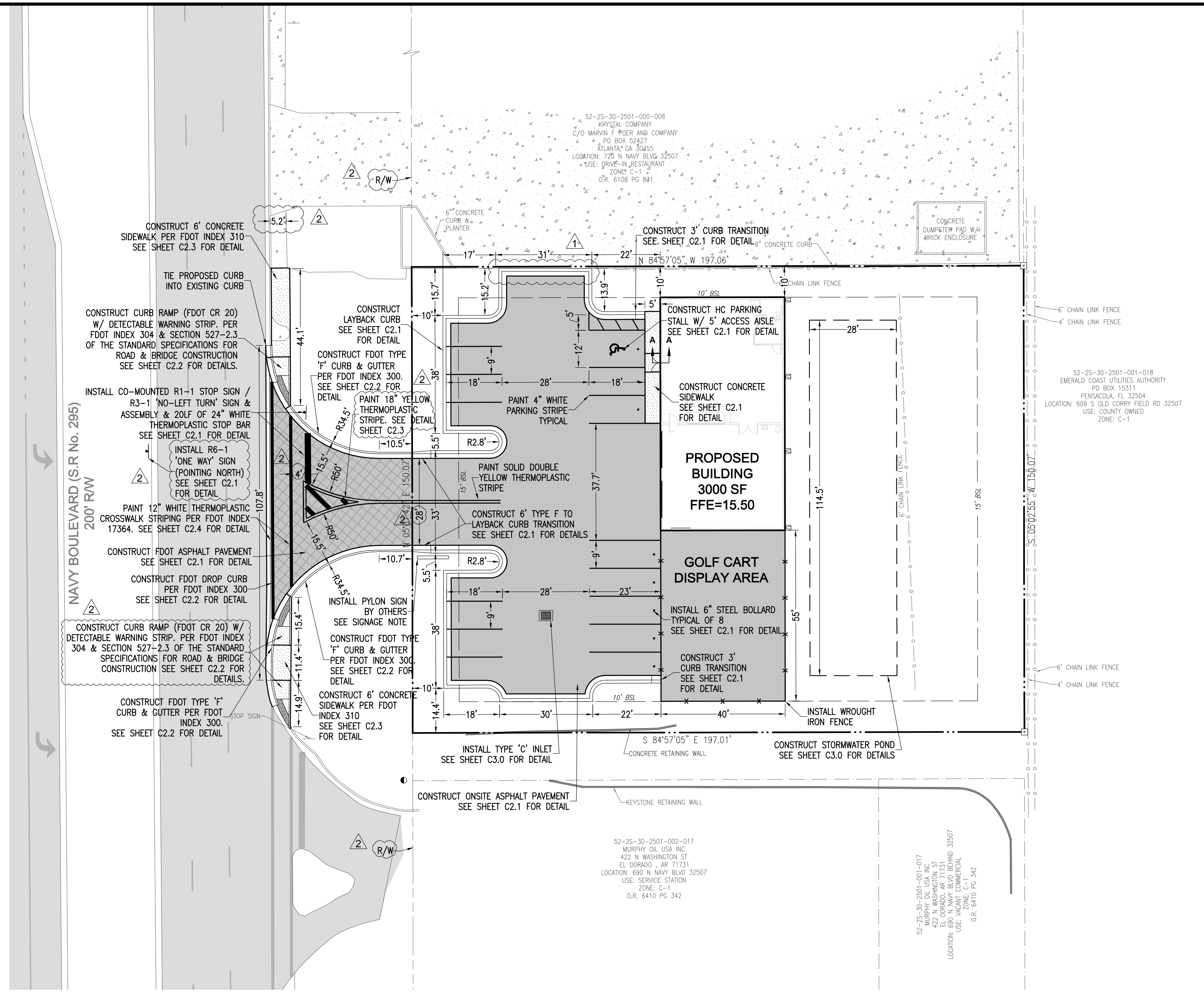
ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.

PROJECT NOTES:

TRASH PICK-UP WILL BE PROVIDED BY CURB SIDE PICK-UP.

POSTED SPEED LIMITS:

THE POSTED SPEED LIMIT ON NORTH NAVY BLVD IS 40 MPH.



FDOT 2010 SPECIFICATION 527-2.3 COLOR/CONTRAST NOTE:
 USE SAFETY YELLOW, BRICK RED, OR BLACK COLORED DETECTABLE WARNINGS, THAT PROVIDE AN ACCEPTABLE COLOR/CONTRAST ON CONCRETE SIDEWALK. ACCEPTABLE DETECTABLE WARNINGS AS LISTED ON THE QUALIFIED PRODUCTS LIST WILL MEET THE FOLLOWING CRITERIA FOR A DURATION OF THREE YEARS.

COLOR	LIGHT REFLECTANCE VALUE (LRV) CAP
SAFETY YELLOW	25 - 40
BRICK RED	5 - 15
BLACK COLORED	0 - 15

WHEN MEASURED WITH A SPECTROMETER

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2304 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32508
 Telephone 850.438.0400 Fax 850.438.0448
 EB 00009857 LP1916

SITE LAYOUT & DIMENSION PLAN

Battery Source
 702 NORTH NAVY BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	8-24-11	ESCO DRC COMMENTS
1	8-31-11	FDOT COMMENTS

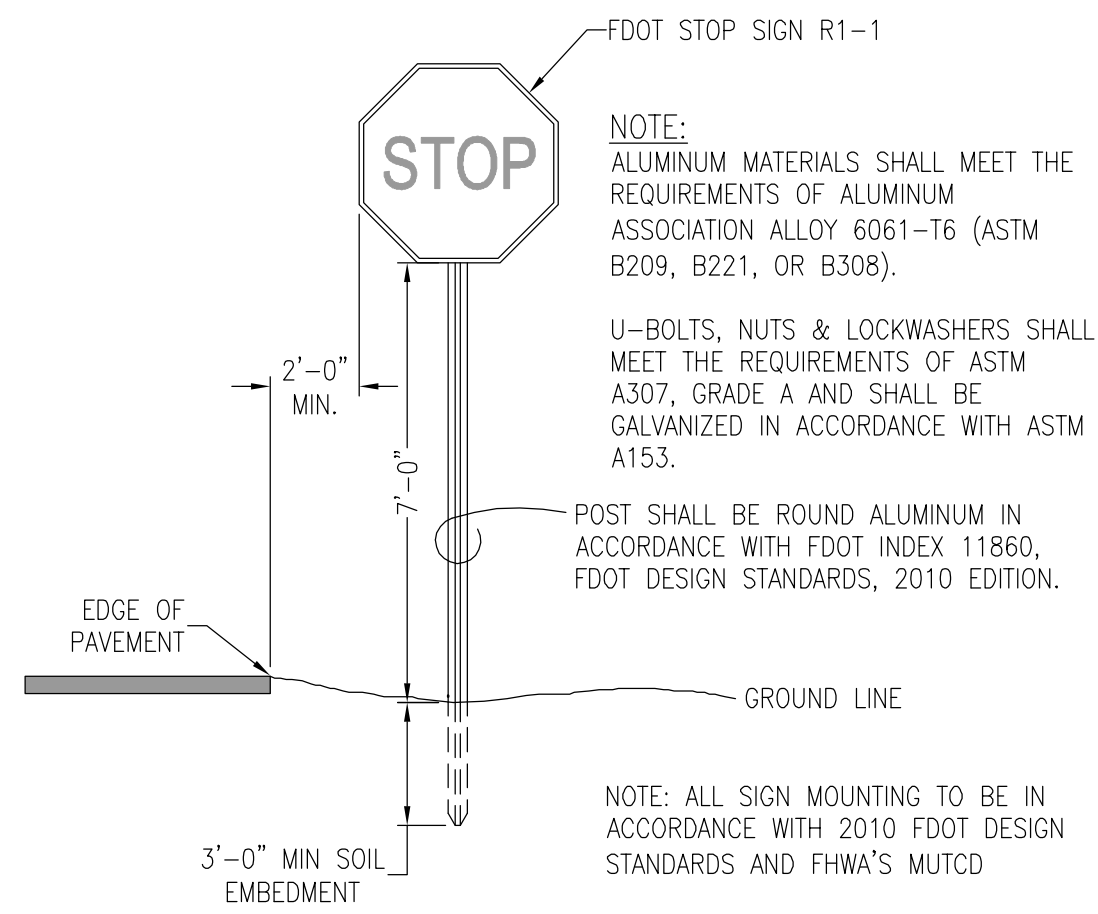
SEAL
 RELEASED FOR CONSTRUCTION

Paul A. Battle, P.E.
 No. 53126

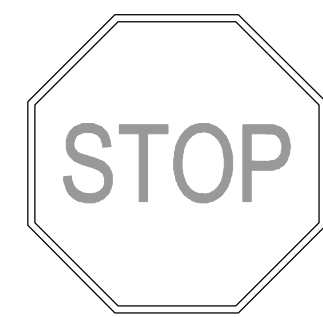
Dr. By: CBD
 Ck By: PAB
 Job No.: 2011.056
 Date: 8-19-2011

DRAWING No.
C2.0
 SHEET 5 OF 17

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



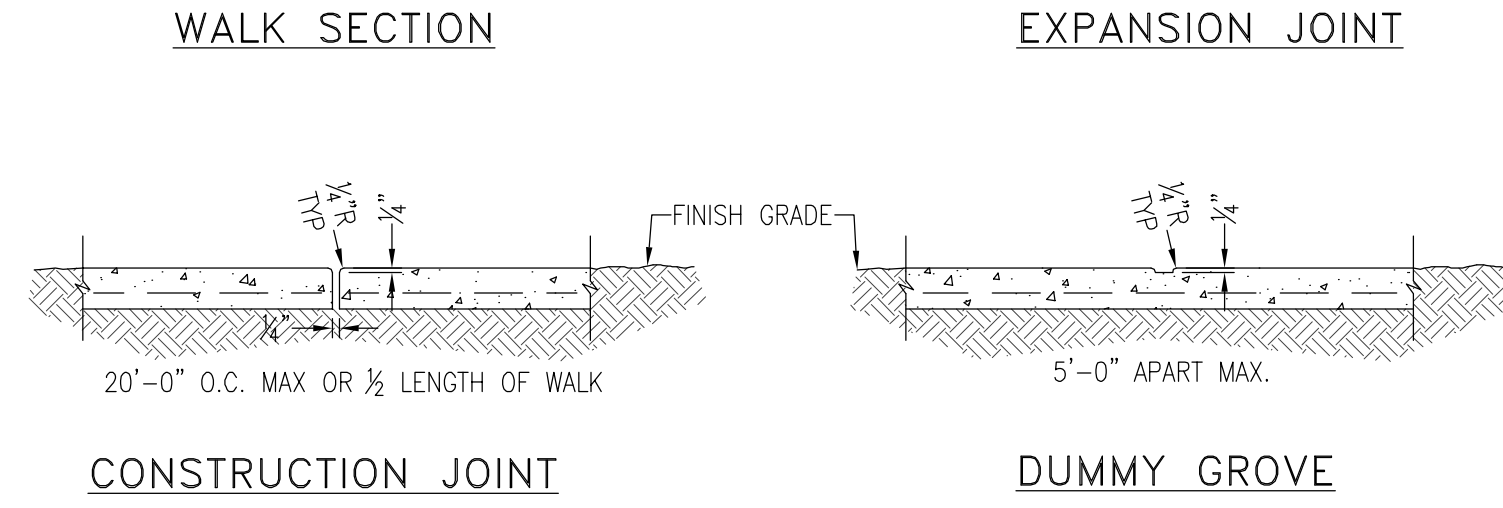
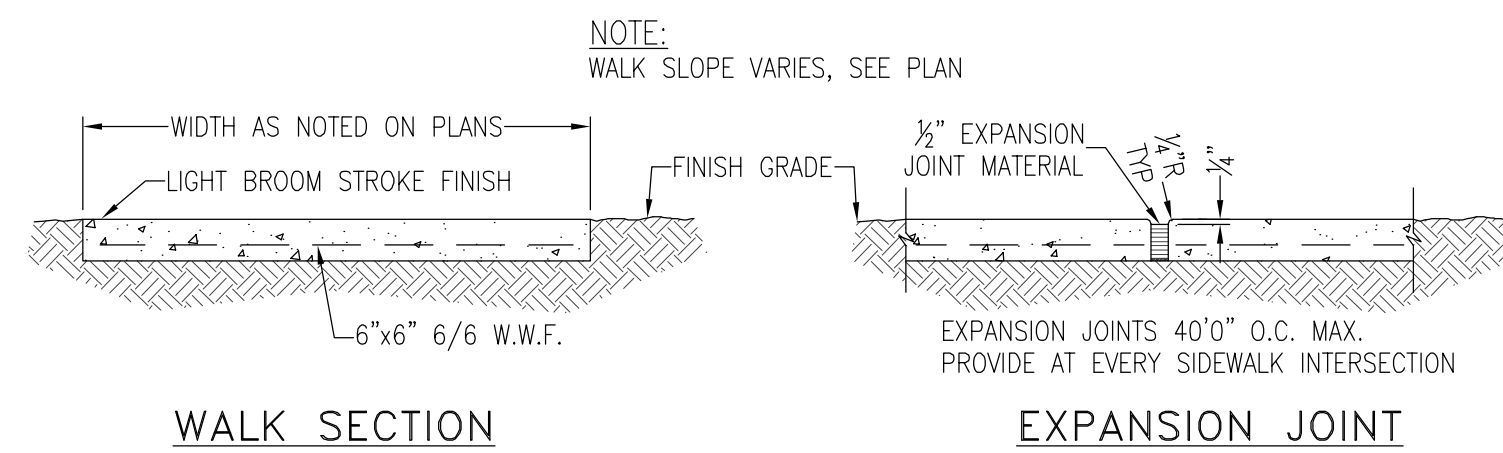
SIGN MOUNTING DETAIL
N.T.S.



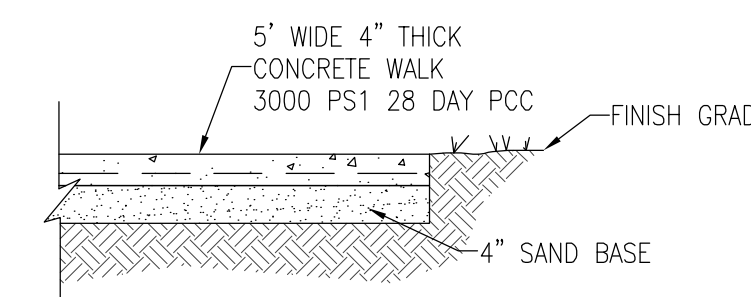
FDOT STANDARD R1-1
2'-0" x 2'-0"
N.T.S.



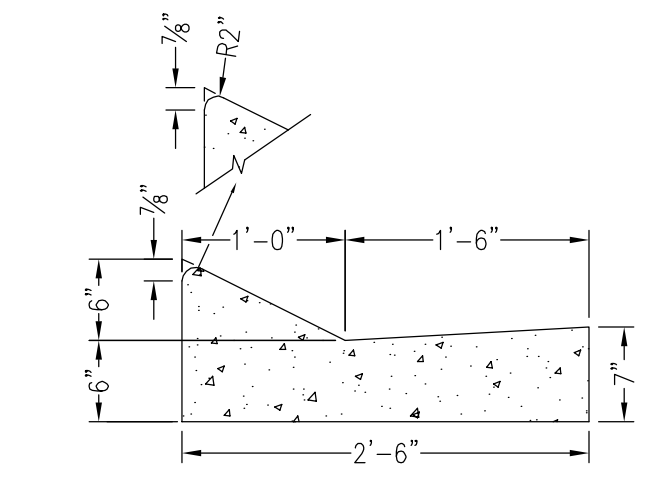
FDOT STANDARD R6-1
ONE WAY SIGN
3'-0" x 1'-0"



SIDEWALK DETAILS
N.T.S.

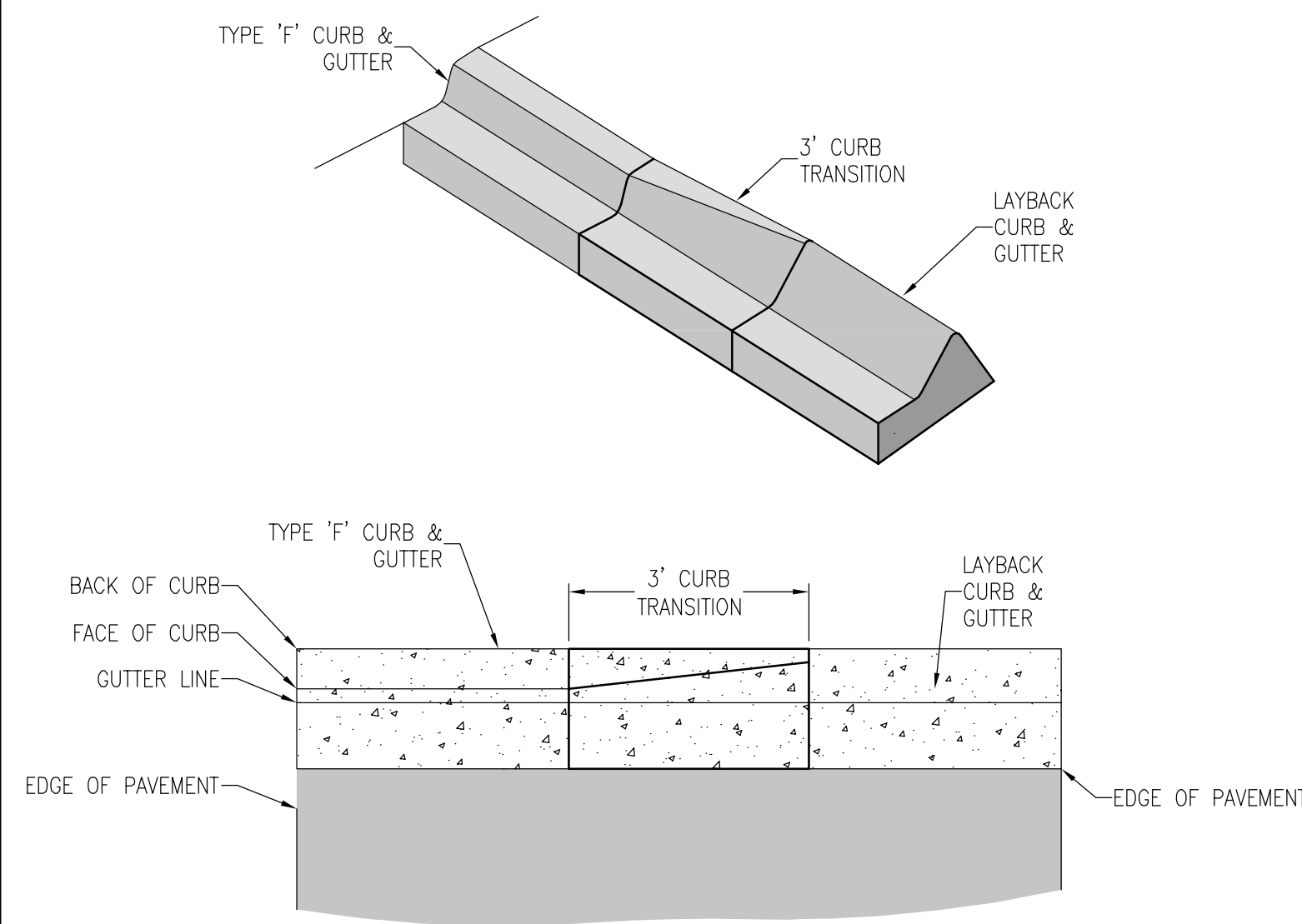


SIDEWALK DETAIL
N.T.S.

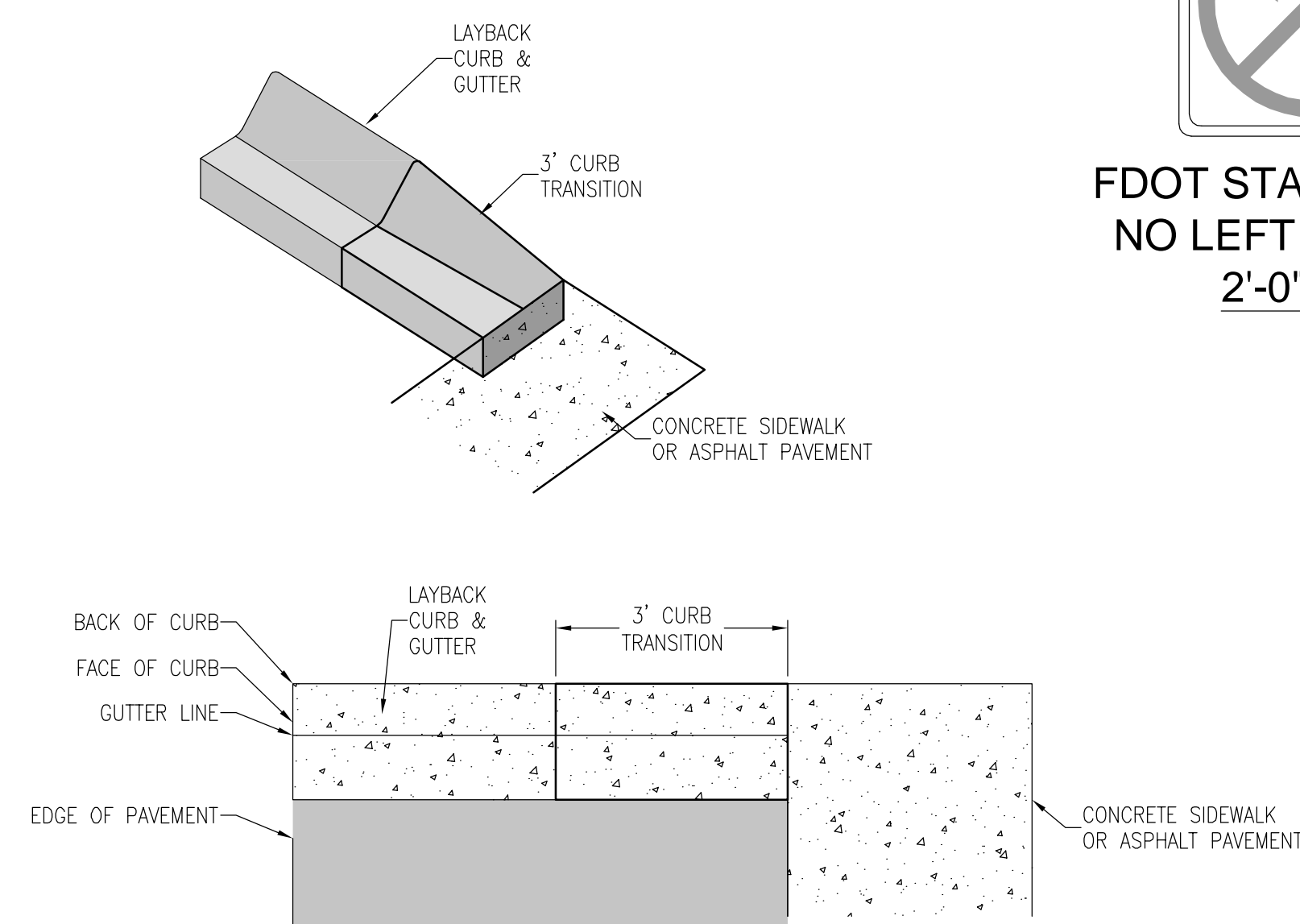


- NOTES:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.
3. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS.

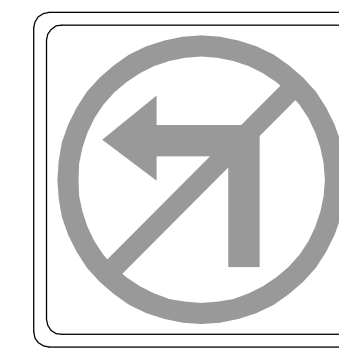
LAYBACK CURB & GUTTER
N.T.S.



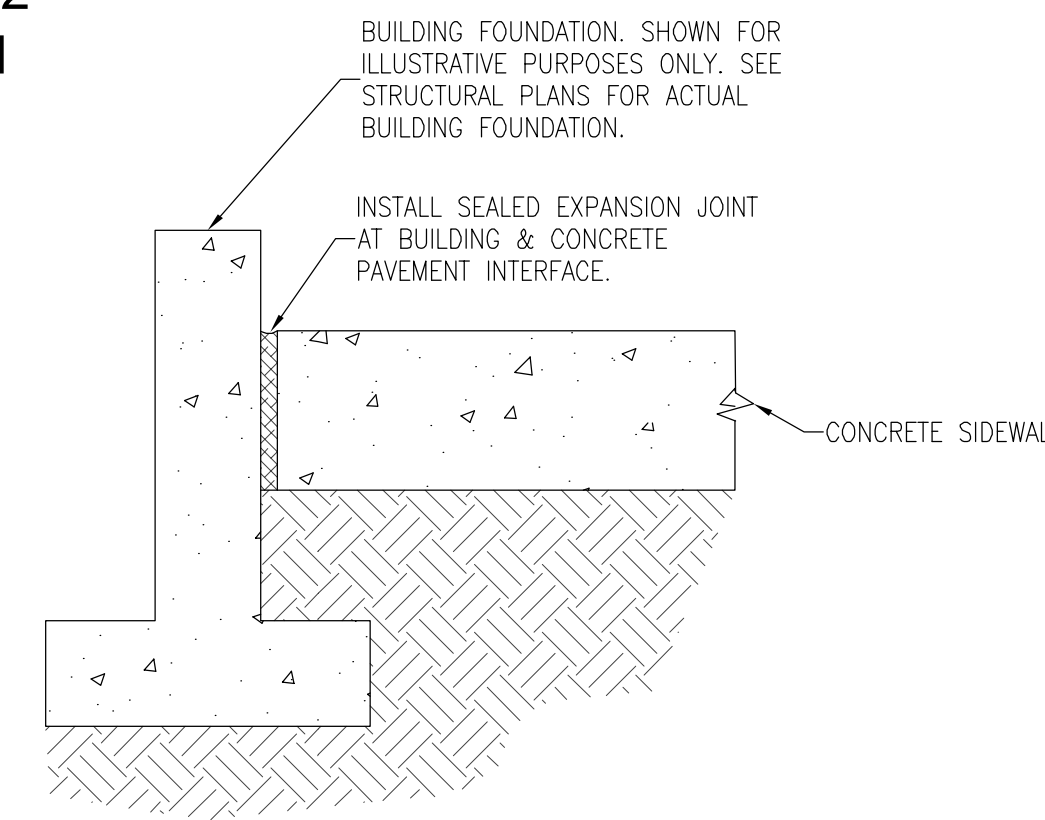
CURB TRANSITION
TYPE 'F' TO LAYBACK CURB & GUTTER
N.T.S.



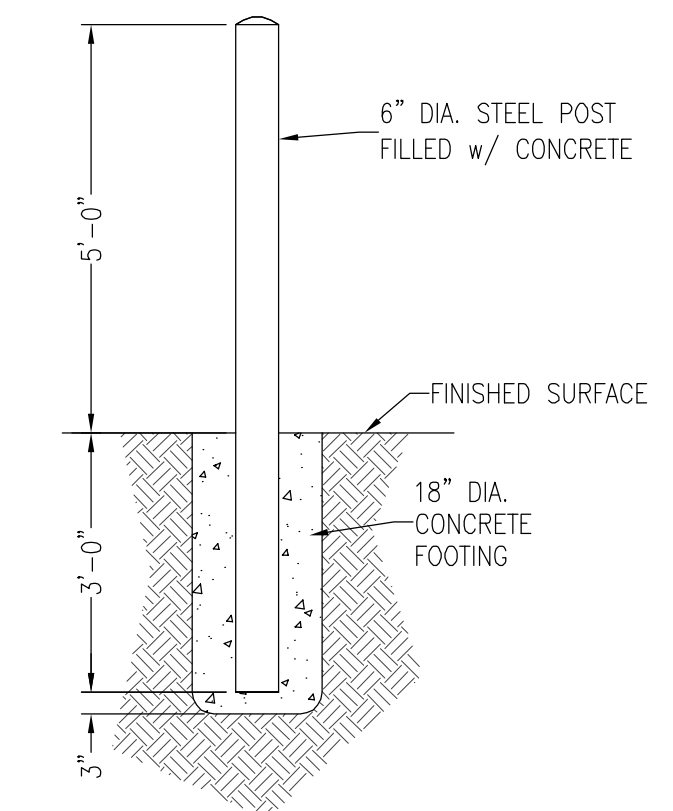
CURB TRANSITION
LAYBACK CURB & GUTTER TO END
N.T.S.



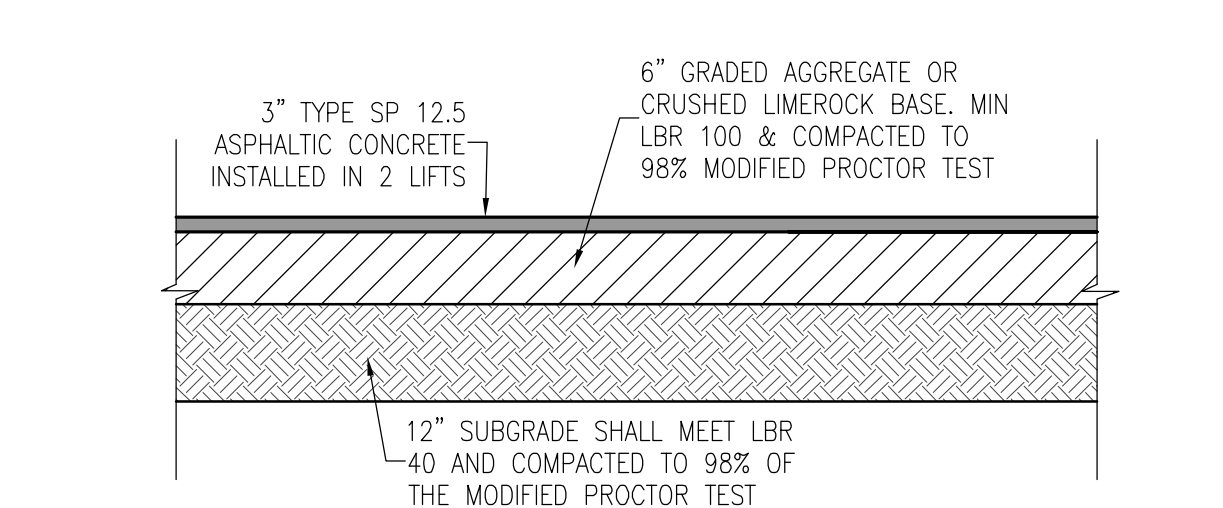
FDOT STANDARD R3-2
NO LEFT TURN SIGN
2'-0" x 2'-0"



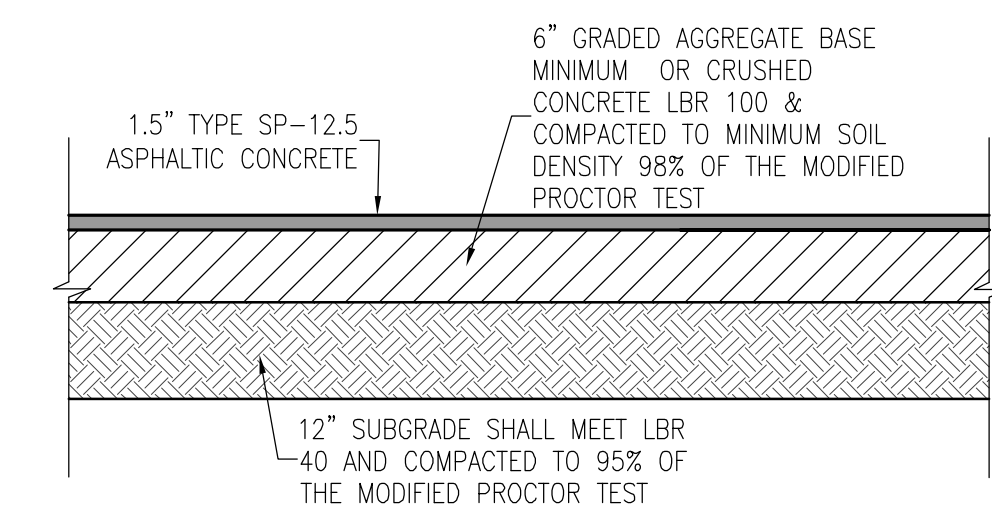
EXPANSION JOINT AT BUILDING FOUNDATION
CROSS SECTION A-A
N.T.S.



BOLLARD DETAIL
N.T.S.



FDOT ASPHALT DRIVEWAY PAVEMENT DETAIL
N.T.S.

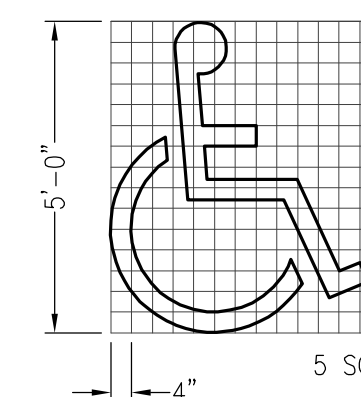


ON-SITE ASPHALT PAVEMENT DETAIL
N.T.S.

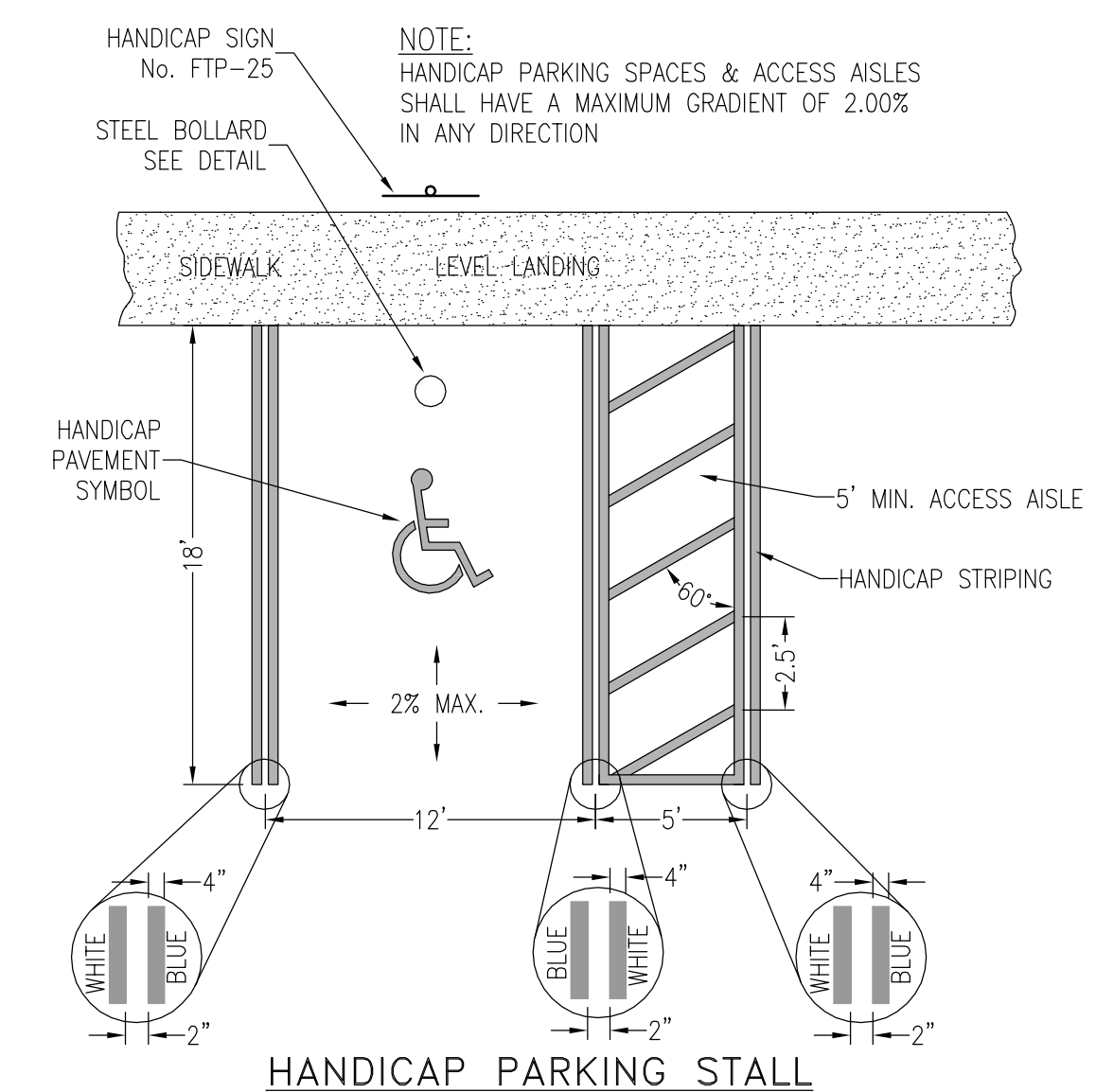


- NOTES:
1. TOP PORTION OF FTP 25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7" FROM PAVEMENT TO BOTTOM OF SIGN).
5. SIGN COLUMN TO BE AS PER F.D.O.T. STANDARDS, INDEX NO'S 11860 AND 11865.

SIGN USED AS PER FLORIDA STATUTES
FTP 25 Per FS 316.1955, FS 316.1956



HANDICAP PAVEMENT SYMBOL



HANDICAP PARKING STALL

HANDICAP PARKING STALL DETAILS
N.T.S.

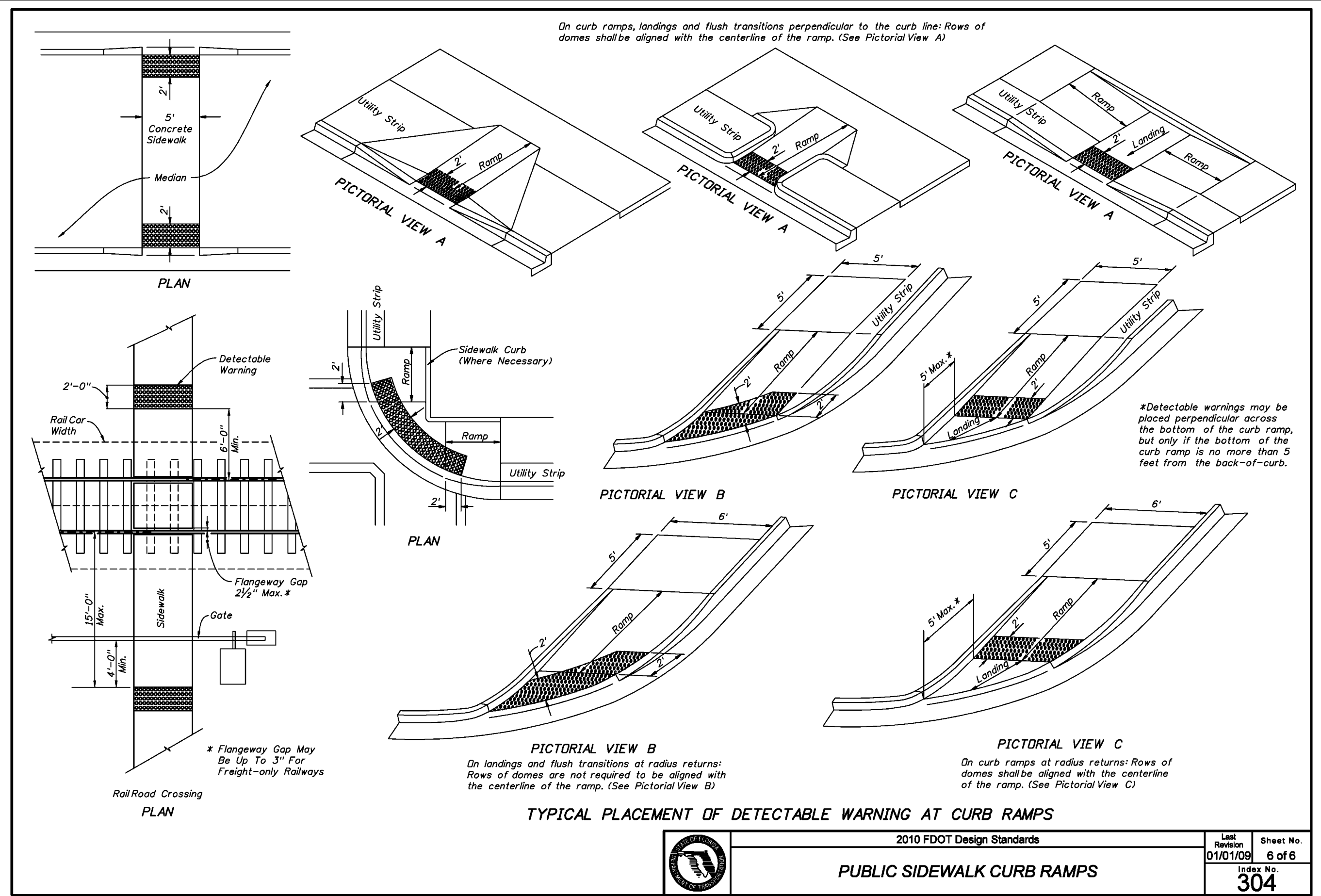
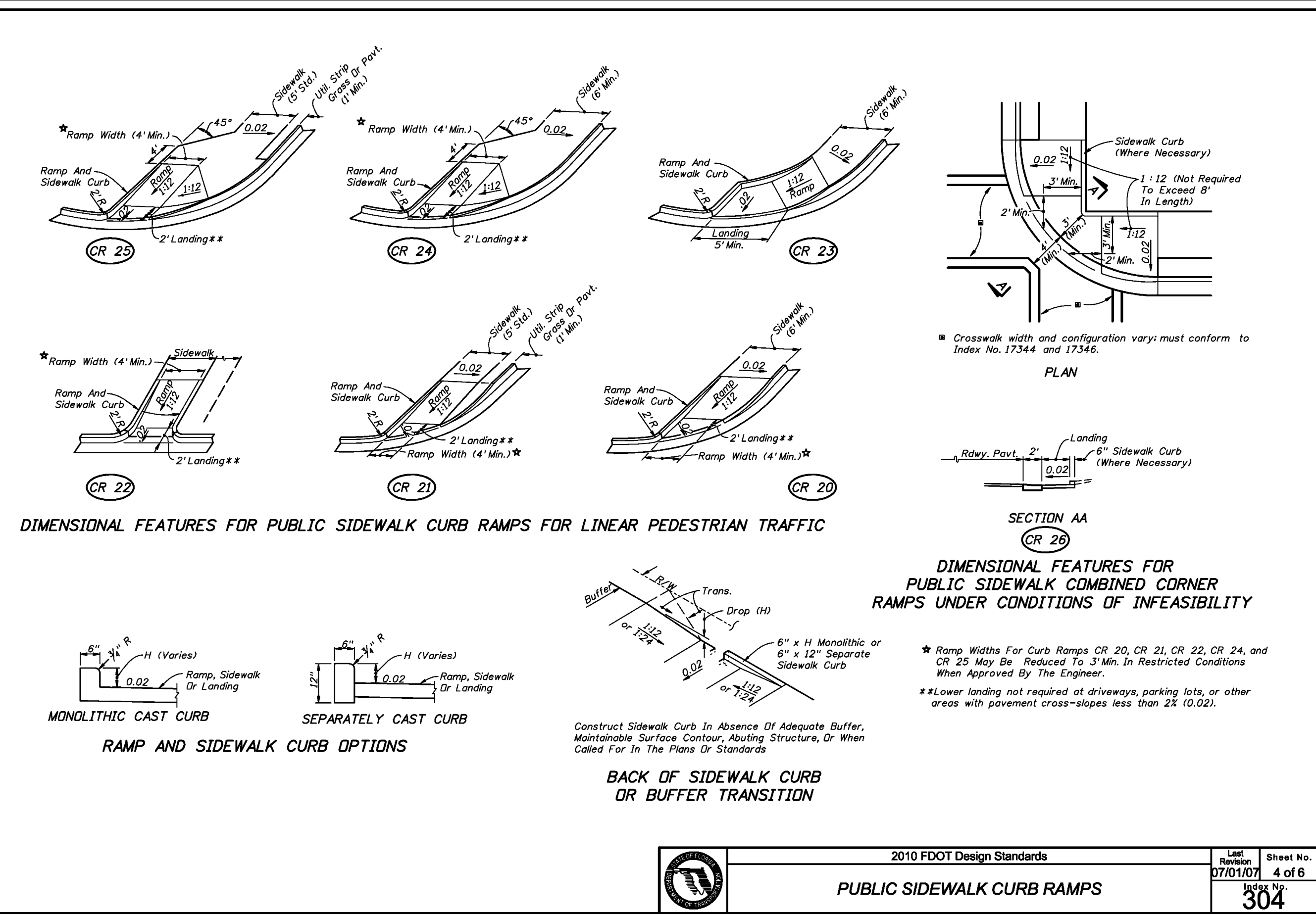
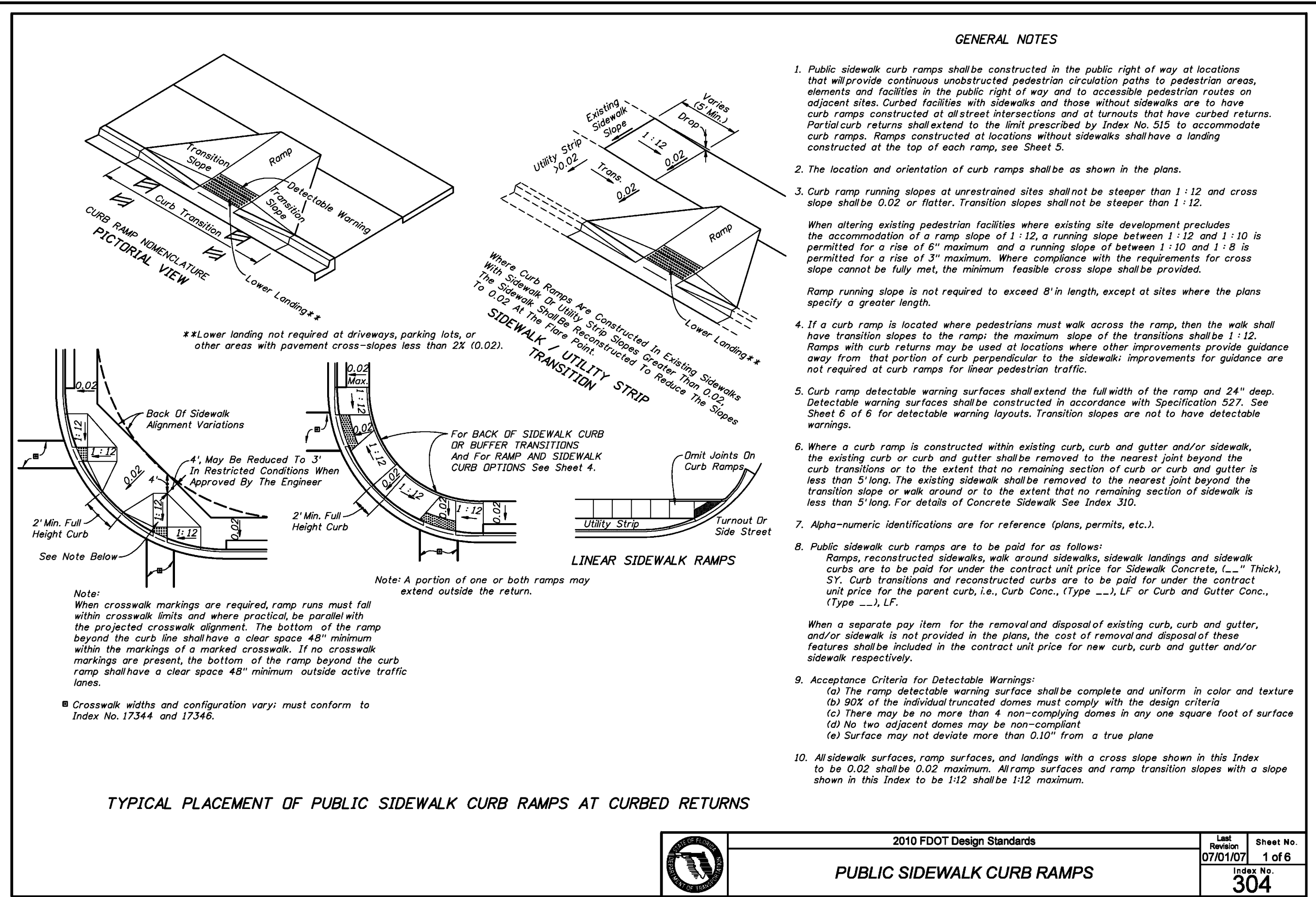
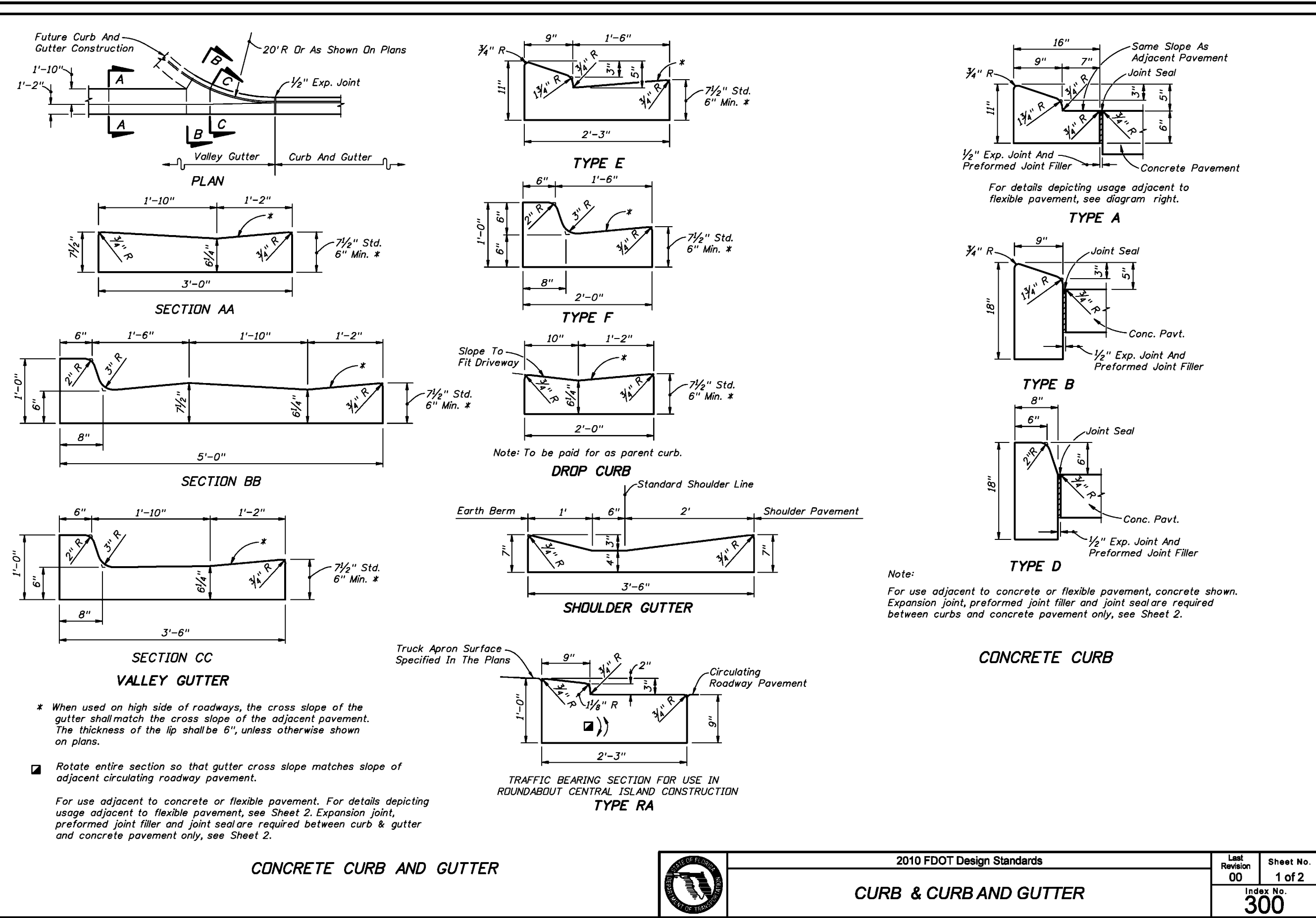
No.	DATE	REVISION	ESCO DRC COMMENTS	FDOT COMMENTS
1	8-24-11			
1	8-31-11			

SEAL
RELEASED FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2011.056
Date: 8-19-2011

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

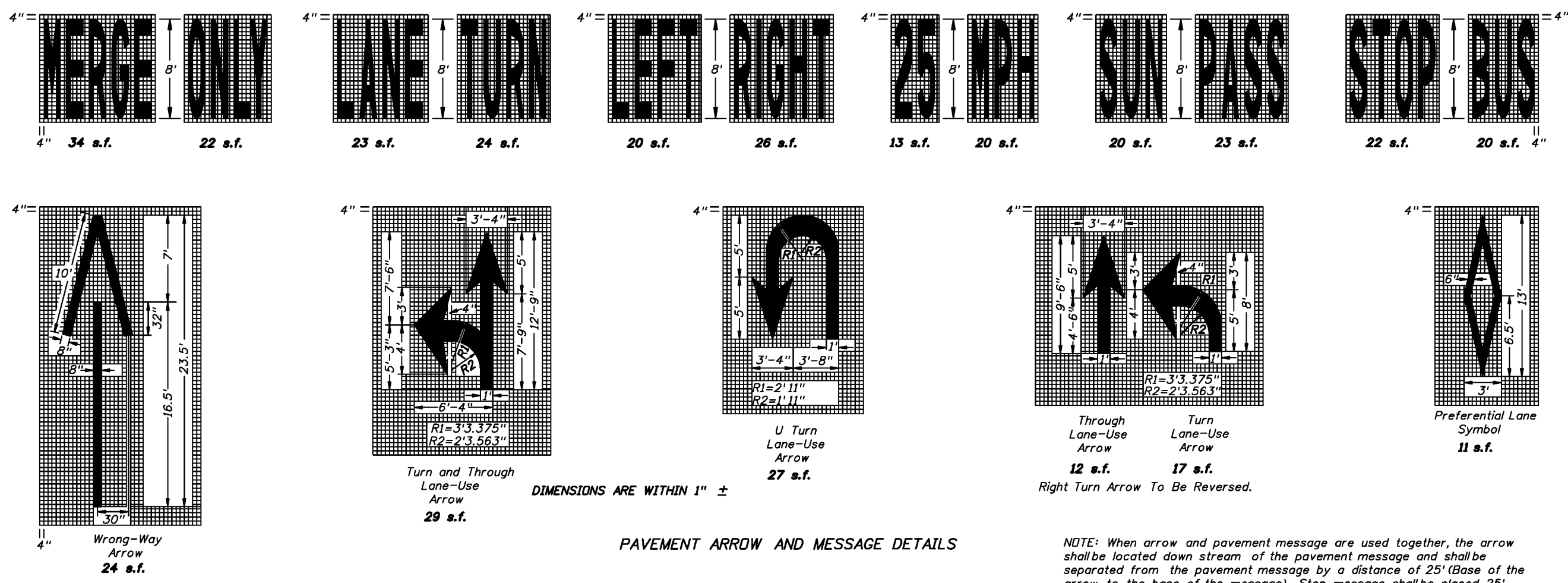


REVISION	ESCO DRC COMMENTS	FDOT COMMENTS
No. 1	8-24-11	8-31-11

SEAL
 RELEASED FOR CONSTRUCTION
 Paul A. Battle, P.E.
 No. 53126

Dr. By: CBD
 Ck By: PAB
 Job No.: 2011.056
 Date: 8-19-2011

This drawing is the property of Rebel-Battle & Associates, and may not be reproduced without written permission.

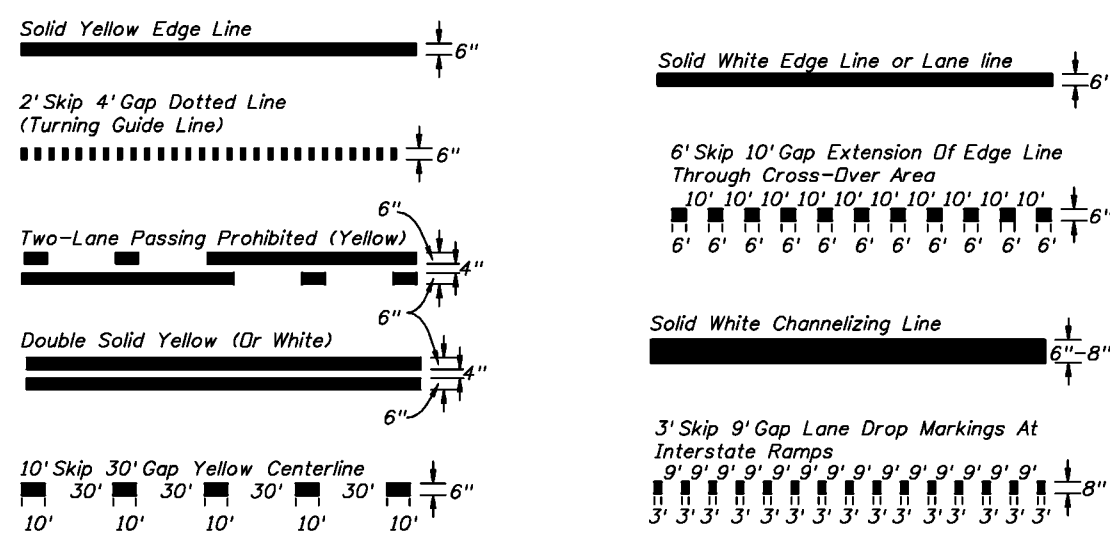


PAVEMENT ARROW AND MESSAGE DETAILS

NOTE: When arrow and pavement message are used together, the arrow shall be located down stream of the pavement message and shall be separated from the pavement message by a distance of 25' (Base of the arrow to the base of the message). Stop message shall be placed 25' from back of stop line.

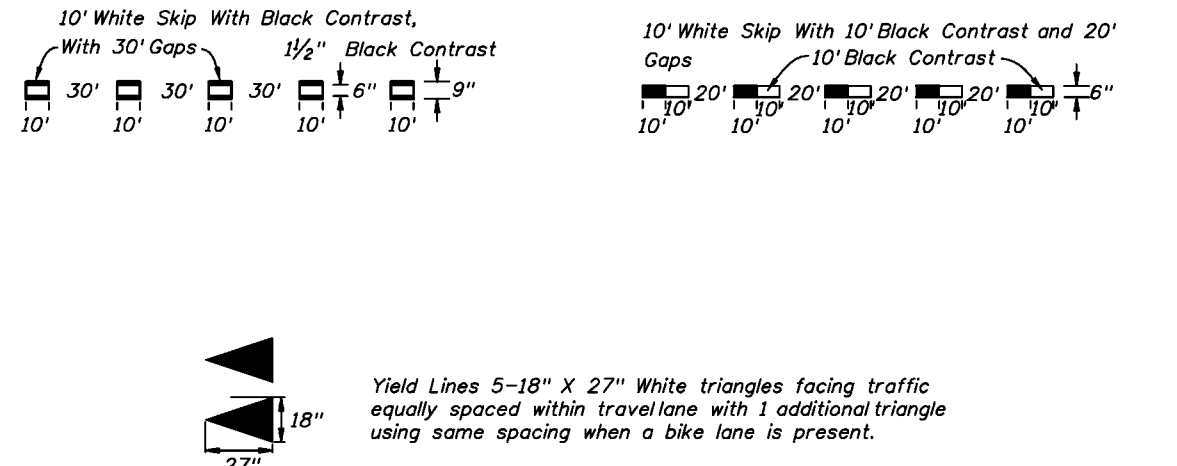
BASIC COLOR RULE:

White lines separate traffic in the same direction. Yellow lines separate traffic in opposing directions. Yellow dotted lines may be used in special cases. Black may be used in combination with white for skip lines where a light-colored pavement does not provide sufficient contrast with the markings.



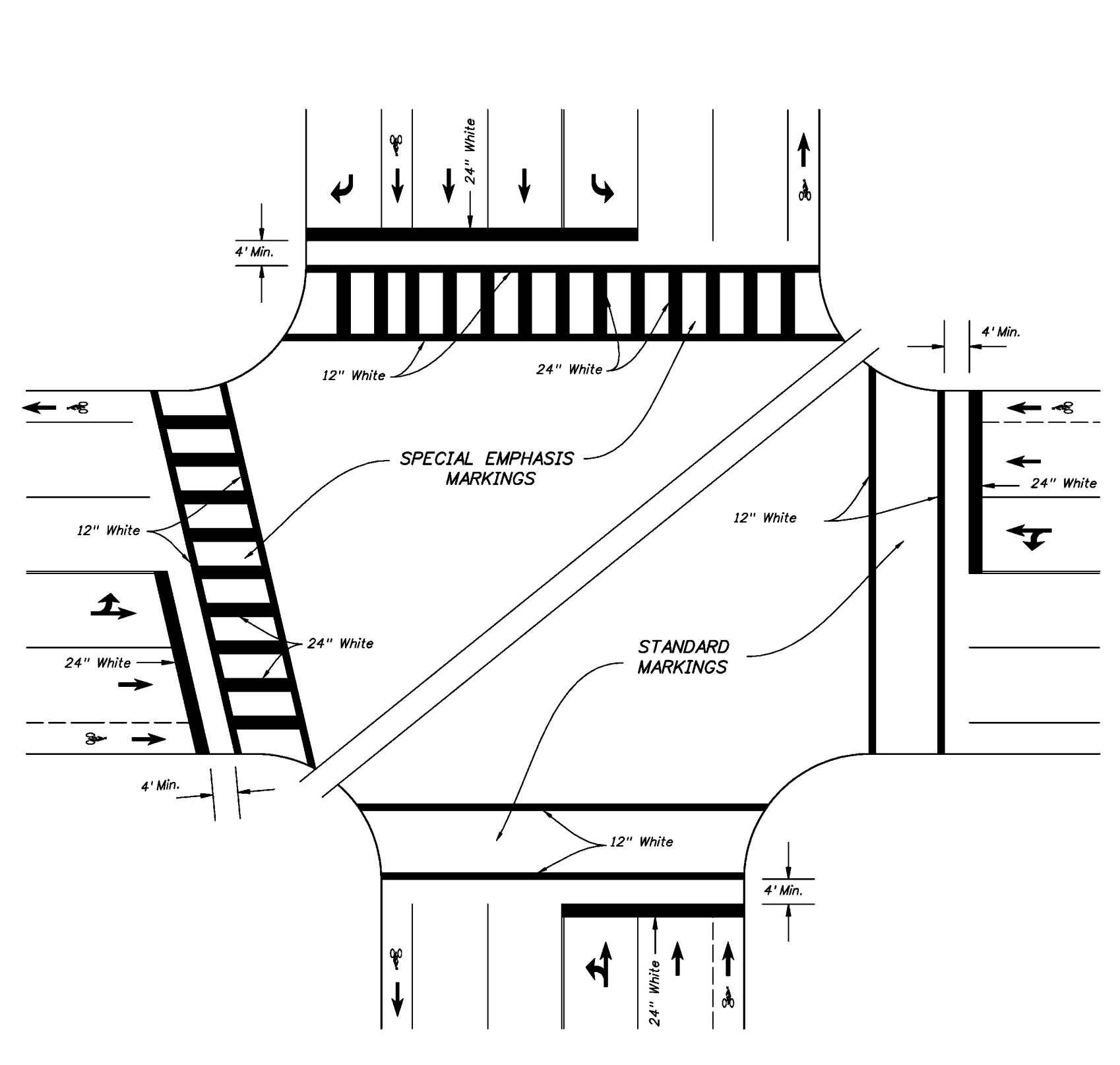
TYPES OF PERMANENT LONGITUDINAL LINES

CONTRAST MARKINGS



Yield Lines 5-18" X 27" White triangles facing traffic equally spaced within travel lane with 1 additional triangle using same spacing when a bike lane is present.

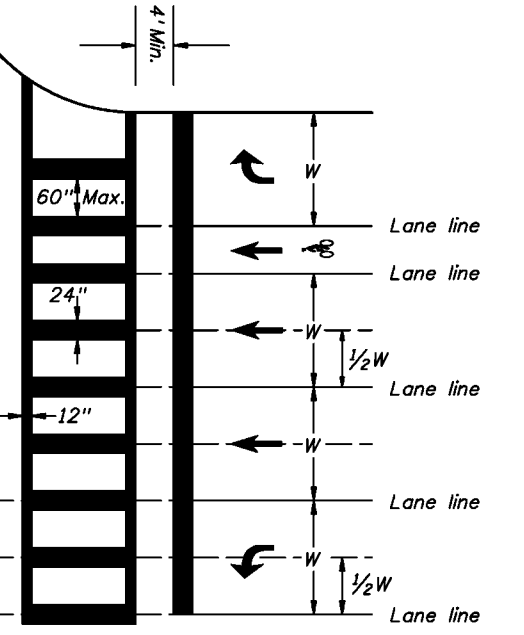
2010 FDOT Design Standards		Last Revision	Sheet No.
SPECIAL MARKING AREAS		07/01/09	1 of 14
		Index No.	17346



SPECIAL EMPHASIS AND STANDARD CROSSWALKS SIGNALIZED OR STOP SIGN CONTROLLED INTERSECTION

2010 FDOT Design Standards		Last Revision	Sheet No.
SPECIAL MARKING AREAS		07/01/09	9 of 14
		Index No.	17346

- GENERAL NOTES
- For traffic and pedestrian signal installation, refer to Index No. 17721 through 17890.
 - For public sidewalk curb ramps, refer to Index No. 304.
 - For pavement marking and sign installation, refer to Indexes 11200 through 17356.
 - Crosswalk minimum widths: Intersection Crosswalk 6'; Midblock Crosswalk 10'.
 - All crosswalk markings shall be white.
 - Longitudinal lines in Special Emphasis Crosswalk shall be 24" wide and spaced to avoid the wheelpath of vehicles as shown in detail. The maximum space between markings shall not exceed 60". A longitudinal marking shall be centered at each lane line. Additional longitudinal markings shall be placed at the center of each lane (1/2W). Where the Crosswalk is skewed to the lane lines, the Special Emphasis longitudinal lines should be parallel to the lane line.



SPECIAL EMPHASIS CROSSWALK MARKING DETAIL

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N. North Avenue, Suite 300
 Pensacola, Florida 32508
 Telephone 850.438.0400 Fax 850.438.0448
 EB 00009857 LP1916

SITE LAYOUT & DIMENSION PLAN

Battery Source
 702 NORTH NAVY BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

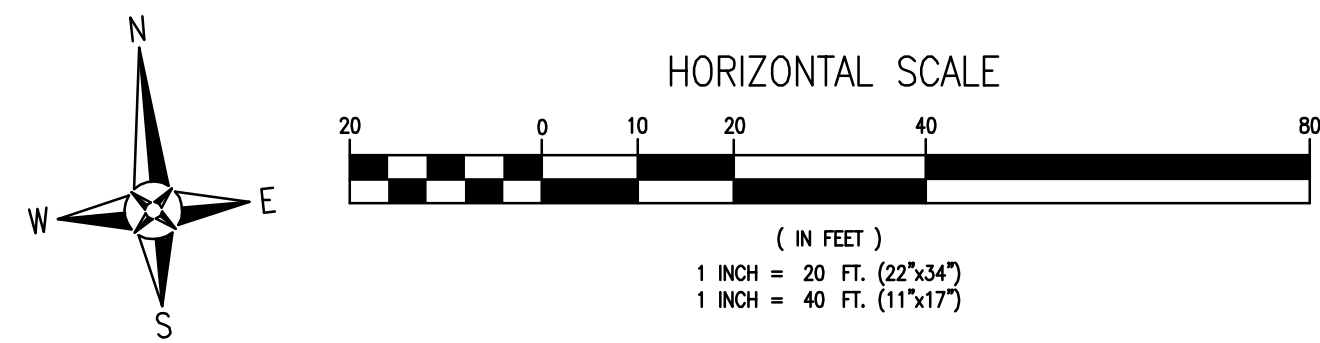
No.	DATE	REVISION
1	8-24-11	ESCO DRC COMMENTS
1	8-31-11	FDOT COMMENTS

SEAL
 RELEASED FOR CONSTRUCTION
 Paul A. Battle, P.E.
 No. 53126

Dr. By: CBD
 Ck By: PAB
 Job No.: 2011.056
 Date: 8-19-2011

DRAWING No.
C2.4
 SHEET 9 OF 17

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ON-SITE ASPHALT
	PROPOSED FDOT ASPHALT
	PROPOSED CONCRETE
	RIPRAP
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BENCHMARK
	FLOW ARROW
	PROPOSED SPOT ELEVATION
	MATCH EXISTING ELEVATION

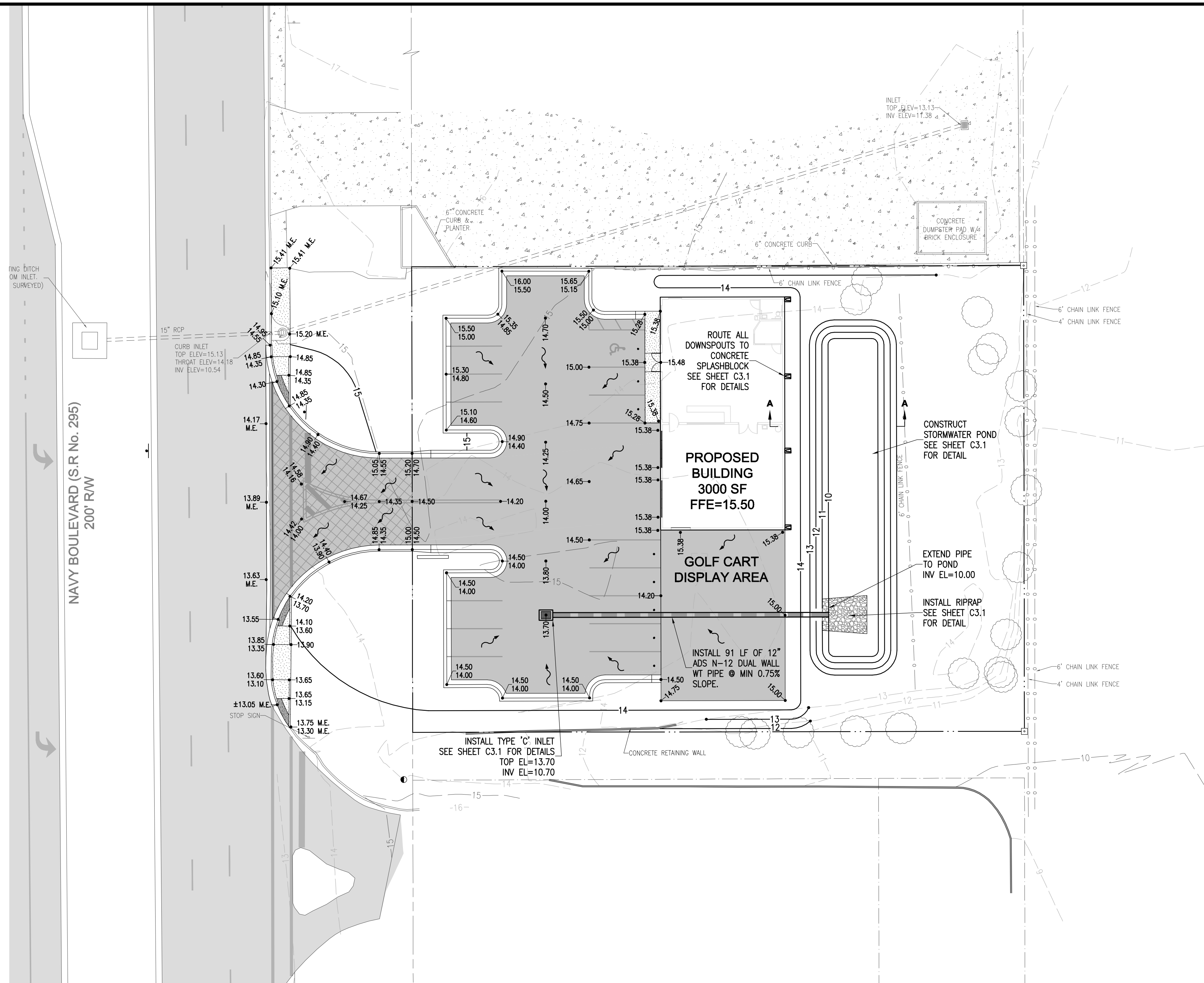
THERE ARE NO PUBLIC OR PRIVATE DRINKING WELLS WITHIN 100FT OR 75FT OF THE PROPOSED DETENTION POND, RESPECTIVELY.

GENERAL NOTES:

1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
3. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
4. DISTURBED AREAS NOT SHOWN TO BE SODDED OR PAVED SHALL BE SEEDED, MULCHED & FERTILIZED.
5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
6. ALL RIP-RAP SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
7. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBIA COUNTY AS-BUILT CERTIFICATION AND/OR DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY.
8. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
9. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
10. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
11. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
12. THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN-OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
13. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS (595-3472). AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
14. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
15. THE OWNER/CONTRACTOR SHALL COORDINATE ANY ANTICIPATED COMMENCEMENT OF CONSTRUCTION WITH THE ENGINEER OF RECORD. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR SUBMITTING THE 'CONSTRUCTION COMMENCEMENT NOTICE FORM' 62-346.900(3).
16. UPON SUBSTANTIAL COMPLETION, THE OWNER/CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD IS RESPONSIBLE FOR INSPECTION OF THE PERMITTED FACILITY FOR COMPLIANCE WITH THE APPROVED PERMIT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE 'AS BUILT CERTIFICATION FORM' 62-346.900(4) WITHIN 30 DAYS AFTER WORK IS DEEMED COMPLETE.
17. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE 'REQUEST FOR CONVERSION OF STORMWATER MANAGEMENT PERMIT CONSTRUCTION PHASE TO OPERATION AND MAINTENANCE PHASE FORM' 62-346.900(6). THIS FORM SHALL BE SUBMITTED CONCURRENTLY WITH THE AS BUILT CERTIFICATION.
18. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.

TREE PROTECTION NOTES:

1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
4. FOR VIABILITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF 1" DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOE). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.



RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2303 N. North Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone 850.438.0400 Fax 850.438.0448
 EB 00009857 LP1916

GRADING & DRAINAGE PLAN

Battery Source
 702 NORTH NAVY BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	8-24-11	ESCO DRC COMMENTS
1	8-31-11	FDOT COMMENTS

SEAL
 RELEASED FOR CONSTRUCTION

 Paul A. Battle, P.E.
 No. 53126

Dr. By: CBD
 Ck By: PAB
 Job No.: 2011.056
 Date: 8-19-2011

DRAWING No.
C3.0
 SHEET 10 OF 17

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



**UNIVERSAL ENGINEERING SCIENCES
BORING LOG**

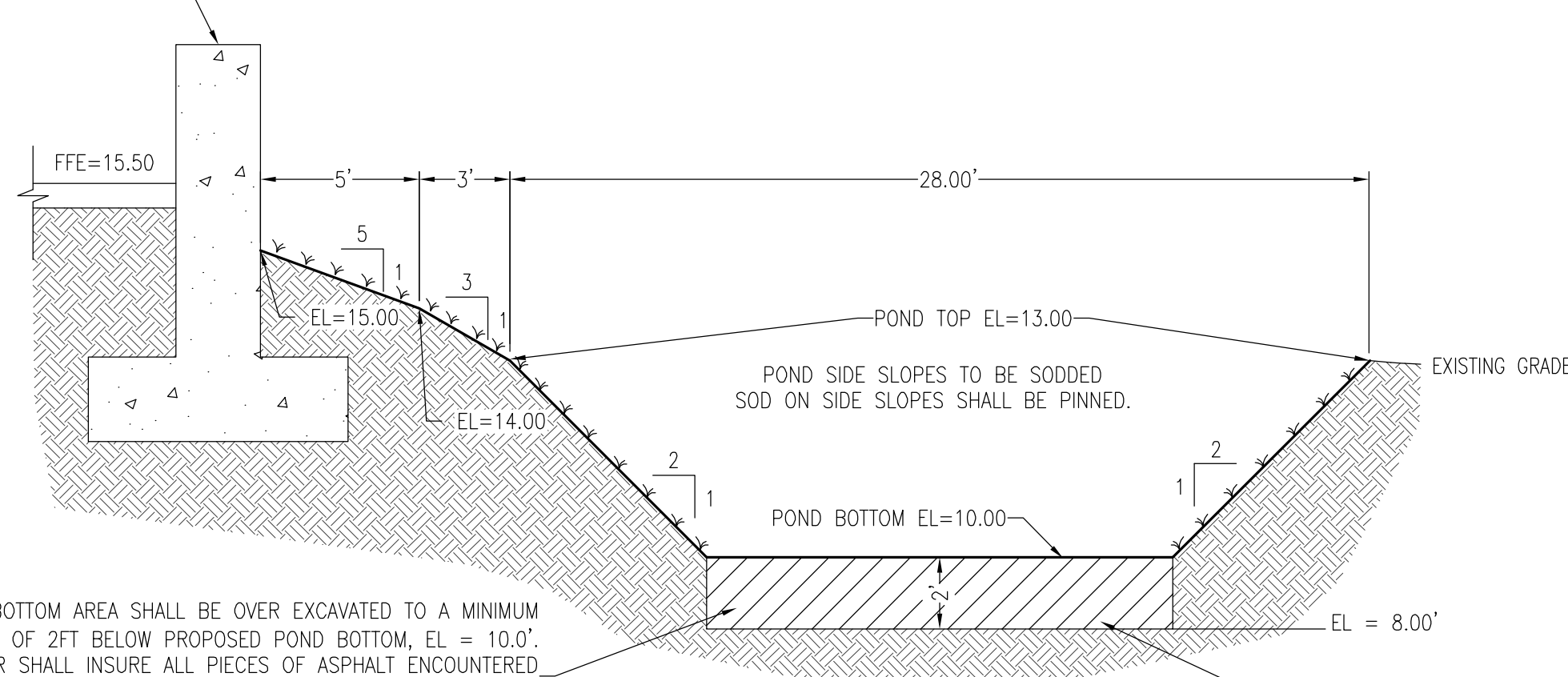
PROJECT NO.: 1730.1100031.0000
REPORT NO.:
PAGE: A-2

PROJECT: BATTERY SOURCE
702 NORTH BAY BOULEVARD
PENSACOLA, ESCAMBIA COUNTY, FLORIDA
CLIENT: REBOL-BATTLE AND ASSOCIATES
LOCATION: SEE BORING LOCATION PLAN
REMARKS:

BORING NO: **B-1** SHEET: 1 of 1
SECTION: TOWNSHIP: RANGE:
GS ELEVATION (ft): DATE STARTED: 8/16/11
WATER TABLE (ft): 9.8 DATE FINISHED: 8/16/11
DATE OF READING: 8/16/11 DRILLED BY:
EST. WSWT (ft): 6 TYPE OF SAMPLING: ASTM D-1586

DEPTH (FT)	SAMPLING INTERVAL	BLOWS PER INCREMENT	N VALUE	W.T.	SYMBOL	DESCRIPTION	MC (%)	ATTERBERG LIMITS		K (FT/DAY)	ORG. CONT. (%)
								LL	PI		
0						Brown SAND, with silt [SP-SM] (Moist)					
2.5						Dark reddish-brown SAND, with clay and pieces of asphalt [SP-SC] (Moist)					
5						Mixed light brownish-gray and dark grayish-brown SAND, with silt [SP-SM] (Moist)					
7.5						White and dark grayish-brown fine SAND [SP-SM]					
10											
15						Boring Terminated at 15'					

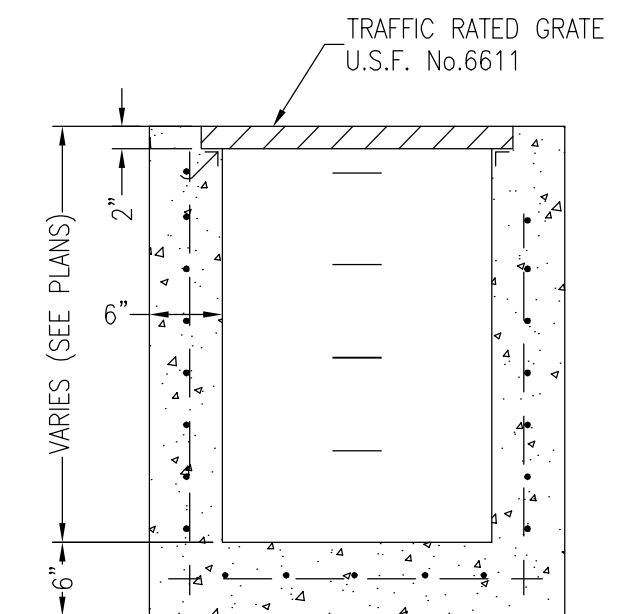
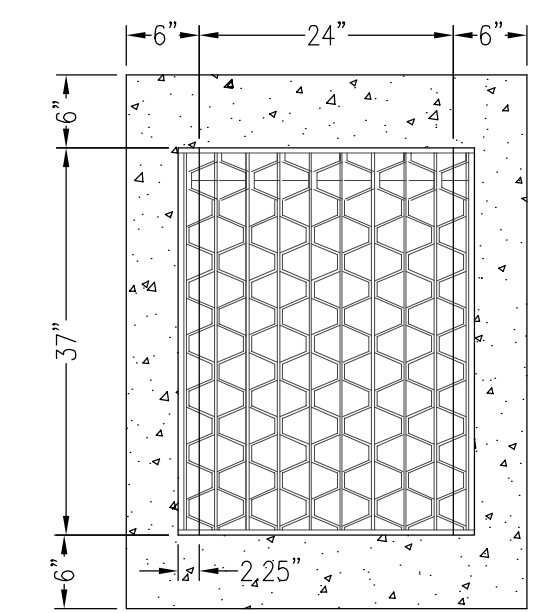
BUILDING FOUNDATION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SEE STRUCTURAL PLANS FOR ACTUAL BUILDING FOUNDATION.



POND BOTTOM AREA SHALL BE OVER EXCAVATED TO A MINIMUM DEPTH OF 2 FT BELOW PROPOSED POND BOTTOM, EL = 10.0'. CONTRACTOR SHALL INSURE ALL PIECES OF ASPHALT ENCOUNTERED BY GEOTECHNICAL ENGINEER AT TIME OF POND SOIL BORINGS ARE COMPLETELY REMOVED. REFER TO SOIL BORING LOGS FOR DEPTH AND DESCRIPTION OF THE MATERIAL TO BE REMOVED.

NOTE:
THE ENTIRE BANK SLOPE SHALL BE SODDED IN A MANNER TO GUARANTEE HEALTHY GRASS GROWTH (FREE FROM NOXIOUS WEEDS) SUCH AS ST. AUGUSTINE, CENTIPEDE OR OTHER SUITABLE GRASS.
CONTRACTOR SHALL BACKFILL WITH CLEAN SAND HAVING LESS THAN 5% FINES. PROVIDE SAMPLE TO REBOL-BATTLE & ASSOCIATES PRIOR TO PLACEMENT.

RETENTION POND CROSS SECTION A-A
N.T.S.



FDOT TYPE 'C' INLET
N.T.S.



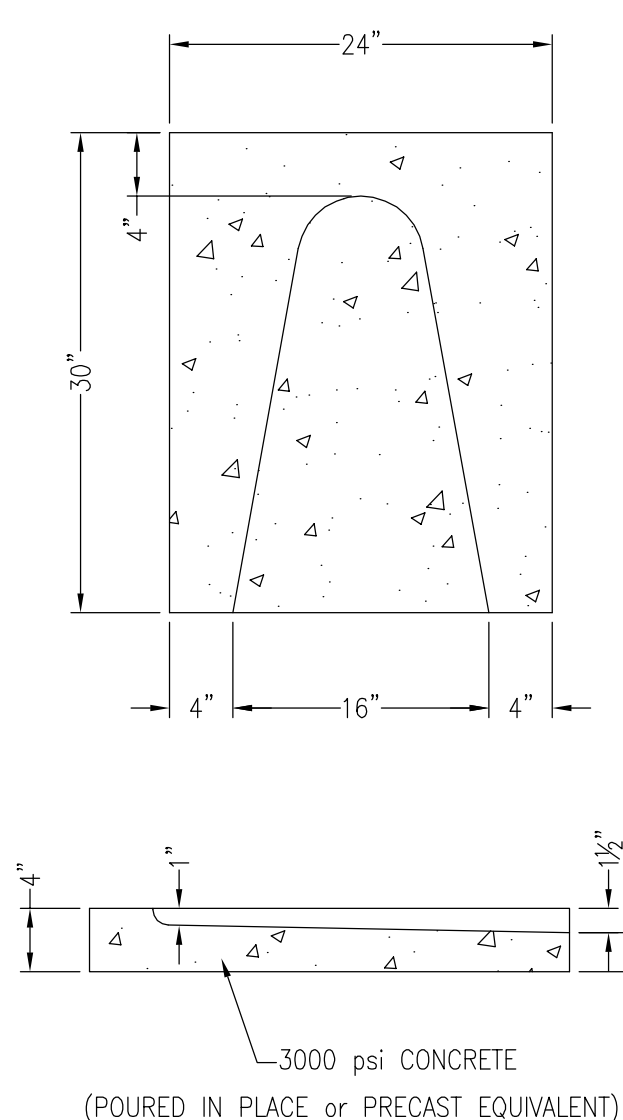
**UNIVERSAL ENGINEERING SCIENCES
BORING LOG**

PROJECT NO.: 1730.1100031.0000
REPORT NO.:
PAGE: A-3

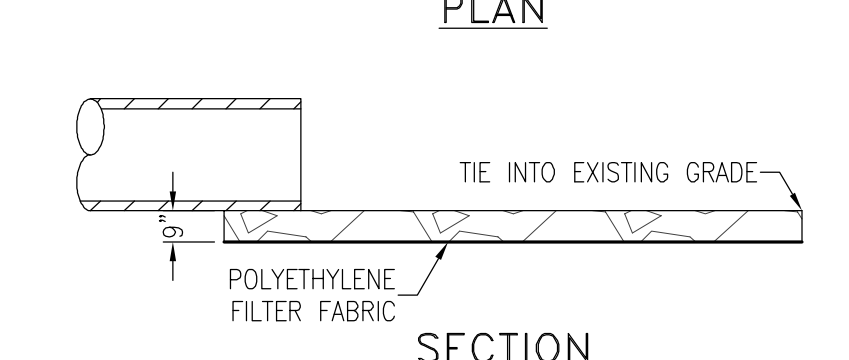
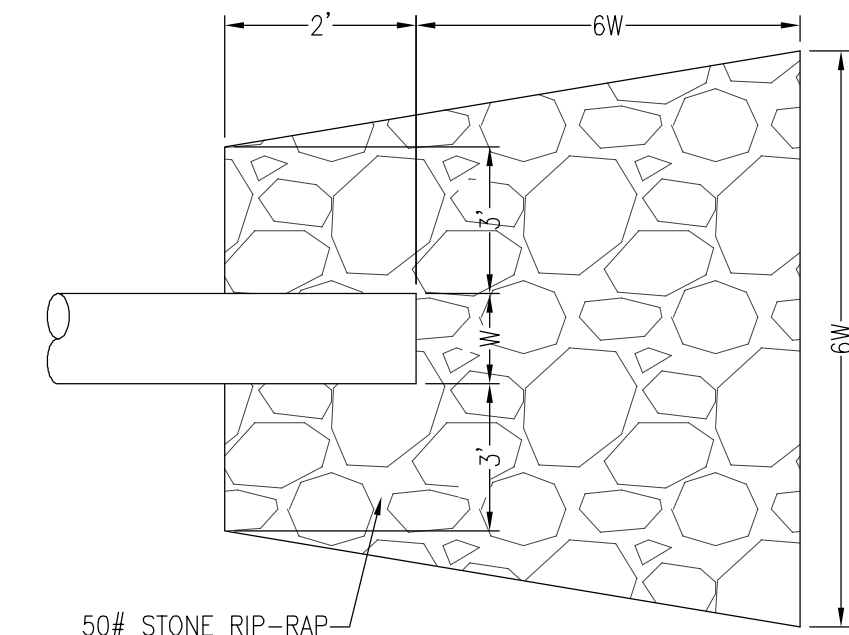
PROJECT: BATTERY SOURCE
702 NORTH BAY BOULEVARD
PENSACOLA, ESCAMBIA COUNTY, FLORIDA
CLIENT: REBOL-BATTLE AND ASSOCIATES
LOCATION: SEE BORING LOCATION PLAN
REMARKS:

BORING NO: **B-2** SHEET: 1 of 1
SECTION: TOWNSHIP: RANGE:
GS ELEVATION (ft): DATE STARTED: 3/28/02
WATER TABLE (ft): 9.8 DATE FINISHED: 8/16/11
DATE OF READING: 8/16/11 DRILLED BY:
EST. WSWT (ft): 6 TYPE OF SAMPLING: ASTM D-1586

DEPTH (FT)	SAMPLING INTERVAL	BLOWS PER INCREMENT	N VALUE	W.T.	SYMBOL	DESCRIPTION	MC (%)	ATTERBERG LIMITS		K (FT/DAY)	ORG. CONT. (%)
								LL	PI		
0						Reddish-brown fine SAND, with silt [SP-SM]					
2.5						Dark reddish-brown silty SAND [SM]					
5						Brown fine SAND, with silt [SP-SM]					
7.5						Light brownish-gray and dark grayish-brown fine SAND, with silt [SP-SM]					
10											
15						Light brownish-gray SAND, with silt [SP-SM]					
15						Boring Terminated at 15'					



CONCRETE SPLASHBLOCK
N.T.S.



RIP-RAP DETAIL
N.T.S.

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2304 N. Ninth Avenue, Suite 300
Pensacola, Florida 32508
Telephone 850.438.0400 Fax 850.438.0448
EB 00009857 LP1916

DRAINAGE DETAILS

Battery Source
702 NORTH NAVY BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO DRC COMMENTS	FDOT COMMENTS
1	8-24-11			
1	8-31-11			

SEAL
RELEASED FOR CONSTRUCTION

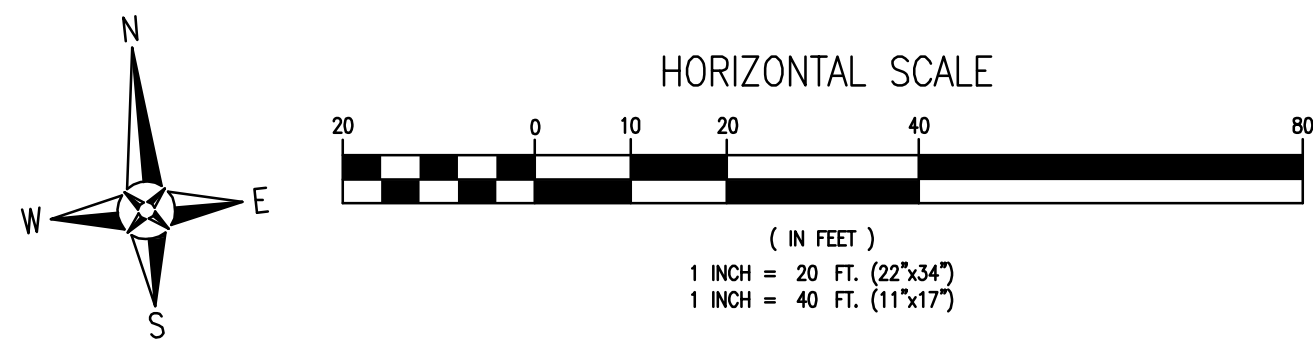
Paul A. Battle, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2011.056
Date: 8-19-2011

DRAWING No.
C3.1
SHEET 11 OF 17

C:\Users\jacob\Documents\Battery Source - Main\BATT-2011-056\Drawings\DRG-001.dwg

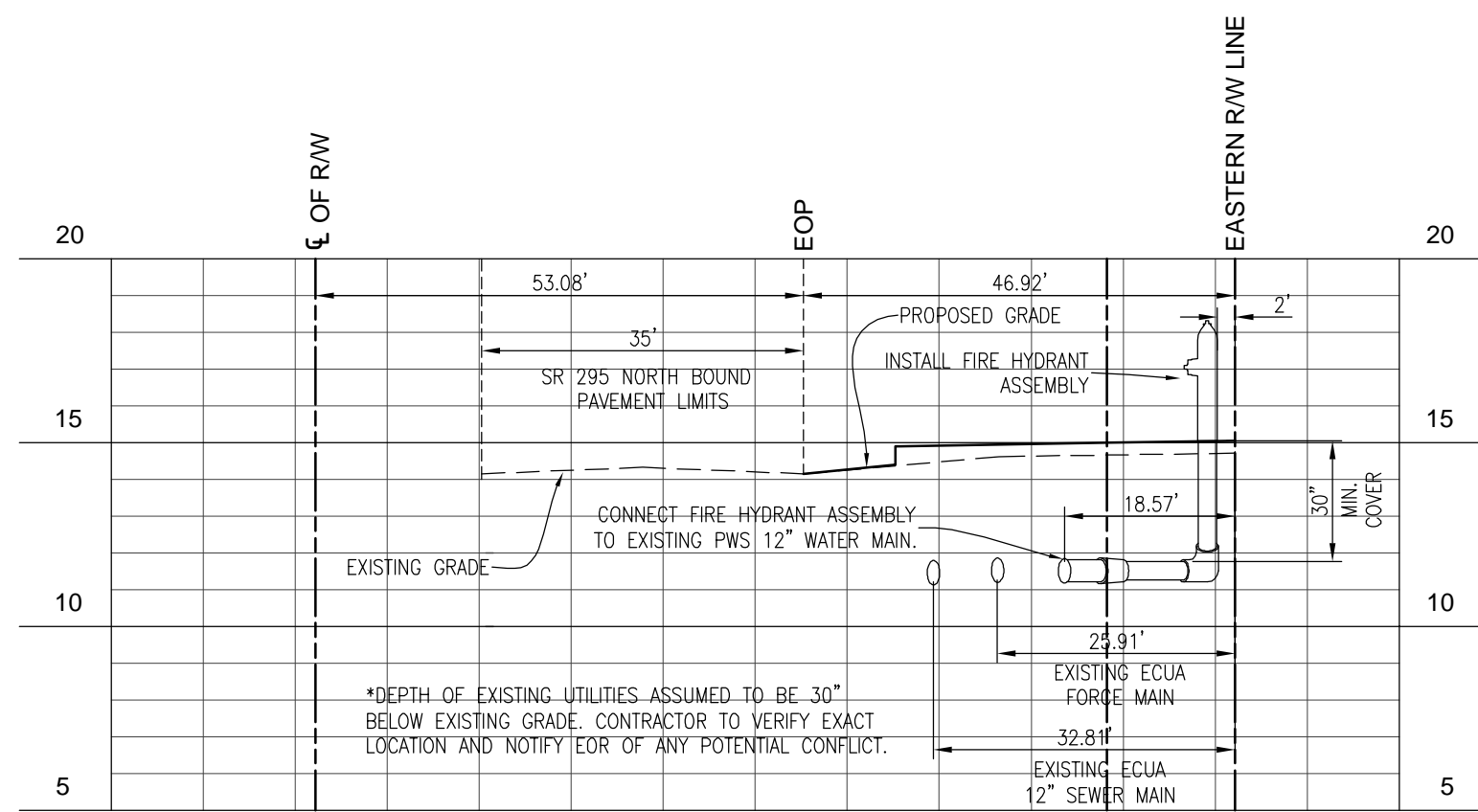
This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ON-SITE ASPHALT
	PROPOSED FDOT ASPHALT
	PROPOSED CONCRETE

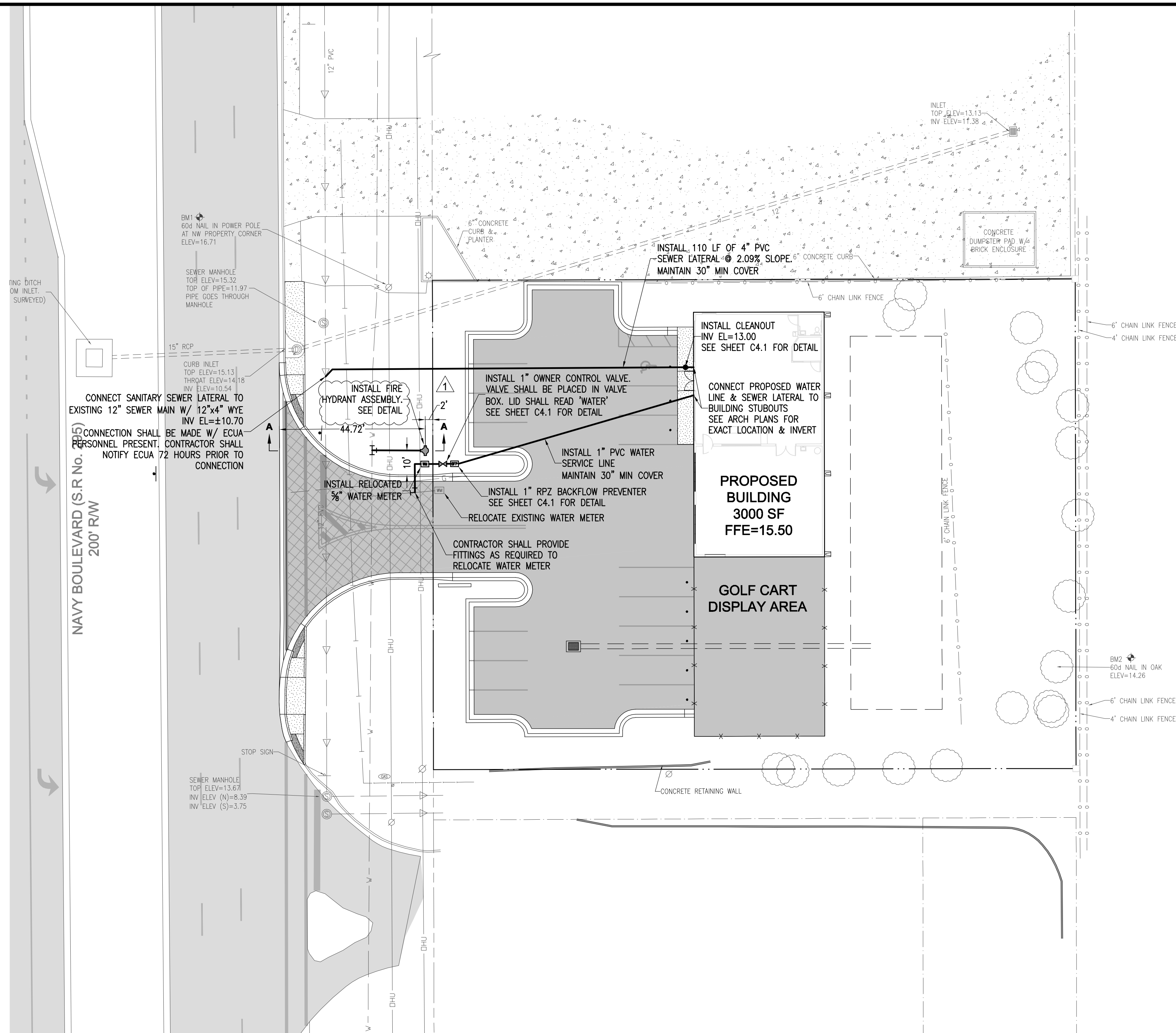
UTILITY NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
- THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, PEOPLE'S WATER SERVICE OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
- ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
- ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
- MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
- THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
- ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
- ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
- ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBIA COUNTY AND THE ECUA GUIDELINES.
- THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
- ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
- ALL CONNECTIONS TO THE PEOPLE'S WATER SYSTEM SHALL BE MADE WITH PEOPLE'S WATER SYSTEM PERSONNEL PRESENT.
- ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.



SECTION A-A

SCALE: HORIZONTAL 1" = 20'
VERTICAL 1" = 5'



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2303 N. Ninth Avenue, Suite 300
Panama City, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00009857 LP1916

UTILITY PLAN

Battery Source
702 NORTH NAVY BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO DRC COMMENTS	FDOT COMMENTS
1	8-24-11			
1	8-31-11			

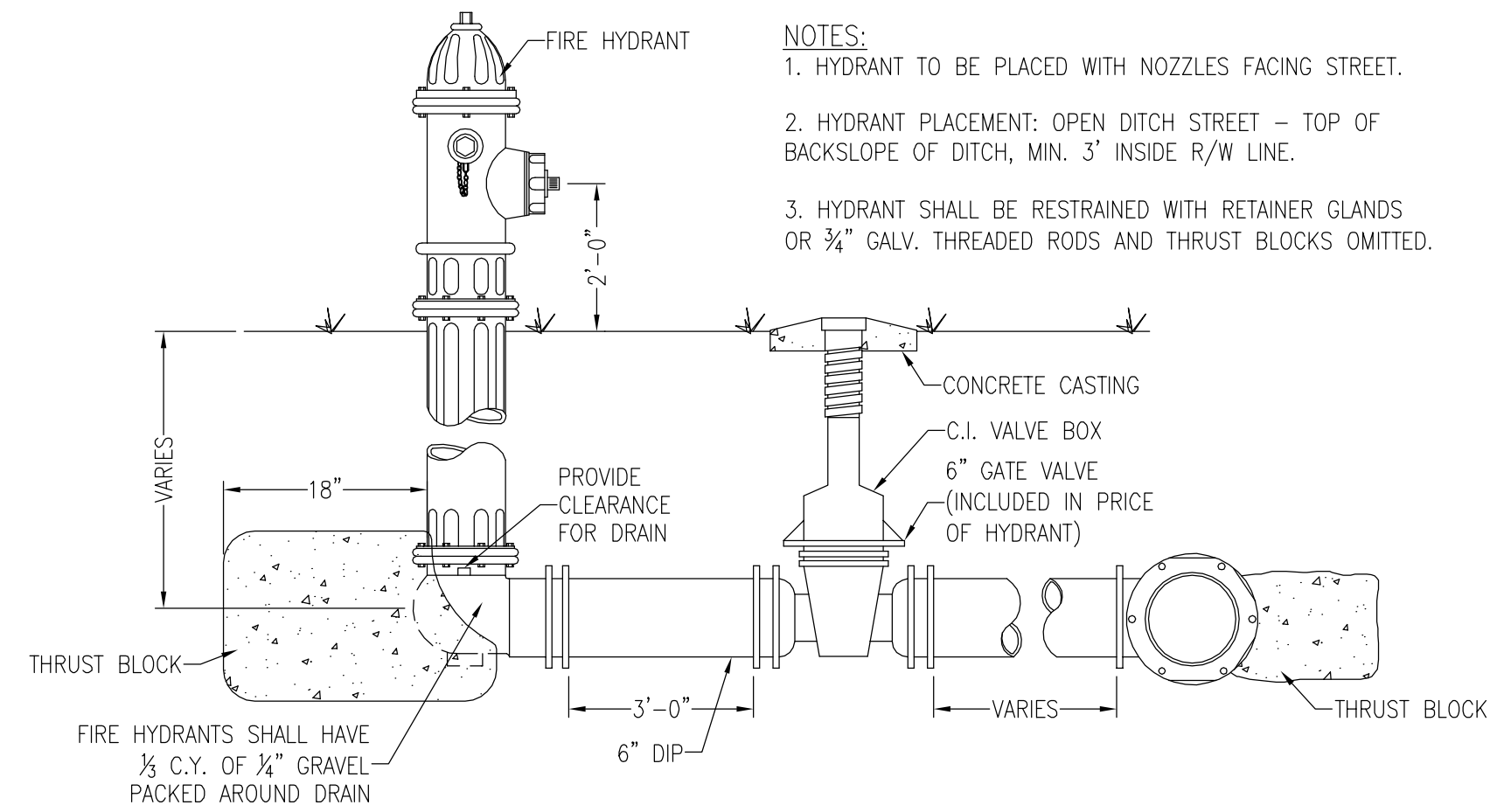
SEAL
RELEASED FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2011.056
Date: 8-19-2011

DRAWING No.
C4.0
SHEET 12 OF 17

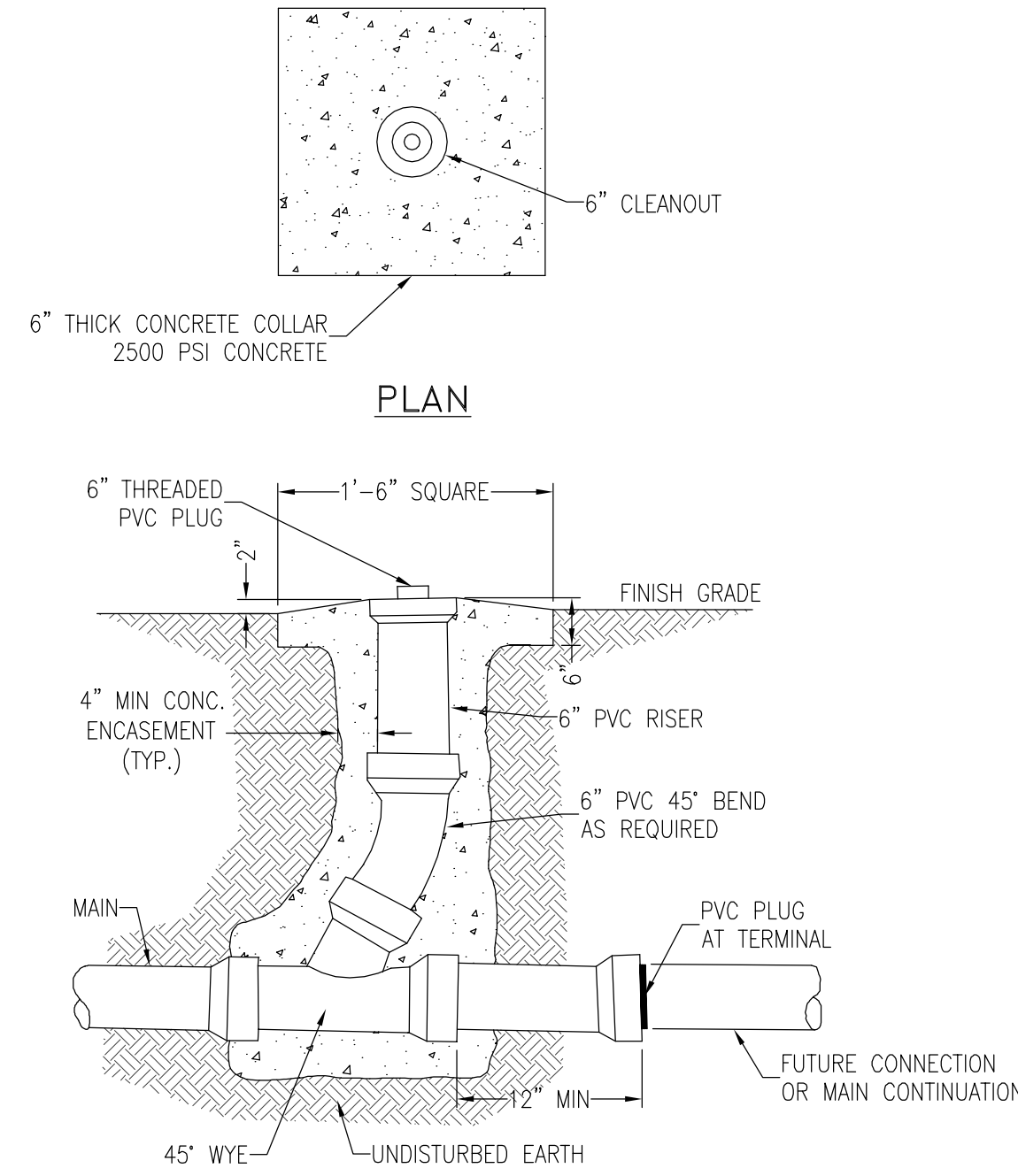
This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



- NOTES:**
1. HYDRANT TO BE PLACED WITH NOZZLES FACING STREET.
 2. HYDRANT PLACEMENT: OPEN DITCH STREET - TOP OF BACKSLOPE OF DITCH, MIN. 3' INSIDE R/W LINE.
 3. HYDRANT SHALL BE RESTRAINED WITH RETAINER GLANDS OR 3/4" GALV. THREADED RODS AND THRUST BLOCKS OMITTED.

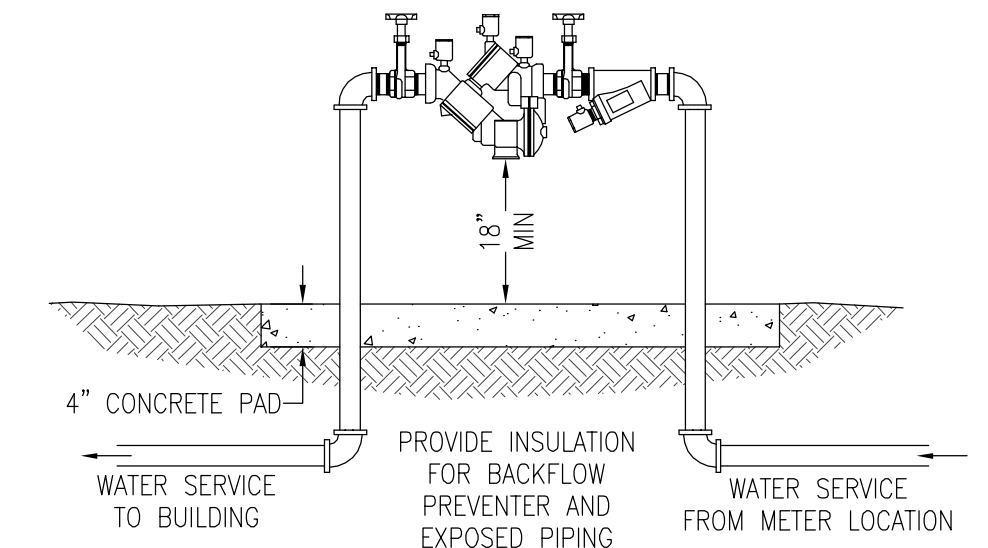
FIRE HYDRANT DETAIL

N.T.S.



CLEANOUT DETAIL

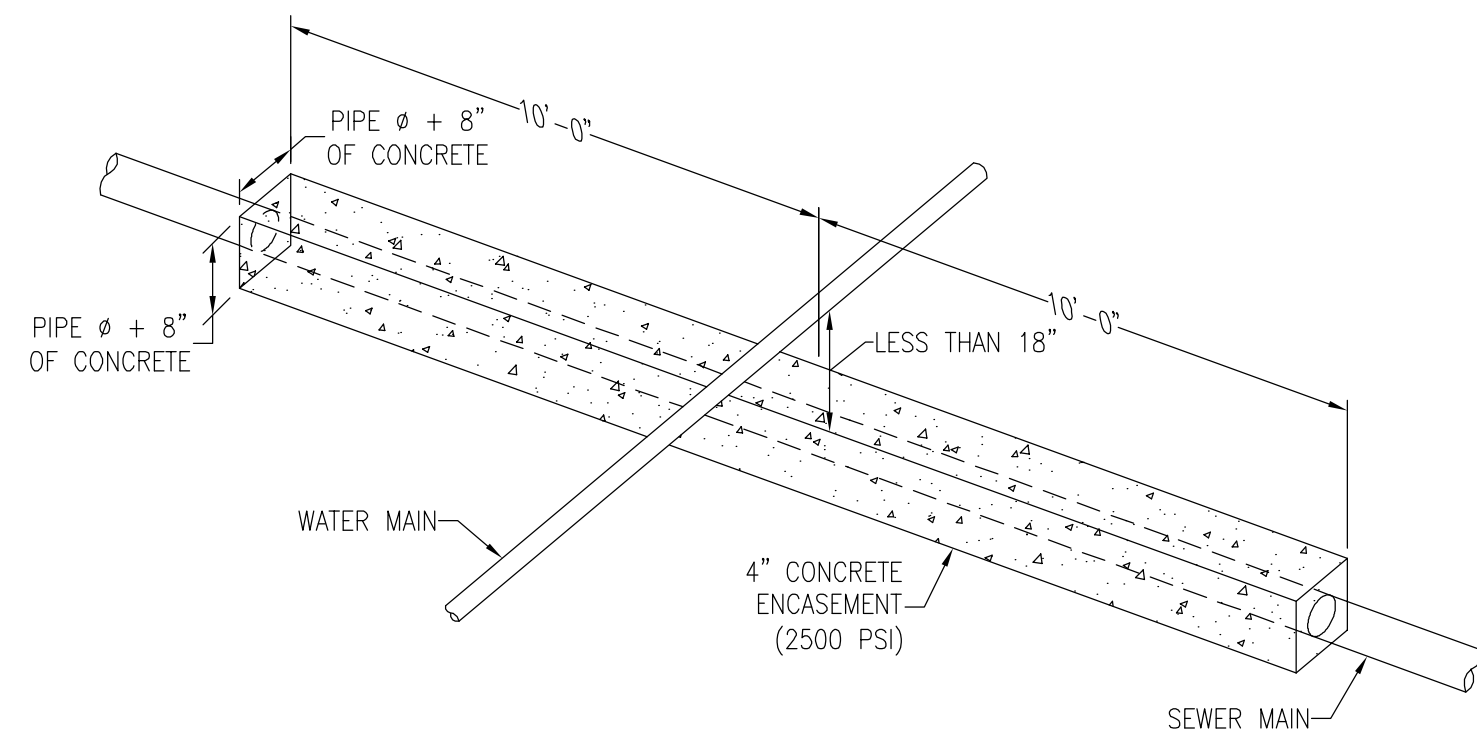
N.T.S.



**ECUA APPROVED
REDUCED PRESSURE PRINCIPLE
BACKFLOW PREVENTION ASSEMBLY**

N.T.S.

NOTE:
SANITARY SEWER LINES (GRAVITY OR PRESSURE) SHALL HAVE 18" OR GREATER VERTICAL CLEARANCE BELOW ANY POTABLE WATER LINE WHEN CROSSING. A MINIMUM OF 6" VERTICAL CLEARANCE IS REQUIRED FOR OTHER UTILITIES. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER LINE THAT IS PARALLEL TO AND LESS THAN 18" BELOW A POTABLE WATER LINE SHALL BE 10' OR GREATER. A MINIMUM OF 30' IS REQUIRED FOR OTHER UTILITIES. IF THIS IS NOT POSSIBLE OR PRACTICAL, SEE NOTES BELOW.



FOR CROSSING: ENCASE AS ABOVE SO THAT THE ENDS OF ENCASEMENT ARE AT LEAST 12' FROM ANY WATER LINE JOINT. WATER LINE JOINT MUST NOT BE CLOSER THAN 5' TO THE POINT OF CROSSING, OR IT MUST ALSO BE ENCASED.

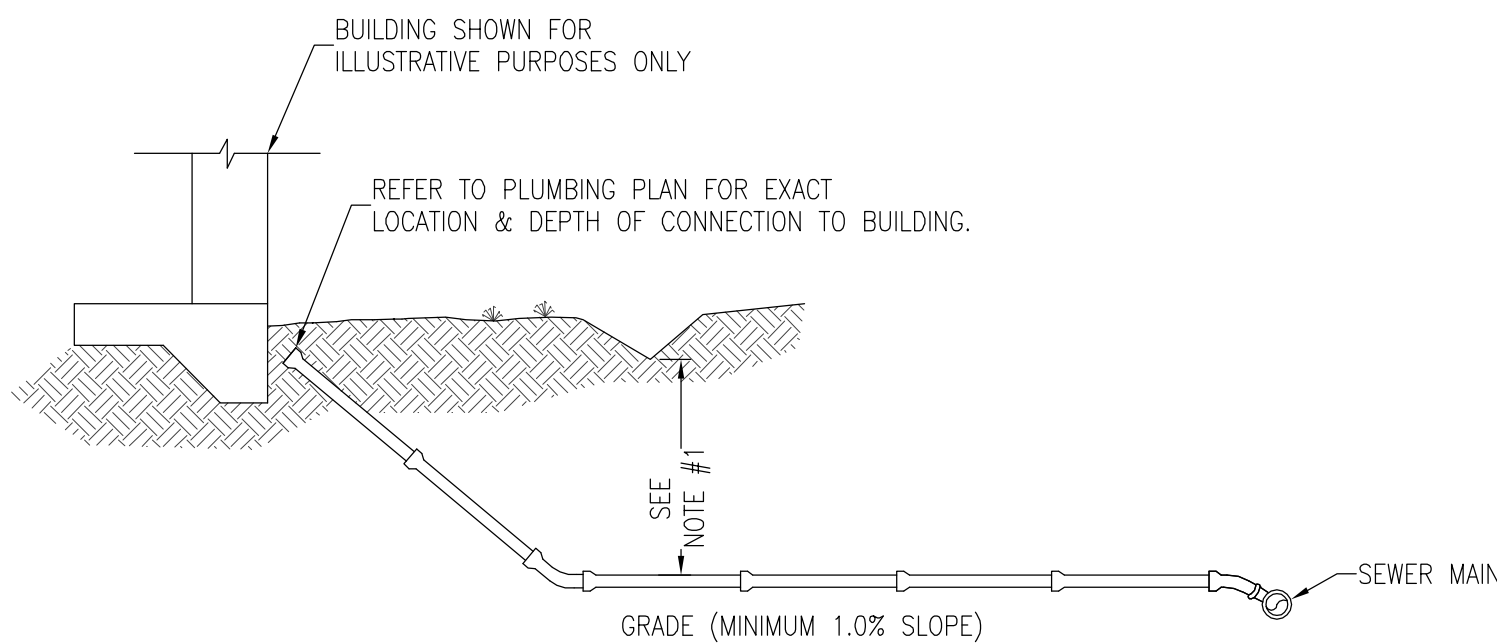
ALTERNATE 1: USE EQUALLY (OR HIGHER) RATED PRESSURE PIPE FOR SEWER WITH NO JOINTS CLOSER THAN 12' APART AND 6" VERTICAL.

ALTERNATE 2: PLACE SEWER LINE INTO STEEL CASING AND CENTER 20' PIECE WITH 4' VERTICAL CLEARANCE AND SEAL ENDS.

FOR PARALLEL: AND 6' TO 10' APART USE ALTERNATE 2, BUT IF MORE THAN 40' IN LENGTH, ALTERNATE 1 MUST BE USED AND JOINTS ARE TO BE STAGGERED. IF LINES MUST BE 3' TO 6' APART, ALTERNATE 1 MUST BE USED WITH A HIGHER RATED PRESSURE PIPE FOR SEWER (i.e., WATER LINE IS DR25 THEN USE DR18 OR 21 FOR SEWER).

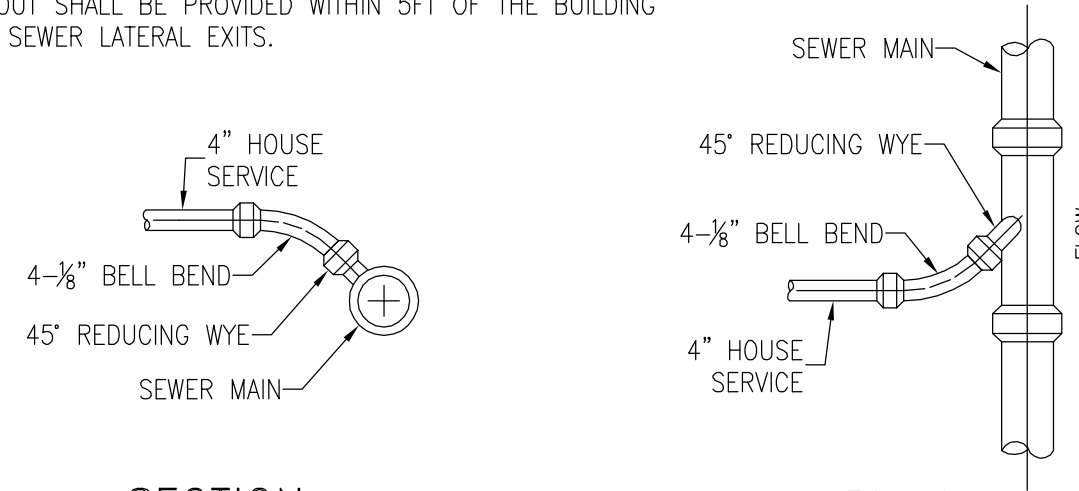
SEWER / WATER SEPARATION & CLEARANCES

N.T.S.



WYE BRANCH (TYP)

- NOTES:**
1. MAINTAIN 18" MINIMUM COVER OR USE 6 LF CONCRETE ENCASEMENT.
 2. ALL LATERALS TO BE 4"Ø PVC 3034 SEWER PIPE UNLESS FLOW DICTATES A LARGER DIAMETER.
 - LOT UNLESS OTHERWISE INDICATED ON CONSTRUCTION PLANS.
 4. A CLEANOUT SHALL BE PROVIDED WITHIN 5FT OF THE BUILDING WHERE THE SEWER LATERAL EXITS.



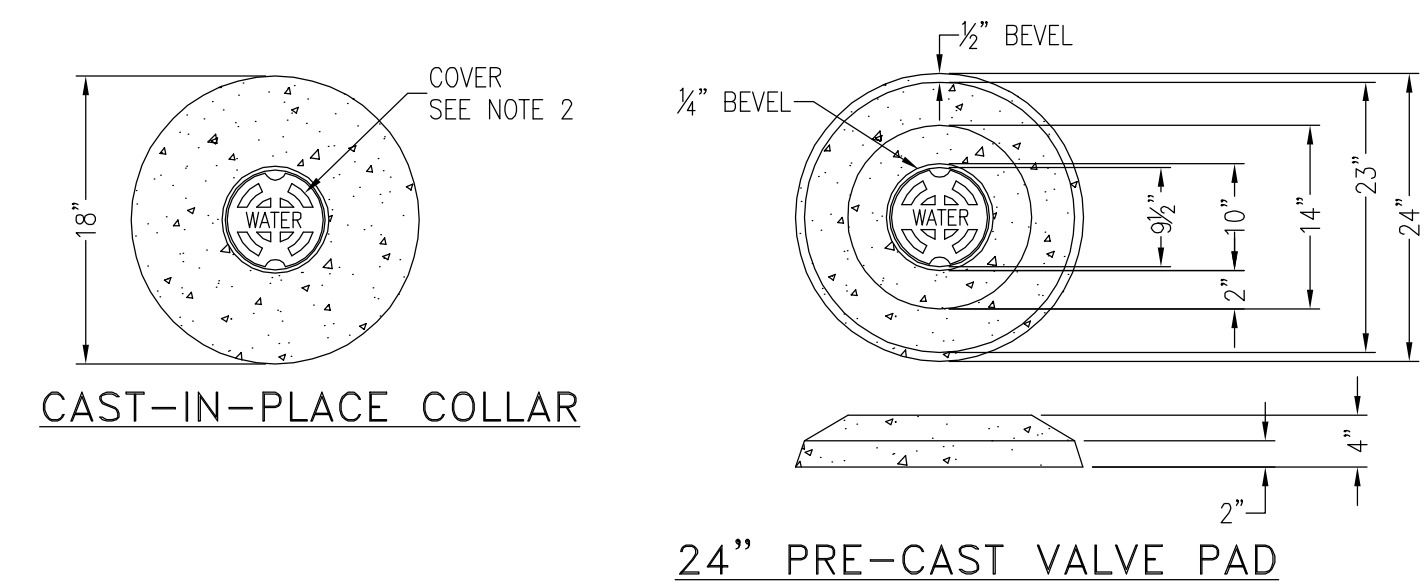
SECTION

PLAN

TYPICAL SEWER LATERAL CONNECTION

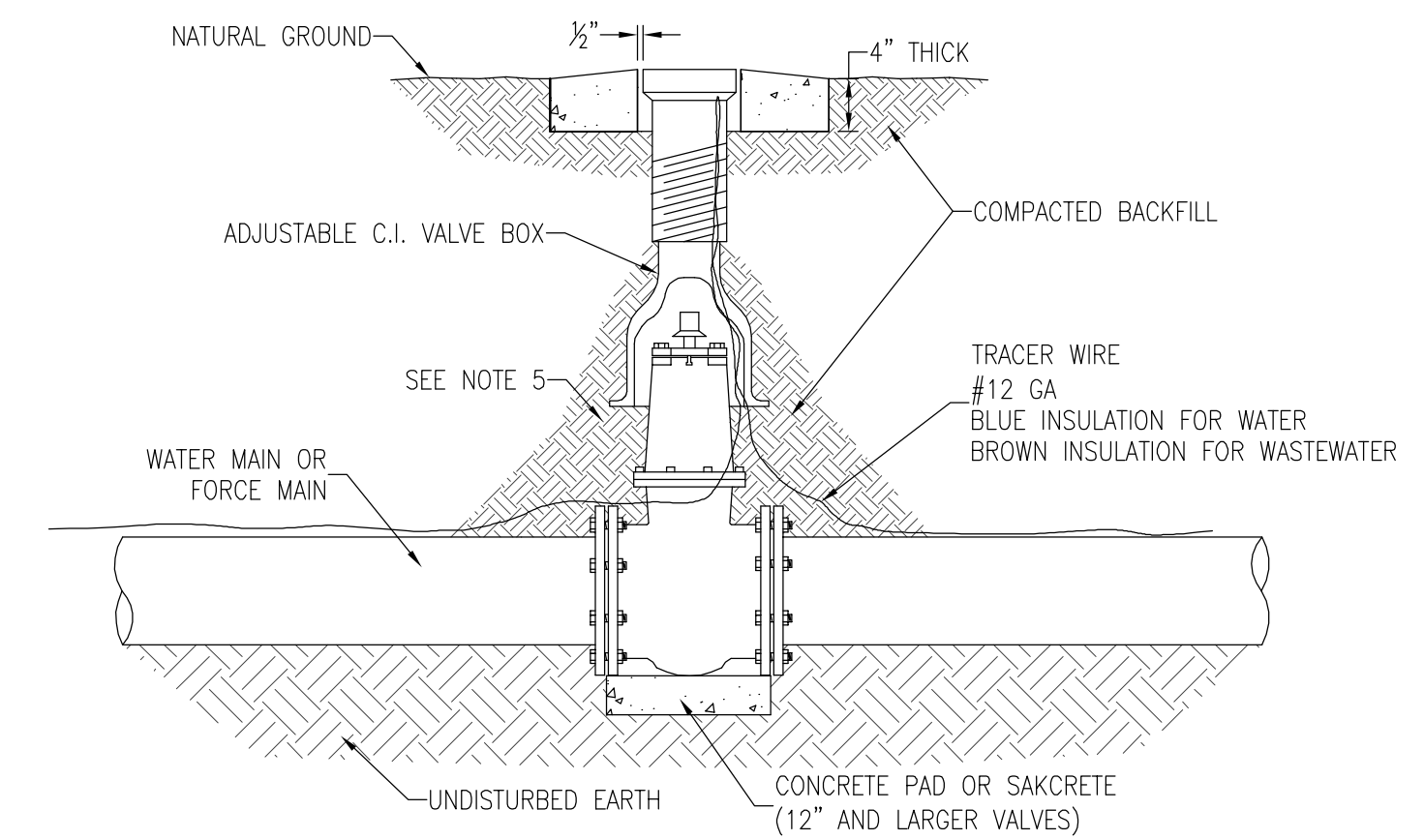
N.T.S.

- NOTES:**
1. VALVE BOX AND BOOT SHALL BE CAST IRON.
 2. VALVE COVER SHALL BE MARKED "WATER" OR "SEWER" AS APPLICABLE.
 3. VALVE BOX TOP SHALL BE FLUSH WITH FINISHED GRADE OR 1/2" ABOVE NATURAL GROUND LEVEL.
 4. GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUIVALENT.
 5. EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.



CAST-IN-PLACE COLLAR

24" PRE-CAST VALVE PAD



TYPICAL VALVE & BOX INSTALLATION

N.T.S.

REVISION	DATE	ESCO DRC COMMENTS	FDOT COMMENTS
No. 1	8-24-11		
No. 1	8-31-11		

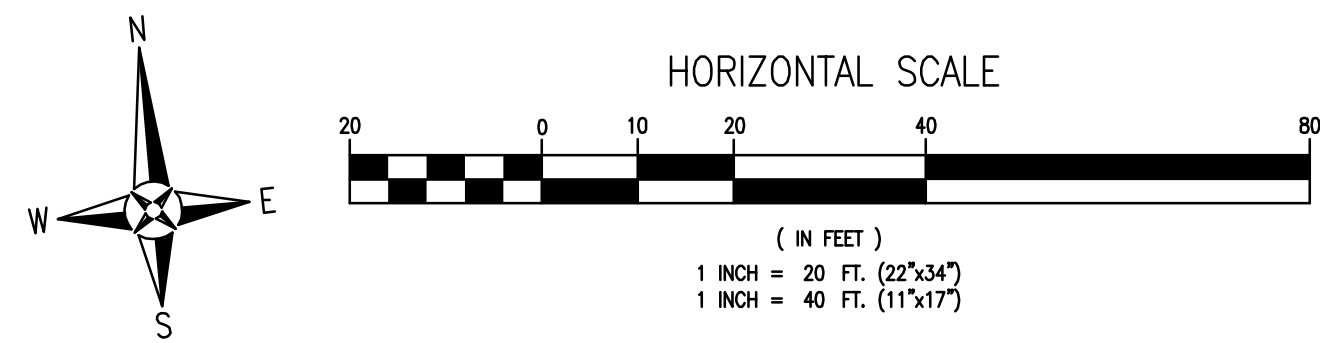
SEAL
RELEASED FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2011.056
Date: 8-19-2011

DRAWING No.
C4.1
SHEET 13 OF 17

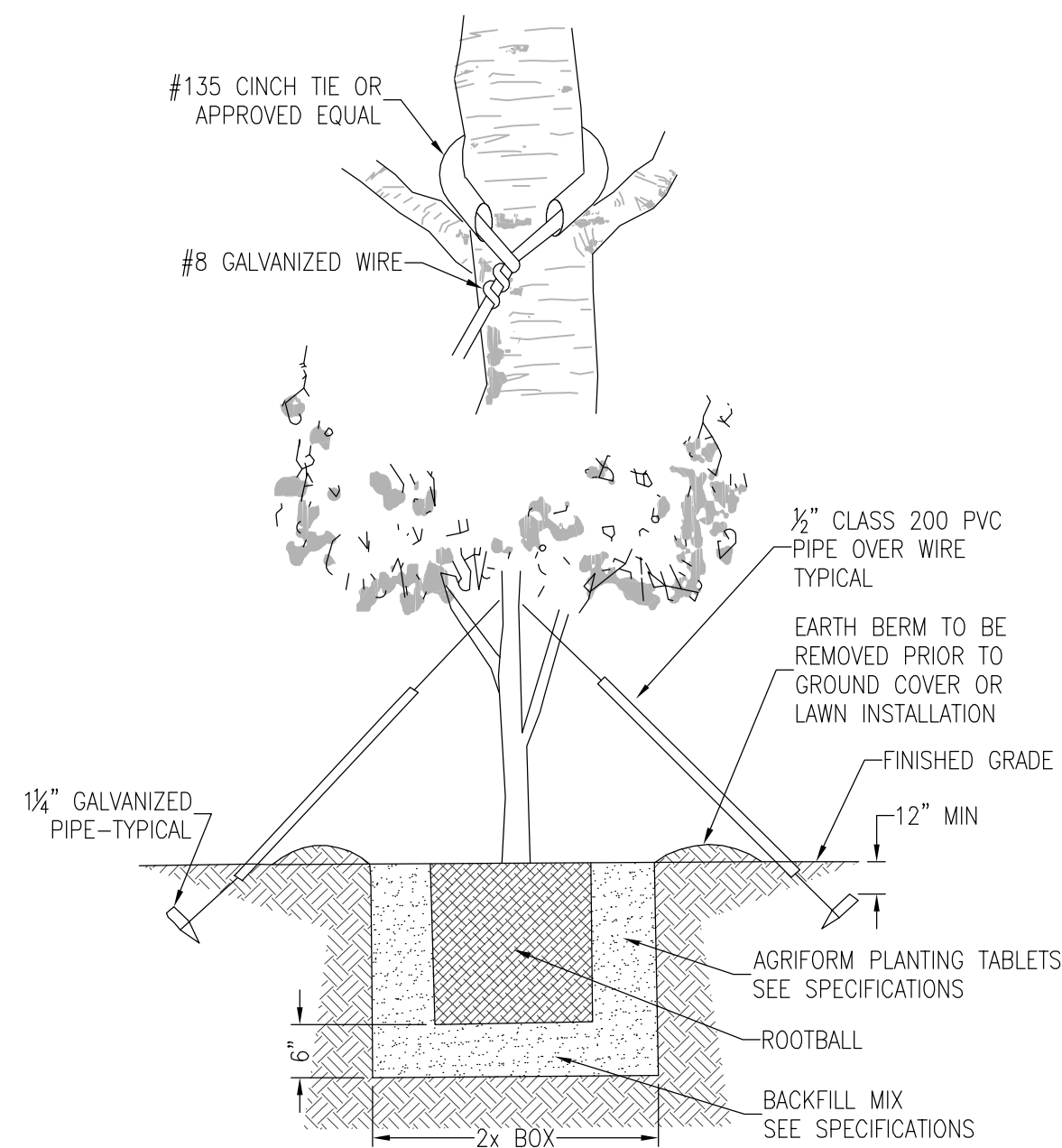
This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ON-SITE ASPHALT
	PROPOSED FDOT ASPHALT
	PROPOSED CONCRETE
	DENOTES PROPOSED CANOPY TREE OAK TREE OR EQUAL (WATER TOLERANT SPECIES REQUIRED NEAR POND AREAS) (MATURE HEIGHT > 30 FEET)

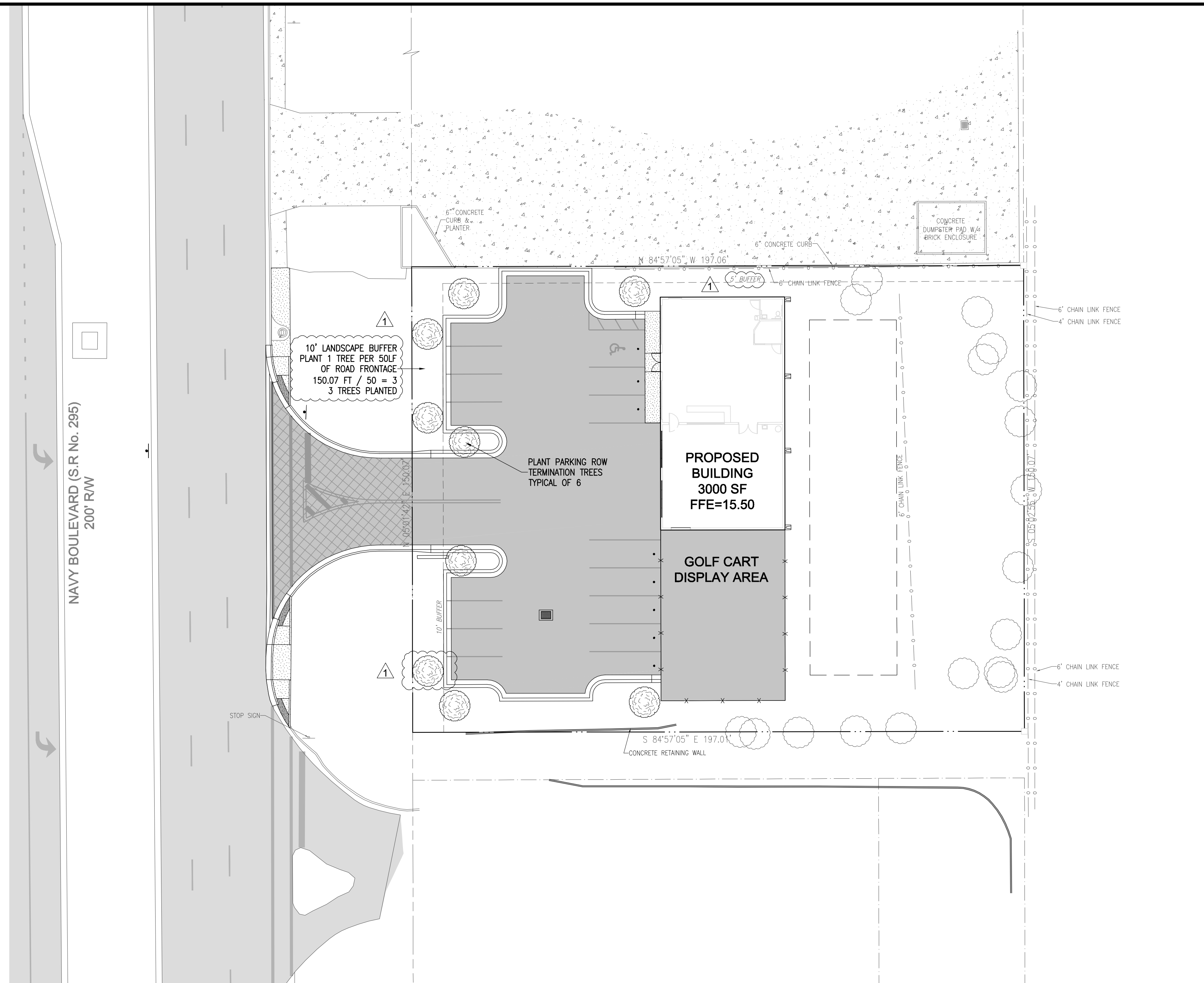
LANDSCAPE NOTES:

1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
4. ALL TREES SHALL BE A MINIMUM HEIGHT OF 9' FROM FINISHED GRADE AT TIME OF PLANTING. A LIST OF RECOMMENDED TREES IS AVAILABLE AT NESCO.
5. MITIGATION TREES SHALL BE A MINIMUM HEIGHT OF 9' AT TIME OF PLANTING, OF GRADE 'A' USDA PLANT MATERIAL, NATIVE IN SPECIES, AND A CANOPY TREE >30' AT MATURE HEIGHT.
6. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED & MULCH AND/OR SOD.
7. ROOT PRUNING SHALL OCCUR WHERE THE GRADE IS LOWERED OR INSTALLING BASE MATERIAL WITHIN DRIP LINE OF A PROTECTED TREE. THE CONTRACTOR SHALL SEVER THE ROOTS CLEANLY WITH A SHARP INSTRUMENT TO A DEPTH OF 18". ROOTS SHALL NOT BE TORN AS WITH THE USE OF A BACK HOE.



TREE PLANTING DETAIL

N.T.S.



RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32508
 Telephone 850.438.0400 Fax 850.438.0448
 EB 00009857 LP1916

LANDSCAPE PLAN

Battery Source
 702 NORTH NAVY BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

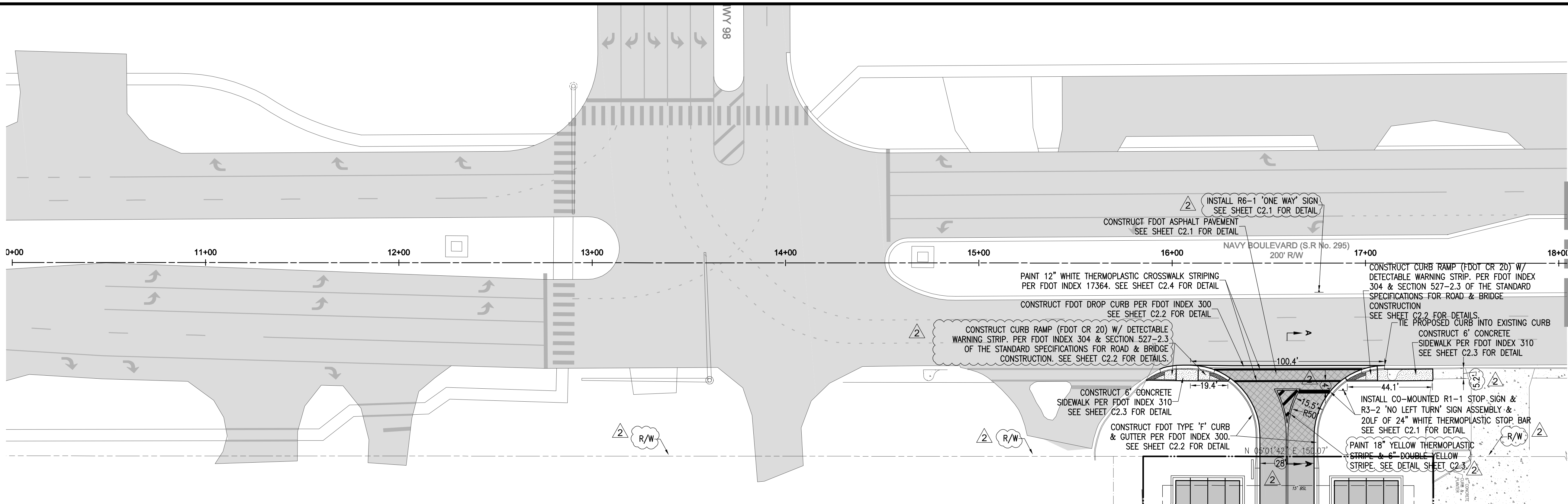
No.	DATE	REVISION
1	8-24-11	ESCO DRC COMMENTS
1	8-31-11	FDOT COMMENTS

SEAL
 RELEASED FOR CONSTRUCTION
 Paul A. Battle, P.E.
 No. 53126

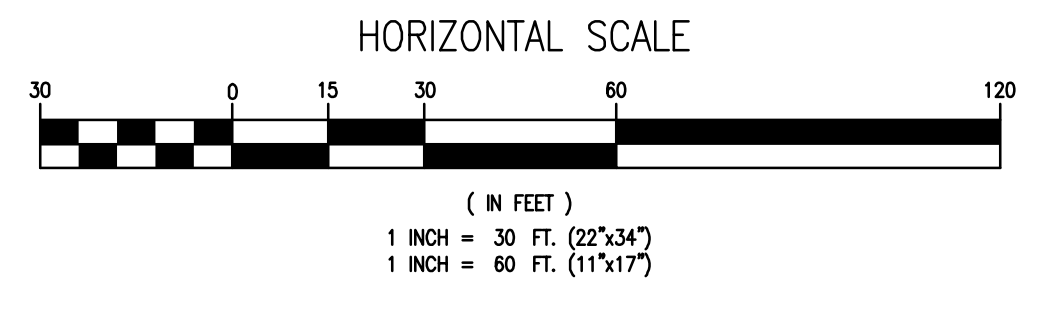
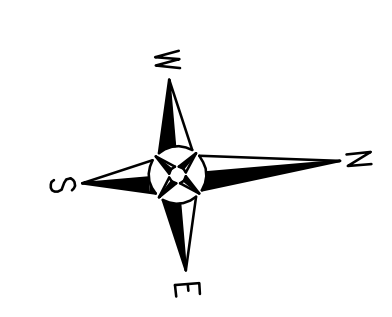
Dr. By: CBD
 Ck By: PAB
 Job No.: 2011.056
 Date: 8-19-2011

DRAWING No.
C5.0
 SHEET 14 OF 17

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

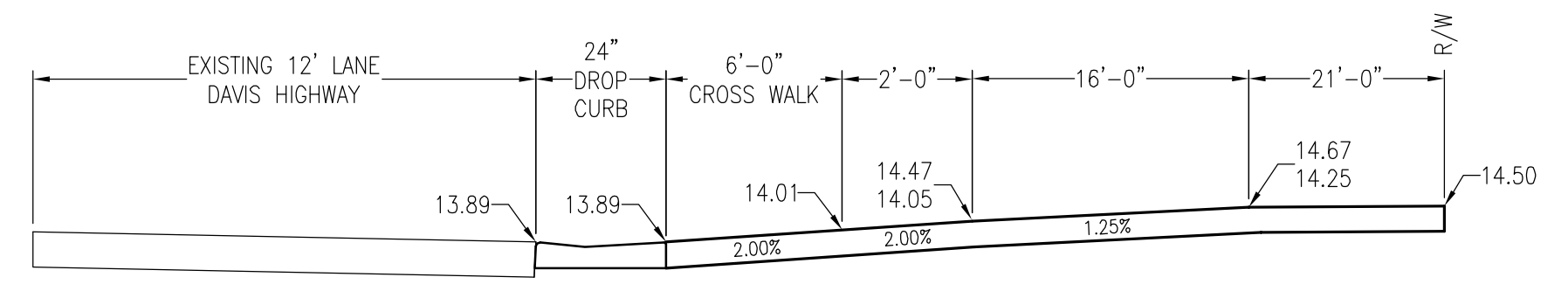
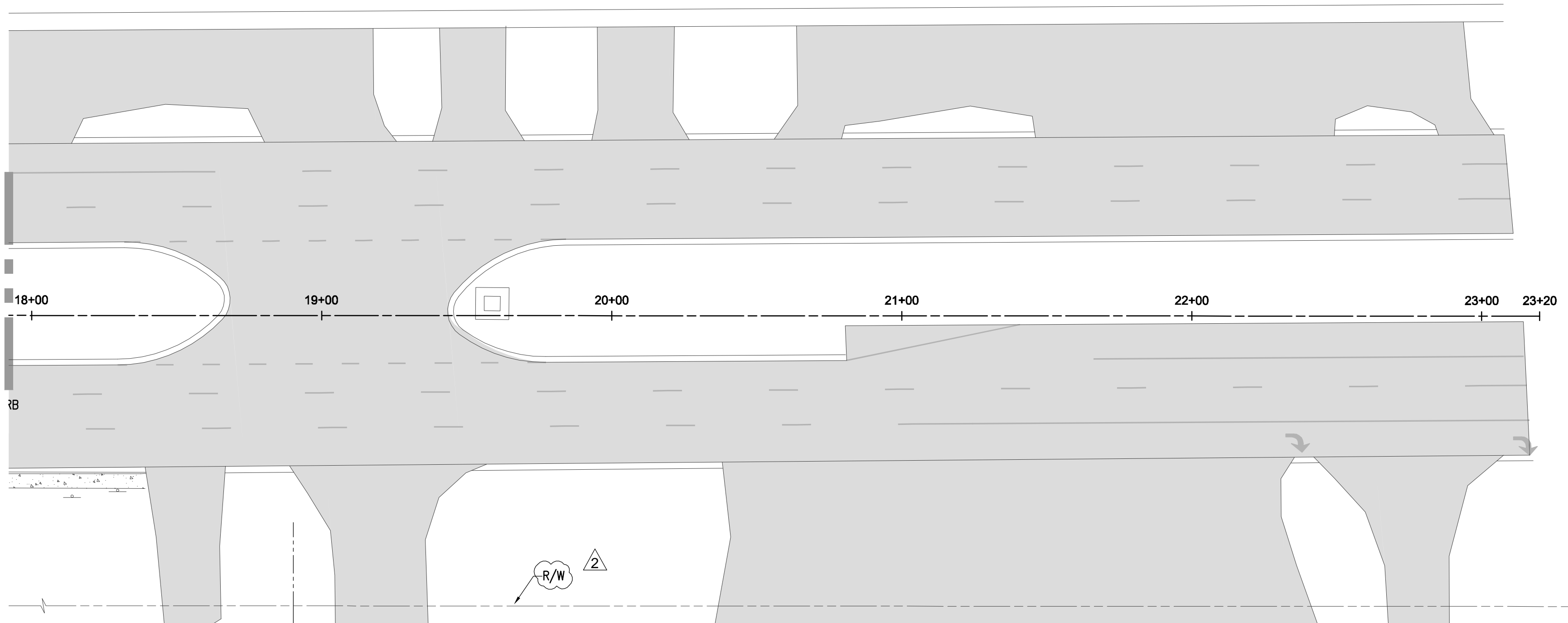


MATCHLINE STA 18+00
SEE BELOW



LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ON-SITE ASPHALT
	PROPOSED FDOT ASPHALT
	PROPOSED CONCRETE

MATCHLINE STA 18+00
SEE ABOVE



FDOT DRIVEWAY CROSS SECTION A-A
N.T.S.

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2304 N. North Avenue, Suite 300
 Pensacola, Florida 32508
 Telephone 850.438.0400 Fax 850.438.0448
 EB 00009857 LP1916

FDOT 660' SURVEY

Battery Source
 702 NORTH NAVY BOULEVARD
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	8-24-11	ESCO DRC COMMENTS
1	8-31-11	FDOT COMMENTS

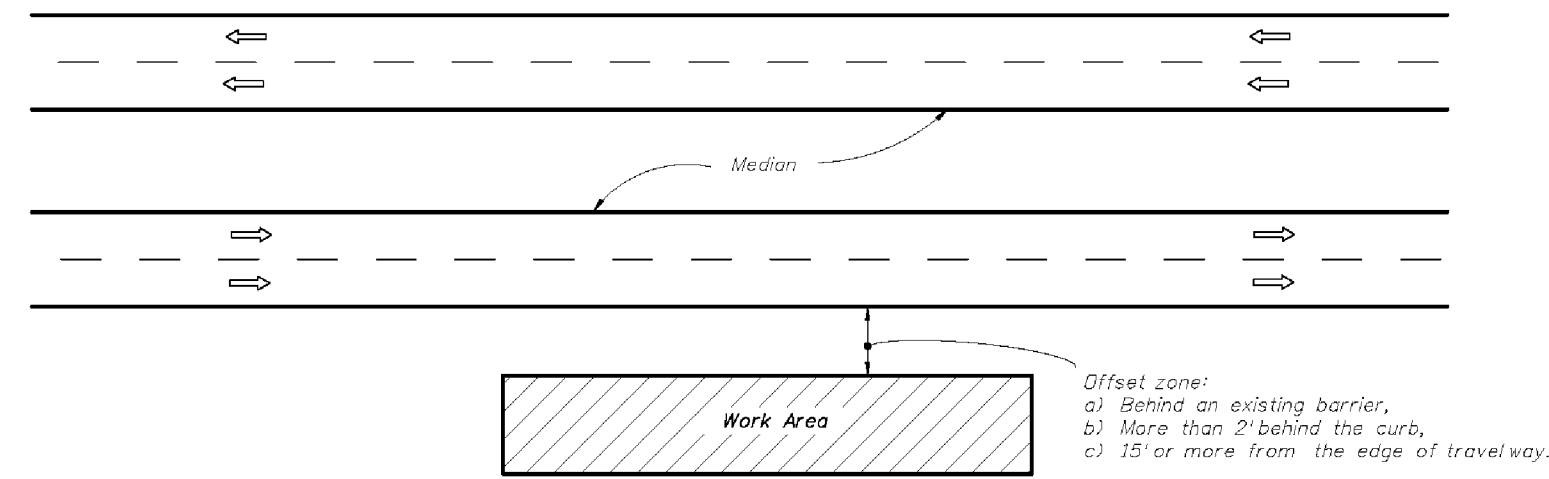
SEAL
 RELEASED FOR
 CONSTRUCTION

 Paul A. Battle, P.E.
 No. 53126

Dr. By: CBD
 Ck By: PAB
 Job No.: 2011.056
 Date: 8-19-2011

DRAWING No.
C6.0
 SHEET 15 OF 17

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

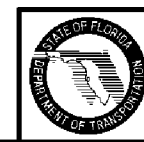


GENERAL NOTES

- If the work operation (excluding establishing and terminating the work area), requires that two or more work vehicles cross the offset zone in any one hour, traffic control will be in accordance with Index No. 612.
- No special signing is required.
- This index also applies when work is being performed on a multilane undivided highway.
- This index also applies to work performed in the median behind an existing barrier or more than 15' from the edge of travelway, both roadways. Work performed in the median behind curb and gutter shall be in accordance with Index No. 612.
- When a side road intersects the highway within the work area, additional traffic control devices shall be placed in accordance with other applicable TCZ indexes.
- When construction activities encroach on a sidewalk, refer to Index No. 660.
- For general TCZ requirements and additional information, refer to Index No. 600.

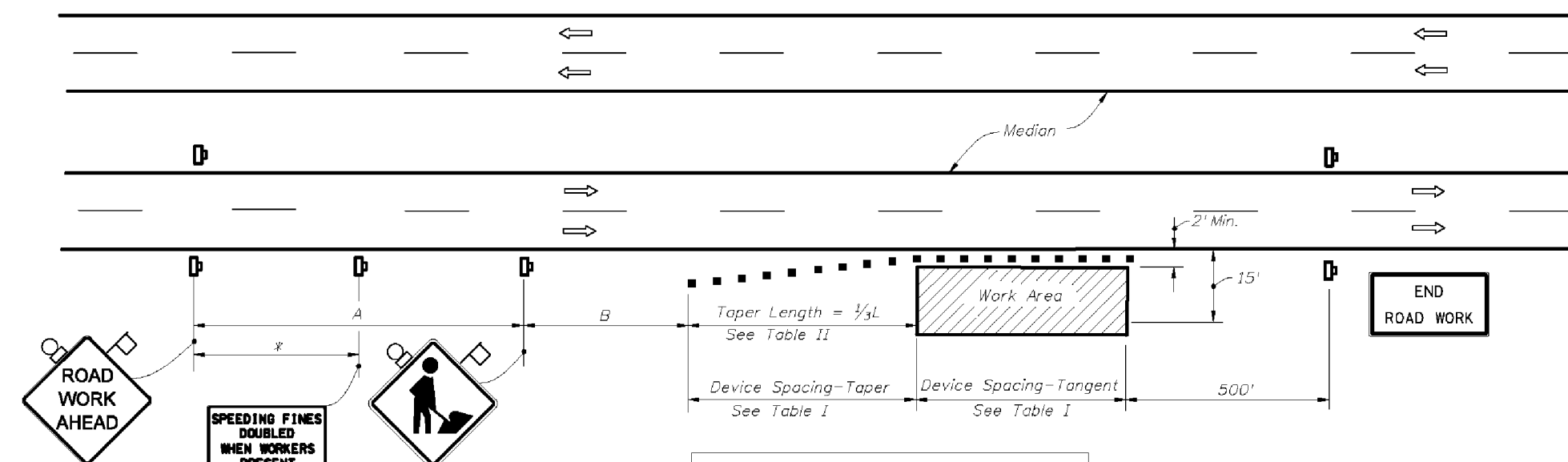
CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ARE BEHIND AN EXISTING BARRIER, MORE THAN 2' BEHIND THE CURB, OR 15' OR MORE FROM THE EDGE OF TRAVELWAY.



2010 FDOT Design Standards
MULTILANE, WORK OUTSIDE SHOULDER

Last Revision: 07/01/05
Sheet No. 1 of 1
Index No. 611



**Table I
Device Spacing**

Speed (mph)	Max. Distance Between Devices (ft.)			
	Cones or Tubular Markers	Type I or Type II Barricades or Vertical Panels or Drums	Taper	Tangent
25	25	50	25	50
30 to 45	25	50	30	50
50 to 70	25	50	50	100

DISTANCE BETWEEN SIGNS

Speed	Spacing (ft.)
40 mph or less	200 200
45 mph	350 350
50 mph or greater	500 500

GENERAL NOTES

- If the work operation encroaches on the through traffic lanes or when four or more work vehicles enter the through traffic lanes in a one hour period (excluding establishing and terminating the work area), a flagger shall be provided and a FLAGGER sign shall be substituted for the WORKERS sign. The flagger shall be positioned at the point of vehicle entry or departure from the work area.
- This TCZ plan also applies to work performed in the median more than 2' but less than 15' from the edge of travelway.
- When work is being performed on a multilane undivided roadway the signs normally mounted in the median (as shown) shall be omitted.
- WORKERS signs to be removed or fully covered when no work is being performed.
- SHOULDER WORK sign may be used as an alternate to the WORKER symbol sign.
- When a side road intersects the highway within the TTC zone, additional TTC devices shall be placed in accordance with other applicable TCZ indexes.
- For general TCZ requirements and additional information, refer to Index No. 600.

DURATION NOTES

- Signs and channelizing devices may be omitted if all of the following conditions are met:
 - Work operations are 60 minutes or less.
 - Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating.

**Table II
Taper Length - Shoulder**

Speed (mph)	S/L (ft.)			Notes
	8' Shldr.	10' Shldr.	12' Shldr.	
25	28	35	42	WS*
30	40	50	60	
35	55	68	82	L=60
40	72	90	107	
45	120	150	180	L=WS
50	133	167	200	
55	147	183	220	
60	160	200	240	
65	173	217	260	
70	187	233	280	

S/L = Length of shoulder taper in feet

W = Width of total shoulder in feet (combined paved and unpaved width)
S = Posted speed limit (mph)

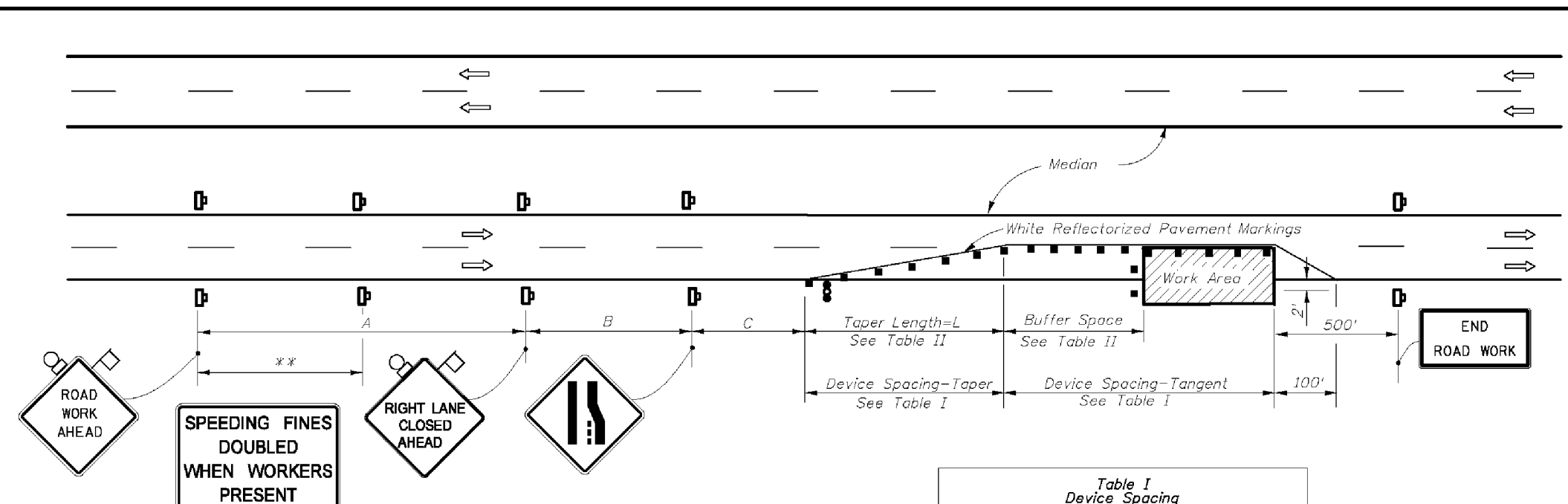
CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCRUSH THE AREA CLOSER THAN 15' BUT NOT CLOSER THAN 2' TO THE EDGE OF TRAVELWAY.



2010 FDOT Design Standards
MULTILANE, WORK ON SHOULDER

Last Revision: 07/01/07
Sheet No. 1 of 1
Index No. 612



**Table I
Device Spacing**

Speed (mph)	Max. Distance Between Devices (ft.)			
	Cones or Tubular Markers	Type I or Type II Barricades or Vertical Panels or Drums	Taper	Tangent
25	25	50	25	50
30 to 45	25	50	30	50
50 to 70	25	50	50	100

GENERAL NOTES

- Work operations shall be confined to one traffic lane, leaving the adjacent lane open to traffic.
- On undivided highways the median signs as shown are to be omitted.
- When work is performed in the median lane on divided highways, the channelizing device plan is inverted and left lane closed and lane ends signs substituted for the right lane closed and lane ends signs.
- The same applies to undivided highways with the following exceptions:
 - Work shall be confined within and median lane.
 - Additional barricades, cones, or drums shall be placed along the centerline abutting the work area and across the trailing end of the work area.
- When work on undivided highways occurs across the centerline so as to encroach on both median lanes, the inverted plan is applied to the approach of both roadways.
- Signs and traffic control devices are to be modified in accordance with INTERMITTENT WORK STOPPAGE details (sheet 2 of 2) when no work is being performed and the highway is open to traffic.
- The two channelizing devices directly in front of the work area may be omitted provided vehicles in the work area have high-intensity rotating, flashing, oscillating, or strobe lights operating.
- When paved shoulders having a width of 8 ft. or more are closed, channelizing devices shall be used to close the shoulder in advance of the merging taper to direct vehicular traffic to remain within the travelway. See Index No. 612 for shoulder taper formulas.
- When a side road intersects the highway within the TTC zone, additional TTC devices shall be placed in accordance with other applicable TCZ indexes.
- This TCZ plan does not apply when work is being performed in the median lanes of a six or more lane highway. See Index No. 614.
- For general TCZ requirements and additional information, refer to Index No. 600.

DURATION NOTES

- Temporary white edgeline may be omitted for work operations less than 3 days.
- Signs, arrow panels and buffer space may be omitted if all of the following conditions are met:
 - Work operations are 60 minutes or less.
 - Speed limit is 45 mph or less.
 - No sight obstructions to vehicles approaching the work area for a distance equal to the buffer space and the taper length combined.
 - Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating.
 - Volume and complexity of the roadway has been considered.

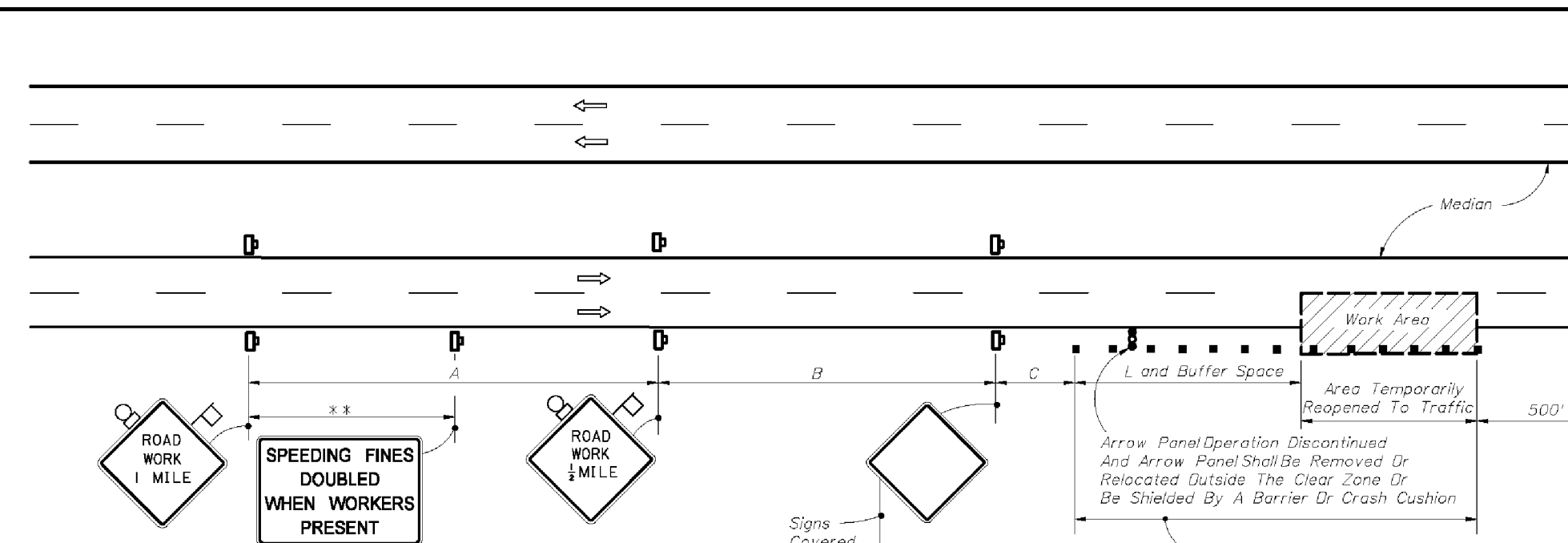
CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCRUSH ON THE LANE ADJACENT TO EITHER SHOULDER AND THE AREA 2' OUTSIDE THE EDGE OF TRAVELWAY.



2010 FDOT Design Standards
**MULTILANE, WORK WITHIN THE TRAVEL WAY
MEDIAN OR OUTSIDE LANE**

Last Revision: 07/01/05
Sheet No. 1 of 2
Index No. 613



EVEN PAVEMENT

UNEVEN PAVEMENT

INTERMITTENT WORK STOPPAGE - LANE REOPENED TO TRAFFIC



2010 FDOT Design Standards
**MULTILANE, WORK WITHIN THE TRAVEL WAY
MEDIAN OR OUTSIDE LANE**

Last Revision: 07/01/05
Sheet No. 2 of 2
Index No. 613

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2304 N. North Avenue, Suite 300
Panama, Florida 32080
Telephone: 850.438.0400 Fax: 850.438.0448
EB 00009857 LP1916

MOT PLAN

Battery Source
702 NORTH NAVY BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO DRC COMMENTS	FDOT COMMENTS
1	8-24-11			
1	8-31-11			

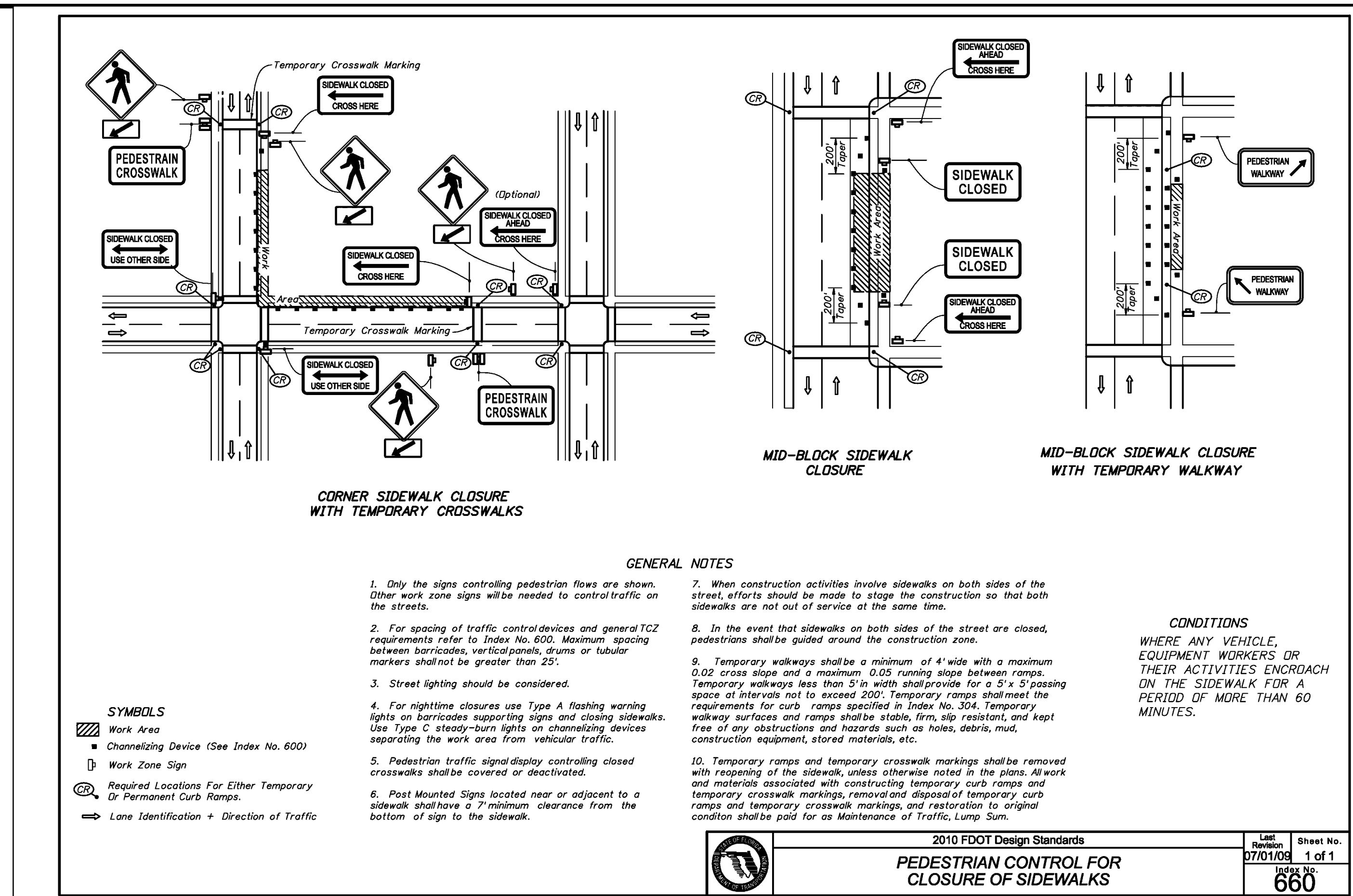
SEAL
RELEASED FOR CONSTRUCTION
Paul A. Battle, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2011.056
Date: 8-19-2011

DRAWING No.
C6.1
SHEET 16 OF 17

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

C:\Users\pabattle\Documents\BATTERY SOURCE - 2011\BATTERY SOURCE\10210.DWG



RBA

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2304 N. North Avenue, Suite 300
Panama City, Florida 32508
Telephone 850.438.0400 Fax 850.438.0448
EB 00009857 LP1916

MOT PLAN

Battery Source

702 NORTH NAVY BOULEVARD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	8-24-11	ESCO DRC COMMENTS
1	8-31-11	FDOT COMMENTS

SEAL

RELEASED FOR CONSTRUCTION

Paul A. Battle, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2011.056
Date: 8-19-2011

DRAWING No.

C6.2

SHEET 17 OF 17

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

Store the way
we would like
it to look:

Actual Store
702 N. NAVY Blvd.



The way The store
Look now at!

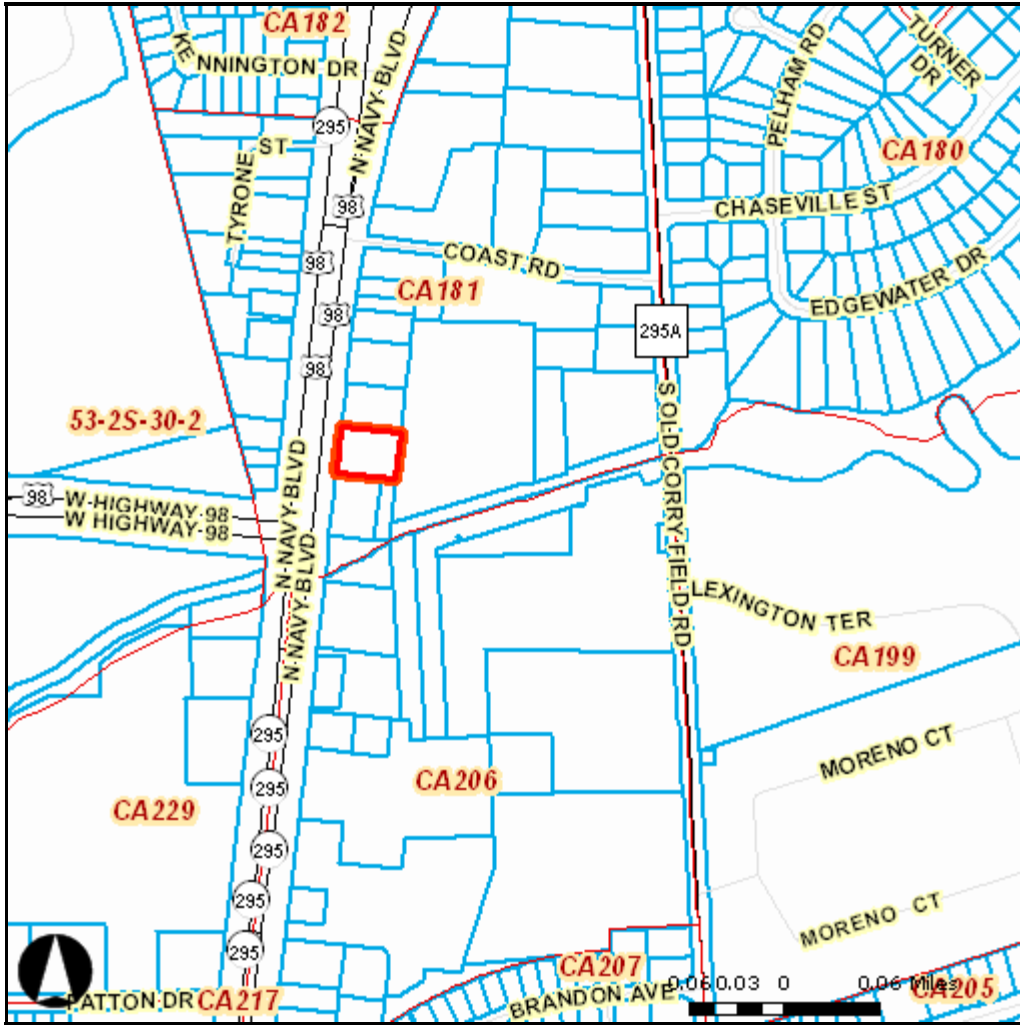
702 N. Navy Blvd,

After we Reversed
Signs



06/05/2012 09:11

ECPA Map



Map Grid



Major Roads

- City Road
- County Road
- Interstate
- State Road
- US Highway

All Roads



Property Line



PLEASE NOTE: This product has been compiled from the source data of the Inter-Local Mapping and Geographic Information Network (IMAGINE) project of Escambia County. The ESCAMBIA COUNTY PROPERTY APPRAISER I-MAP Service is for reference purposes only and not to be considered as a legal document or survey instrument. Relying on the information contained herein is at the user's own risk. We assume no liability for any use of the information contained in the I-MAP Service or any resultant loss.

NAVY CROSSINGS LLC
PO BOX 17341
PENSACOLA FL 32522

GLASS RAY BATTERIES INC
1056 E JACKSON ST
THOMASVILLE GA 31792-4743

MURPHY OIL USA INC
PO BOX 7000
EL DORADO AR 71731

EMERALD COAST UTILITIES AUTHORITY
PO BOX 15311
PENSACOLA FL 32504